

AGENDA
VILLAGE OF PLEASANT PRAIRIE
PLEASANT PRAIRIE VILLAGE BOARD
PLEASANT PRAIRIE WATER UTILITY
PLEASANT PRAIRIE SEWER UTILITY
Village Hall Auditorium
9915 – 39th Avenue
Pleasant Prairie, WI
November 16, 2015
6:00 p.m.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Minutes of Meetings – October 26, 2015
5. Proposed 2016 General Fund Budget
 - A. Citizen Comments.
 - B. Closing of Budget Hearing.
 - C. Board of Trustee Comments.
 - D. Resolution #15-32 relating to the Adoption of the 2016 Budget and Property Tax Levy including Capital, Debt Service and other funds of the Village budget.
6. Citizen Comments (Please be advised per State Statute Section 19.84(2), information will be received from the public and there may be limited discussion on the information received. However, no action will be taken under public comments.)
7. Administrator's Report
8. New Business
 - A. Receive Plan Commission recommendation and consider Ordinance #15-42 a Zoning Map Amendment for the property located at 5304 Springbrook Road to rezone the portion of the property that is currently zoned R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District into the A-2, General Agricultural District so that the entire property will be zoned A-2.
 - B. Receive Plan Commission recommendation and consider Ordinance #15-43 and Ord. #15-44 for a Zoning Map and Text Amendments for the request Educators Credit Union to rezone the vacant property generally located at the northeast corner of STH 50 and 91st Avenue from B-2 (UHO), Community Business District with an Urban Landholding Overlay

District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and Zoning Text Amendment to create the specific PUD requirements for the proposed development.

- C. Receive Plan Commission recommendation and consider approval of a Development Agreement and related Documents for the proposed public improvements associated with the development of the Educators Credit Union to be located at 7431 91st Avenue.
 - D. Receive Plan Commission recommendation and consider Ordinance #15-45 for a Zoning Text Amendment to create the specific PUD requirements for the proposed development of a multi-tenant retail/restaurant building (with outdoor seating and a drive thru) on the property generally located on the north side of 76th Street between 91st and 94th Avenues within the Prairie Ridge development to be known as the Corners at Prairie Ridge.
 - E. Receive Plan Commission recommendation and consider approval of a Certified Survey Map to subdivide the property located at 8008 107th Avenue into three (3) properties.
 - F. Consider a Professional Services Agreement for the civil design services for the construction of a Public Works Storage Building.
 - G. Consider Resolution #15-33 authorizing the placing of utilities and special charges on the tax roll.
 - H. Consider Christmas Tree License for Costco Wholesale, 7707 94th Avenue.
9. Village Board Comments
10. Adjournment

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 – 39th Avenue, Pleasant Prairie, WI (262) 694-1400

**VILLAGE OF PLEASANT PRAIRIE
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9915 - 39th Avenue
Pleasant Prairie, WI
October 26, 2015
5:00 p.m.**

A special meeting of the Pleasant Prairie Village Board was held on Monday, October 26, 2015. Meeting called to order at 5:00 p.m. Present were Village Board members John Steinbrink, Kris Keckler, Steve Kumorkiewicz, Dave Klimisch and Mike Serpe. Also present were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; Kathy Goessl, Finance Director; Dave Mogensen, Deputy Police Chief; Doug McElmury, Fire & Rescue Chief; Rocco Vita, Village Assessor; Matt Fineour, Village Engineer; John Steinbrink Jr., Public Works Director; Carol Willke, HR and Recreation Director; and Jane M. Romanowski, Village Clerk. No citizens attended the meeting.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PRESENTATION OF THE PROPOSED 2016 GENERAL FUND, CAPITAL AND DEBT BUDGET.**

Tom Shircel:

Thank you, Mr. President and Village Board. As you said, tonight we're here to present to the Board and to the Village the proposed 2016 general budget. The staff has put together a fiscally responsible budget, and we hope you'll find that to be the case. And without further ado I'll hand it over to Kathy to give her presentation.

Kathy Goessl:

Good evening. The presentation is very similar to previous years so we're going over the operating, debt and capital improvement plan. And once approve tonight to be published in the news this weekend for a public hearing on November 16th. I'll start with the operating section of the budget. And I will first go over the decision packets that were submitted in. And the first ones that I have here are actually the ones that have been approved. These are grouped by areas.

Okay, so these are grouped by areas. So the first areas are public safety area which includes police, fire and rescue and inspection. These decision packets total a little over \$200,000. The first one is to add two police officers. The Police Department requested three but we're recommending two. They also recommended Academy, but we recommended without Academy, to hire them already trained at that point. And there's also a federal grant for one of them which will be a four year grant decreasing in the amount being received each year and us picking up a larger percent each year.

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The second one is body cams. We're looking at ten body cams. The cost of these are \$12,000, but we're looking at a grant for \$6,000 to be received for a net program cost of \$6,000.

Fire and rescue we're looking at staffing positions with part-time personnel. The request would sue part-time personnel to create a fifth position at station number 2. This will allow for savings and full-time overtime and POC salaries by reducing the number of off duty personnel reporting to the station for standby for rescue calls. We're looking at funding this starting March 1, 2016. That's the adjustment amount is to delay this by a quarter to help reduce the cost of the program for the first year.

The second thing is inspection is requesting for the whole Village an HVAC technician, looking at hiring a full-time HVAC air conditioning and heating, refrigeration technician to maintain all Village facilities. We currently use Martin Petersen, and we spent over \$150,000 in labor and parts in 2014 throughout the Village. Especially the bigger user is RecPlex. But hiring in house we should be able to save money and minimize the emergency repairs that are needed. So the net there is the savings we can realize by having our own technician just for the general government portion of this position.

Police we're looking at four AR-15 rifles for \$8,000. And for the Police Department also we're looking to promote the sergeant to lieutenant for \$6,387. The last item is recommended, but we're recommending that to add this position only if we can realize savings in overtime to offset the cost of hiring this position. So that's the public safety decision packets that the Village Administrator and myself are recommending.

The second category is Public Works and Parks. These are also the decision packets that we're recommending. The first one is a full-time construction and right of way inspector. With increasing construction the Village needs a full-time construction inspector, right of way inspector. Seventy percent of this position's hours can be billed, and reflecting all billable hours the revenue for this position would be a little over \$120,000 offset by the cost of this position giving us a net savings of \$35,000, almost \$36,000. So we bill out to include overhead cost, therefore that's why it's exceeding the amount of that actual position that we're looking at. The billable rates are still competitive with what's being billed out by outside contractors, actually less than what they are currently charging.

Parks, two part-time maintenance, five employees for a little over \$29,000. The parks have increased the amount of lawn property they need to mow with the Village Hall here, and so that's part of it. And also park and ride and those areas have a lot of green space, too, to be mowed. Parks increased wages for part-time employees by \$10,000, it's become very difficult to hire part-time employees because of the different businesses that have popped up around the area. So we are looking at increasing the wages here for these part-time employees. Also, it's very hard once the college kids go back to school and the high school kids go back to school, so we're looking at also increasing for parks the seasonal spring and fall for part-time employees also. And that's a little less than \$6,000 for that program.

Public Works full-time clerical support. The Public Works central clerical services is in need of a full-time clerk to help with residents' calls and day-to-day responsibilities. The part-time position would be eliminated, and this position, 72 percent of it, that \$20,555, is allocated to the enterprise

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funds. That's like sewer, water, clean water and solid waste. That suggestion of \$20,000 is an allocation of that position from part-time to full-time allocated to our utility funds. Public Works also we're looking at a full-time Maintenance 4 employee to help with the increased workload for the Public Works area also.

For Parks we're looking at a tree survey and management plan for \$3,000. The tree preservation areas in Village Green Park, Prairie Springs Park and Sorenson's Woods would be evaluated. And the last one is Public Works training for the department foreman. This is approved only if the money can be found in the base budget to cover these costs. So this is Parks and Public Works managed by John Steinbrink, Jr., and we're looking at a total cost of these programs of a little over \$41,000.

All the rest of the decision packets that are being recommended are grouped into one. These are, first of all, the Finance Department. With the implementation of MUNIS which is our new software for Finance, we have increased the amount of information available electronically to all. But it also has increased the workload for especially our accounts payable and payroll clerk. We need to add a part-time staff to fully use our new software so we can benefit all Village departments and not overwhelm our employees.

CD business license ordinance and fee implementation will allow the Village to track all existing businesses, their contact information and employment on an annual basis. Most departments in the Village need this information and request it regularly from the CD Department. The fee would be \$25 per business initially, and then after that \$10 to renew. The CoStar commercial sales service for a little less than \$8,000 is a commercial property sales subscription for metro Milwaukee and metro Chicago markets. It will give property sales in those two major areas. Right now we're lacking in the number of sales in our immediate area to be able to evaluate and appraise property.

Administration, a Communication Coordinator. This will enhance current information sharing systems with more robust and frequent use of social media's channels. This position will be shared 50 percent with the RecPlex, and the adjustment there is to start this program in April of next year instead of January.

The Mini Maker Faire is to promote an awareness of creative and innovative talent of the people that are tied to the Village. This will be done only if we can reduce the cost and/or find money in the base budget to do this.

CD - hire a Deputy Planner and Deputy Zoning Administrator. This program would cost \$71,000, and it's approved only if the total position can be funded by billing this position out based on the increased demand in the department. So overall other decision packets being recommended total \$40,311.

On this next slide are all the programs that are not being recommended. We have Fire and Rescue model policy program for a little over \$8,000. Parks and a little bit down further on the list is the Public Works. And what was being recommended is that our fleet internal service fund would charge out for the use of attachments and tools. So they're charging either the enterprise funds, or here they're charging Parks and Public Works for using this equipment which has not been done in

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the past. And we decided that we did not want to start that charge out of those items at this time. And then the police crime scene and surveillance equipment, LED light bars, the defibrillators, five of them, the digital camera in public safety. We're not recommending dispatch chairs. And in Public Works not recommending road paving software. And at the bottom in Public Works we're not recommending two part-time maintenance, five employees to be split with Parks and the Public Works Department for a total program of \$59,000 not being recommended that were requested by department managers.

So this is our operating revenue, our top four categories of operating revenue. The first category and the most major category is intergovernmental. Intergovernmental is going up \$20,000. The major reason is an increase in exempt computer aid. There is more computer equipment within the Village compared to the previous year. License and permits are up \$190,000. The major reason is building permit revenue offset by a decrease in Fire Department permits. Public charge for services is up \$207,000. The major reason for that increase is an increase in billable construction engineering and design engineering services to internal/external projects which is an increase of \$203,000 of the \$207,000 increase in that category. Other taxes decreased \$91,000 mainly due to a decrease in the utility tax equivalent from the water utility.

So now I'll go into a little bit more detail on each of these, what was included in that, and the reasons why they may have decreased or increased. This is the intergovernmental revenue category. It's made up of five different categories. I compare the 2015 budget to the 2016 proposed and show you the change in both dollars and percentages.

Income tax from state is going down by a little over \$7,000. The decrease is in the utility portion of this payment. That's the largest portion of the payment. And this also includes a state shared revenue portion, and that pretty much stayed the same which is a very small portion, a little over \$100,000 and some. Fire insurance dues is increasing. This matches -- the budget for 2016 matches what actually was received in 2015, an increase of a little over \$1,000 from last year's budget.

Law enforcement grants we're matching the 2015 budget. That's pretty much coming on budget for 2015. Exempt computer aid increased because the computer value has increased, therefore the aids increased. And other includes ambulance service grant and a state payment for municipal service which went down slightly by \$18. Overall this category went up \$20,308 or 1 percent increase.

The second major revenue source is license and permits. Again, a comparison from the 2015 budget to the 2016 proposed. This increased to \$190,000 overall. Building permits increased across most segments being budgeted. Single family went up \$41,000, two family is \$30,000, commercial \$97,000 and electrical permits \$50,000. That's the second line there with an increase of \$215,720 overall. Zoning permits are up \$18,000.

Fire Department permits are down \$43,000. This is because it reflects a reduction due to plan reviews and Knox boxes being paid out of the revenue account in 2016. In 2015 the payment was made out of an expense account, instead of this year we're looking at -- for 2016 we're looking at netting the expense against the revenue instead of making them separate. Property record

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maintenance is down a little less, over \$2,000. So a total increase here of 18 percent mainly due to building permits.

The third category is public charge for services. This is up a little over \$206,000. The main reason is due to the Engineering Department and the Public Works construction and Engineering Department's billable hours and amount. Engineering is up \$33,000. They're mainly up because of an increase in engineering billable rates to reflect their cost. They're billing about the same amount of hours, but the rate per hour has increased or being recommended to increase.

Public Works construction engineering the billable rate is up to reflect cost here also. Plus they had an additional employee added to this category since last year's budget. Police Department and Street Department are even in terms of 2015 to 2016. Franchise fees are up a little over \$2,000. These are fees received from Time Warner and AT&T. Right of way permits are down slightly. And others which include the Fire Department earnings, administrative fees, IT department services, weed and nuisance complaint and highway department earnings is up a little less than \$3,000. So overall this category is up 14 percent mainly attributed to the Engineering Department services and public works construction engineering services.

And the final major category is other taxes. This is down \$91,000. The major reason for that is the second line, utility tax equivalent. The water's fixed asset value only increased slightly. The reduction in assessment ratio from 1.006 to .9732 resulted in a reduction in the amount of taxes to be paid by the Pleasant Prairie Water Utility to the Village. Mobile home taxes the reduction is reflect trends, 2014 mobile home taxes down to \$133,000 in 2014, therefore we've reduced that category also, the values. Also our maintaining are reduced. The other categories are up slightly. Hotel tax \$5,000 and property tax penalty \$5,000. And others a little over \$1,000. But this category did go down 8 percent mainly due to utility tax equivalent.

The other operating revenues of the Village are intergovernmental revenue which includes our school officer, assessing contracts with other communities and utility lease payments. An increase of \$5,000 in assessing contracts in this category for as you can see a very slight increase over last year. Fines are actually down. The municipal court is up \$4,000 due to continued collection efforts. But the parking ticket revenues are down \$8,000 because of the inability to retain employees in this part-time parking enforcement position. Miscellaneous includes interest on investments, tower leases, media communications which is advertising in our Village newsletters and calendars. It increased \$17,000 to \$213,000. The main increase here was tower leases going up. That's the revenue side of the operating budget.

Now, unless you guys have questions on that, on the decision packets or the operating revenue I can continue with the operating expenses for the general government.

Kris Keckler:

I had a general one overall. In looking at and reviewing the decision packet I found about a dozen that are HR related in a sense, whether hiring new people or salary increases or other established areas. Are we having enough HR support to be able to handle this and expected growth? Because a lot of the departments were projecting growth in their areas. I just think with the developments

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of having the business community kind of pull away some of the available workforce, both for the Village and I also see it from the school side of it as well in trying to just having enough of a HR component bolster to be able to do appropriate evaluations or hiring practices to try and make some of those expedited decisions. Or ones where it's not just a short-term or high end turnover, I just didn't know if in that regard as far as the HR Department goes.

Mike Pollocoff:

Right. From an HR standpoint Carol is going to be allocating more overtime in HR this coming year. But in some of the traditional labor positions we're extremely challenged to be able to compete with other employers in the area. The Village employees over the last five years have been under freezes for -- for three of them for pay, and that's everybody, so the pay is gone. It's not kept up with what the private market has done. And it's a little more difficult for us to compete in some of the skill positions because fortunately there's been more skilled employment in the area also. People that might consider working at Amazon or consider mowing parks for us.

So right now given the levy limits for us to be able to increase how much we're paying employees for some of those marginal positions that we do have a lot of competition, or the positions where we're having a difficult time competing or securing employees I think is a problem we're seeing in all municipalities. I know when the Fire Department went out for their last hires we had probably less than a dozen people apply for a job for a full-time firefighter. Typically we would get over 100 applications for that. And I think although the Police Department has been seeing better response rates than the Fire Department, it still hasn't been the same. And I think that's really kind of attributing that to just people in Wisconsin looking at government employment differently than they might have in the past to be honest with you.

Kris Keckler:

I do appreciate that there's effort in here for expansion in departments other than emergency services which has been the case in the past, and also recognition for trying to make it more of a competitive market. I just didn't know, and I feel but with the projections that a lot of these budgets in departments project out on to increase staffing that we're addressing and trying to minimize some of those turnover issues that happen due to people and just the hiring procedures that go on.

Mike Pollocoff:

Right. I think the hiring process is pretty efficient. And one thing that Carol has been working on along this last year along with IT is automating the application process, the records process so that they can make that move faster so that we're able to get people going quicker. Again, in having her allocate more of her time into HR this year is going to I think help stabilize that group that's doing that.

Kris Keckler:

Alright. I just didn't want them to be left out with everybody else --

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Mike Pollocoff:

We don't want HR left out. We'll all feel the pain.

Kris Keckler:

Thank you.

John Steinbrink:

Other questions? Go ahead, Kathy.'

Kathy Goessl:

Okay, now I'm switching to the actual expense side of operations. Our biggest category in operating expenses is public safety. They're up \$351,000 across all public safety departments. Public works is up a little over \$210,000 across all departments. And administration is up \$142,000 across all departments. CD is down \$8,000 because of the revenue producing decision package. And parks is increased by \$78,000. The total operating increase is \$773,000. Three percent of the increase is personnel related which is equivalent to \$364,000 in dollars. Three percent increase is to non-personnel expenses for \$120,000. And plus the decision packets that I presented earlier of \$287,000 total makes up the total increase of the operating budget of \$773,000.

Now I'll go through each of the five major categories that I showed on the previous graph. The first one is public safety which is our largest expenditure. It includes Police, Fire and Rescue, Inspection and Public Safety Communication which is our dispatch. And they have the decision packets as I explained earlier. Police is up \$94,000. The majority is personnel related, an increase of \$80,000. Also an increase in stray animal care of \$5,000, attorney fees of \$4,000, and conference and training of \$10,000. Offset by a reduction in minor equipment of \$17,000.

Fire and Rescue is up \$6,553. The major increase is personnel expenses up \$40,000, offset by a reduction of minor equipment of \$11,000. And the elimination of fire sprinkler expense of \$30,000 which is now being paid out of revenues collected. As I mentioned earlier the revenues for Fire were down, and now the expenses are eliminated in the expense section of our budget. Inspection is up \$35,000 which includes personnel up \$18,000. The fleet internal service charge for the use of the Village vehicles is up \$13,000 compared to the 2015 budget. Public Safety Communications is up almost \$9,000. That's mainly an increase in personnel of \$5,000 and an increase of training of \$2,000.

The decision packets which I discussed earlier are the two police officers with a grant offset for one. Body cams, the fire and rescue staffing a position with part-time employees, the HVAC technician, the four AR-15 rifles, and the promotion of the sergeant to lieutenant totals \$205,000 request for new programs. So this increase is \$351,000 or a four percent increase in the budget for public safety.

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Public Works is our next category which includes Engineering, the Public Works Department, street lighting. Engineering is up mainly due to personnel increases of \$15,000 offset by a decrease in consulting services for weed complaints of \$5,000. And a reduction in the use of the Village's fleet vehicles by \$5,000. Public Works is mainly up due to a personnel increase of \$140,000 and a salt increase of \$58,000 for a total increase in the Public Works Department of \$200,000.

Street lighting increased personnel of \$5,600, and fleet increase of \$1,300 for a total increase of \$7,793 for street lighting. The decision packets here total -- there's a revenue enhancer of \$35,000 for the full-time construction right of way inspector. And then we have the offset to that of full-time clerical support from part-time. And the full-time maintenance 4.1 employee for \$20,915. So overall this budget is increasing \$209,000 for an increase of 10 percent.

This one has a lot of different departments that make up our administrative end of general government. Again, I'm comparing the budget from last year, this year to what we're proposing for 2016. The Village Board increases a little less than \$3,000. The majority of the increase is due to property and liability insurance increase of \$1,500. Municipal Court the majority of their increase of \$12,000 is due to an increase in AR collection services which was not budgeted in 2015, but is now being budgeted in 2016 for \$10,000.

Administration is up almost \$50,000. The majority of this \$50,000 is personnel related. In 2016 is our last year for TID #2 construction. The assistant Village Administrator will spend less time with TID #2 activities going forward. In the past he's been charging the majority of his salary to the TID, and we have moved 50 percent of his salary and benefits to administration to transition from the TID dissolving. 2017 will actually the rest of the 50 percent because our construction is done, and all that's left is debt service payments after that point.

Village Clerk is up \$22,000. This increase is due to more elections in 2016 with the presidential election as compared to 2015. IT is a decrease of \$71,000. There's a lot that makes this up, but the decrease in personnel costs of a little over \$5,000 due to the elimination of part-time positions within that department. Plus many decreases in consultant and contractual services of \$82,000. In 2015 we had two conversions going on, and the consulting fees for those were in this account. And those were completed or will be completed by the end of 2015. The decrease there is offset by a large increase in software maintenance agreements of \$150,000 mainly due to the change of the accounting of the use of Microsoft software packages.

HR, Finance, Assessing, Village Hall and Roger Prange have small increases and some decreases across these departments totaling a total of \$20,000. You can see each of the individuals how they increase and decrease, but none of them are major. We have a contingency in the budget of \$67,000, an increase of \$54,000 over last year. And the decision packets which include a part-time employee for finance, a full-time communication coordinator and the CoStar commercial sales services description. So the total overall increase for our Administrative Department is \$141,000 for a four percent increase.

Community Development is up in their base budget by a little over \$3,000. There are small increases in a lot of the accounts totaling that \$3,000 increase. Decision packets is the revenue that we're looking at for business licenses of \$12,000 for a total reduction of \$8,864.

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The Parks Department we're looking at an increase of \$78,000. The main increase is in personnel of \$13,000, and also the addition of ballfield maintenance to this budget of \$16,000. Decision packets are totaling \$48,000 as mainly personnel requests plus the tree survey of \$3,000.

So this is a summary of our operating budget. So the revenues as I talked about earlier and detailed out is going to total \$14.4 million with a tax levy being \$8.4 million, an increase of \$202,048 to help support this general government operating section of the budget. We have two other sections, debt and capital which also use tax levy. I went over each of the major categories of expenses, Public Safety, Public Works, Administration, Community Development and Parks. Their expenses are totaling \$15.5 million, an increase of \$772,000. We also have the utility tax from the water utility which is a transfer in down \$91,000 due to the change in the assessment ratio.

So we're looking at actually a decrease in our reserves for the general government. We're going to use \$226,546. The reason for this is that we did budget reserves -- well, the reserves that are actually after this budget at the end of this budget will be \$4.6 million. We're looking at changing our reserve policy. In the past our reserve policy has been 15 percent of our operating expenses. But we are currently at about 30 percent of operating expenses. We will bring a policy forward to increase that reserve to 25 percent of operating expenses. That policy is important when we go out for bonding that we have a policy and that we follow our policy.

So the use of reserves if we budget for it is not a concern of the rating agencies. The importance is that you have a policy and you follow it. So right now with this budget the way we presented we'd be ending the year with the general government operating having a 30 percent reserve even after using this \$226,000. So that's why we felt comfortable to be able to use some of the reserves that we built up over the year by increasing the reserves to 25 percent and actually bring the policy forward. In the past they were fine with us having our budget be the policy in terms of being able to see on our budget if you look at our budget packets where it says 15 percent. They were fine with that, but we want to do a formal policy which is better. So that's why we're comfortable with recommending use of reserves.

Mike Pollocoff:

One thing I want to add to that is that I think that one of the reasons reserves are increasing is that the departments have been doing a good job of not exceeding budgets as the year end. We have had significant increases in items such as permit fees, new construction, things like that. And that's something we don't want to ride on and have the budget be dependent on, something that could have some flex. We could even make the statement that the shared revenues from the state is really -- shared revenues that are attributed to what residents pay as their income taxes, as sales taxes [inaudible] taxes are not reliable in the sense that this community generates well over \$20 million a year in taxes that get paid to the state. And the state now has reduced our shared revenue down to the point where it's \$100,000. So there really isn't too much more they can take.

The bad news is we really send a lot of money out that doesn't come back. And the other news is that they really can't take that much more from us. There's not much left to take. So as time goes on as the Village increases more in value we become a net gain entity that whatever goes to Madison

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none of it comes back. What we do receive in shared revenues, and it's really not shared revenues, it's the utility shared payments, and that's payments in lieu of our regular property tax that's paid by the power plant. And that's based on the face value of the plant as well as a formula for how many 345 kV lines we have in the Village substations, and that general part of the power plant that could be attributed to just office operations at P4.

So the risk on that expenditure is that in the legislature they start -- and as I said the ad valorem pop is somewhere around \$22 million, and then the Village gets \$1.8 back. So the extent that the legislature decides we could get less than \$1.8 and they could take that money and use that somewhere else there's some exposure on that. But I think that legislation that created that formula is relatively new, and I'd be surprised to see that change.

So using some of the revenues from the reserve is not a risk. And I think moving our policy from 15 percent up to 25 percent is really prudent fiscal management in a generally unstable or unhealthy public environment that exists in Wisconsin finance right now. That isn't stable, and I think things where the legislature can't come to grips with how to solve certain financial problems really exasperates that uneasiness or that lack of uncertainty. So I think that's why the 25 percent is needed.

John Steinbrink:

So what you're saying, Mike, is the state is paying for their mistakes with our share of revenue.

Mike Pollocoff:

Yeah. There's been a large shift of shared revenue from municipalities to the state budget.

John Steinbrink:

And that's not how the system was originally set up.

Mike Pollocoff:

No, shared revenue meant people pay sales taxes in a community, they pay income taxes in that community, and that community provides those resources that make a community. And then the state government is supposed to share that money back to that community. Now it's no longer called shared revenue. In essence it's really municipal aid. They don't think of it as a shared revenue anymore. No one is talking about increasing it. I just don't see that happening.

Dave Klimisch:

What is our reserve right now?

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Kathy Goessl:

At the end of this budget year, 2016, our reserves will be \$4.6 million; 25 percent of expense are 3.9 percent of reserves -- or \$3.9 million. So we would have available after this budget if it's approved the way it is \$626,000 left over our 25 percent reserve.

Dave Klimisch:

And we're still at 30 percent.

Kathy Goessl:

Close to it.

Dave Klimisch:

Current policy is 15 percent, we're proposing it possibly to 25, but we're actually at 30 percent?

Kathy Goessl:

Yes.

Michael Serpe:

When do we get rated again?

Mike Pollocoff:

Next time we go out for an issuance. That will be next year probably. I think that there have been communities that have used their reserves in lieu of borrowing. And I think you've got to balance that. One community used all their reserves so they didn't have to borrow. And they told everybody, well look, we saved borrowing. Well, you don't want to borrow if you don't have to. But if there's any time to borrow money from a public finance standpoint it's been the last few years. We did the fire station at two and a half percent. That won't exist much longer. And reserves are hard to come by.

What we spend out of the reserves we're not going to put that into operations. That's going to go into the functions that are more one-time expenses. So if the reserves don't come back it doesn't mean we're cutting people or we have to stop what we're doing. I think as the economy kind of -- we've been in an uphill run here which is nice, but that doesn't go on forever. That's why you don't want to rely on the reserves to carry you through for every year. I think this is really more fiscally prudent, and I think it's more realistic.

Dave Klimisch:

And having healthy reserves keeps our borrowing costs down which saves money all around.

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Mike Pollocoff:

And having healthy reserves mean that we don't do what some communities do which is do short-term borrowing because they don't have enough money between their January payments and their December payments of whatever state aid they get. So the state won't pay us for the power plant in bulk until November. We carry -- that's an IOU we carry all year until November. And some municipalities are unable to do that. Having reserves enables the Village to be flexible and manage our accounts without having to borrow for operations.

And, secondly, it enables us to be able to respond to any critical emergencies that arise without having to run to the bank to say we had something come up, we need that money. So when we had that flooding in Carol Beach and we've had other places we've been able to respond, take care of bills, buy equipment, buy sandbags, buy whatever we need and then get reimbursed after a disaster declaration or the state provides reimbursement of the federal government. No one can be certain as to what's going to happen, but you can always be certain that something is going to go to hell somewhere and then you need [inaudible].

John Steinbrink:

For example, the state had a reserve or a surplus in their insurance fund, and that's what we insured part of our stuff with through the municipality. Well, in the wisdom of Madison they made them dissolve that surplus. So what happens? Rates go up for municipalities because they don't have the money to cover their bills.

Mike Pollocoff:

And they eliminated the fund.

John Steinbrink:

And they eliminated the fund.

Mike Pollocoff:

So now our municipality is stuck in the private market saying please insure our Fire Department and our Police Department and our Public Works Department, three of those risky activities you do, with the private insurance market. Whereas before for 100 years municipalities had insured, we paid for that, we paid for insurance, and they created a trust fund to guarantee that if a police officer injured somebody or a fireman fell through a roof on a fire we could take care of what we need to take care of, and it would be not as great a risk. But now they've raided that fund. And then there's a lot of private companies that would like to write that, but they need a return on their investment. Whereas the way it was set up before we needed to cover our expenses and have an adequate reserve. The only one that's going to win in this new world are going to be the insurance companies because they'll get to write more policies.

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Steve Kumorkiewicz:

Surprise you? Mike, how many communities around us has the percentage of funds in reserve that we have?

Mike Pollocoff:

I think there's a fair number. Everybody took a beating over the last few years. But I'd say probably a lot of the suburban communities and some of the bigger cities have had a problem. I think most communities that have a diversified economy have been able to establish over time a good reserve fund because they've had the ability to levy a tax rate that's more evenly levied across residential users and business users. So it's made that easier. And if you have a certain level of steady growth and development that feeds the engine as well. So some areas have it and some don't.

Michael Serpe:

You know what's upsetting is we're giving a good presentation here of a responsible budget, and I never saw one state representative other than John sit in that audience and listen to us, how we have to justify our expenses and the revenues and the tax structure for this Village. That's kind of a shame.

John Steinbrink:

Other comments or questions? Kathy, you had more?

Kathy Goessl:

Yes, now I'm switching to the capital section. We went over the operating section, now this is the capital section which are items over \$5,000 individually that departments have requested. I group these also by category. First of all is Fire and Rescue. Fire and Rescue has three requests that we're recommending. The first one is the ladder truck. This is to replace a 1988 110 foot ladder truck that we have. We are recommending borrowing for this at \$1.3 million. This truck has had a lot of mechanical issues lately and needs to be replaced.

A power cot for the ambulance to help transport patients from their homes or where the incident happens to the ambulance. And then also replace the heart monitors and defibrillators for \$124,000, a total of \$1.4 million, almost \$1.5 million with just the ladder truck being recommended for borrowing. The others are recommended to use levy.

The Police Department has four requests that we're recommending. The first one is the vehicle fleet replacement program which is on their list year after year. This helps keep our vehicles well maintained and not too much maintenance for them. This program will allow us to replace our fleet at the rate of every three years for the new Tahoes that they're buying, every two years for the Impalas marked squad, and every four to six years for the unmarked squad. So they're asking for \$140,000 this year.

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Then we're looking at the Cellebrite cellular telephone analysis system for a little over \$16,000. This is hardware and software for data extraction, transfer and analysis device for cell phones, tablets and other mobile devices. A lot of the crimes involve mobile devices, and this system will help them analyze the data and information on these portable devices. A live scan fingerprint system. This is technology to capture fingerprints without the need of the more traditional ink and paper, and that's another a little over \$16,000 they're requesting.

And the last item is for -- well, it initially started out as the design for the Police Department's new quarters. But with a program that I'll talk about in the next slide or two we're looking at building equipment storage at Prange for the Public Works utility vehicles and equipment. And once we built the facility based on the layout of it and there's a lot of wetlands there, we will not be able to position or build something for the police headquarters on the Prange site. That building will take up all the available space for the storage shed. So what we're recommending is to use impact fees which have been collected over the last number of years to actually look to purchase land elsewhere than the Prange site for this police headquarters and use impact fees to actually purchase this land. So that's the recommended police list of capital improvements totaling \$672,625.

For Information Technology their request is a little bit smaller than last year. They had a long list last year. This year we're looking at three items that we're recommending. The first one is in the data center infrastructure category. It's \$8,000 for a data loss prevention software/hardware solution for \$8,000. The second category which is DVRs and TVs and access control they're asking for two smart boards, one for police and one for fire and rescue for a total of \$14,000.

And in the infrastructure projects this category initially include \$250,000 to finish the dark fiber loop that the first section was put in this year. We're looking at postponing that for future years, maybe 2017. So 250 of that adjustment is to take that out of this request. And what's left in this request now is the Village website, changing that up for \$60,000. And replacement of the key scan access control for \$15,023. So the total request that we're approving for the IT Department is \$97,023.

This is our road maintenance. And this is a major portion of our budget that we're looking at an increase for. We're increasing the paving program from \$988,000 in 2015 to \$1.6 million in 2016. And for 2017 our plan is to increase to \$1.9 million. This is the month that we really need to keep the Village roads maintained each year. In the past we've done just the minimum, but this is an important part. The Village has a lot of roads, and to maintain them is cheaper than to replace them. So we want to get this budget up to a point where we can maintain our roads on a regular basis so we're not having to rip them up and repave them.

For 2016 that \$1.6 million includes ultra thin overlay in Hidden Oaks, Terwall Terrace and Meadowlands. It includes a micro surface on 113th Street west of County Trunk H, and Old Green Bay Road south of 165. It includes pulverize and relay in Rolling Meadows. It includes improving the intersection of Springbrook, 29th and 92rd Street. It also includes compost site access at 73-1 paving. That's the total for \$1.6 million.

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The transportation plan is \$10,000. This plan will be used as a tool to guide development of new roads in the future. So overall we're looking at \$1.6 million, a large increase over last year's budget. So that's part of the reserve we use the reserves in general government. We transferred the increase in levy that we have to help support this paving program.

Mike Pollocoff:

I might add this is one of those -- we were at a point where we were spending \$1.9 million a year before Act 10 came and we lost the chunk of our shared revenues. We lost a good chunk of the road aids that are received. Road aids are what money is collected from vehicle registration, gas tax. And that money was taken from villages and cities, and it was increased in towns. And that hasn't come back. In fact, this last year we were at a point where road aids were about, as Kathy said, \$900,000, and now we're going back down to \$700,000 and change.

So road aids are continuing to decrease. The state hasn't found a solution to their road improvement problems. So one of the fixes is to spend less to municipalities. And road construction I've come to the conclusion over the years it's almost as bad as health insurance in the way the prices for construction inflate. So you have two things working against you. You have the cost of oil and asphalt. Even though it's gone down for gasoline, it still hasn't gone down for asphalt. The only thing that has made asphalt become less expensive this year is because there's competition. Because typically there's only been one provider for asphalt services in southeast Wisconsin.

But roads deteriorate. Once they reach a point where they start deteriorating, where they break down, what it takes to get that road back up to a certain spec is even more. So what we've been working on over the last few years is to take surface roads with a sealant. It doesn't look great, but it does provide some protection for those roads from the cracks filling with water through a freeze cycle. And then the micro pave portions and rehabbing them and ripping them up, milling them up and repaving when we have to.

And Public Works has put together a report and a study that if we spend \$1.9 million a year each year, and we do that much road work, we can stay ahead of that where we don't have more roads dropping off to the point where they need to be milled and repaved. We want to get to those before that happens where if we can just put a two inch overlay on it or if it's on a curb section or if it's not in a curb section we can just to a microsurface on it. That stops it from going. And we really haven't had the money to do it. And I think realistically if anybody believes that we're going to get more money from the state I don't see that policy generating out there. And these are all local roads we're doing. We're not doing county roads or anybody else.

And I really believe, I know if I were to track complaints that we receive at the Village Hall the greatest complaint we have is when are you going to pave my road? My road is in bad condition. And over the last six, seven years public works has worked really hard to get the arterials back in pretty good shape. But the neighborhood roads are all in tough condition. So at the end of ten years we should be able to pretty much hit all the really bad ones and take care of it. But on a community with about 180 miles worth of roads \$700,000 isn't going to cover it. It just isn't going to cut it.

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And I think I'd be surprised if that's not the final reduction in road aid from the state. If it mirrors what they did in shared revenues for income taxes I wouldn't be surprised to see that municipalities, again, shifting that money back to the state to help them with their road problems like they did in 2010 they would probably do it again. So I think we need to be realistic and know. I don't want to prefund it. I'm waiting to see. But I don't think that \$700,000 is there to count on. I think the state collects that money, and we have no guarantees that they're going to disburse it back over time.

John Steinbrink:

As you said we get money back by registrations. That's why it's important on your registration you make sure is says Village of Pleasant Prairie. Because if it says Kenosha the money doesn't go to the Village, it goes to the City. And for a while we had a big problem with that with the way the state was coding those or entering them in there. But they've gotten better. But it's important to check that because that's money that we get back by the proportion of vehicles kept here.

Mike Pollocoff:

Right. And we're not really counting on grants in this. I mean we've been able to get some grants about every year to do some road work. But I don't think, again, that's something we can count on. So if we do get a grant it helps us either do more roads, or maybe we can cut back a little bit. But this gets at a point where we maintain this level, it's a little tough to get up to that level, but we maintain this level we'll be able to keep up with all the roads that we need to do. Not everybody is going to get theirs all done at once, but within the next ten years we should be able to really touch every road that needs some assistance and get it back up to spec.

John Steinbrink:

More, Kathy?

Kathy Goessl:

Yeah, of course.

Mike Pollocoff:

Lots more.

Kathy Goessl:

The Parks Department's recommended capital purchases are the neighborhood parks. We've been collecting impact fees across the Village for neighborhood parks. And the Park Commission has met and are working on what they can do in each of the parks to have money available for that. And so we're looking at spending the majority of the impact fee money we've collected over the last number of years in each neighborhood park. Each neighborhood park has a certain amount of

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money. And then Ingram Park improvements is to re-roof the barn roof building. So a total of \$286,000 for the Parks Department, the majority being funded by impact fees.

Other departments we have a list here of five programs that we're recommending. The first one is actually a carryover from this year from the public safety communication area to convert radio systems to IP for \$25,000. The second one is a large one, its equipment storage at Roger Prange. I talked about it a little bit earlier. It's a little less than \$3 million. It's to put a building up at Prange. The additional storage will allow the fleet internal service fund to keep all their equipment with 25 percent future expansion available inside. That will be able to have the equipment last longer. Thirty nine percent will be funded by the enterprise funds which is the sewer fund, water fund and clean water which totals \$1.1 million or almost \$1.2 million. And \$120,000 will be funded by impact fees. The balance which is \$1.6 million is being recommended to be borrowed. So the two things we're looking at borrowing for is this equipment storage garage just for the general government portion and the ladder truck.

The third thing is used total station being requested by public works for \$10,000. The Village will be able to complete survey work in house and not have to pay for a consultant to complete surveys and design work for small projects. To replace the HVAC controls at Roger Prange. The Prange is an over 20 year old building. This is to replace the controls to prevent the unit from becoming inoperable. That will cost about \$8,000. Another thing at Roger Prange is to replace the three man way doors. The doors need to be replaced. They are rusting and do not function well. That's a cost of \$6,000. So overall we're looking at about \$3 million in the other department category that we're recommending to approve.

These are items we did not recommend to approve. A group of them were from the Fire and Rescue Department. We have an automobile, a drone, station 2 building maintenance which is actually taking their day room and dividing it to make more useful space in there. Mobil and portable radios and pagers, thermal imaging camera replacement. At the Roger Prange Center we're looking at LED parking lights which we didn't approve, street lights to replace those to LED. We recommend to push that off until the actual storage building is built. Parks, the fitness station around Lake Andrea not recommended. And the dark fiber that I talked about earlier we're looking at pushing that off until 2017 or later for a total of \$470,000 of programs not being recommended in this budget.

So here's a summary similar to the operating government summary on the capital fund side of things. The tax levy that we're looking at putting to this fund is increasing a little over half a million dollars to help fund. And most of the funding you can see the big increase in the road maintenance. On this spreadsheet I gave you the budget for 2015, what we're estimating for 2015 and also the proposed budget and the change from the proposed to the previous budget. The transmission lines we're looking at an increase there. This is mainly an annual payment, but we did have a one time payment in 2015 because of increase in the amount of transmission lines, and that also increased our annual payment from \$40,000 to \$46,000 for 2016.

The road grant as Mike was talking earlier has been decreased this year by \$81,000 down to \$719,365. The form actually calculated an even bigger decrease, but they're limited to a ten percent decrease each year for us. Impact fees, these are the impact fees that are being collected. Interest

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income on the fund. Others includes vehicle sales which for 2015 was the police vehicles for \$21,000. But we actually received for 2015 for \$234,000 is because of insurance reimbursement we're getting for the fire damage at the new fire station during the construction that happened back in January. So that's supposed to be \$109,000. For 2016 that other line item just includes police vehicle sales. So overall our revenue is increasing \$434,000 over last year's budget, the majority being the tax levy increase.

The total of all the programs that I showed on the previous slide that was recommended total a little over \$7 million. So this is an increase of a little over half a million dollars in the capital outlay we're looking at. This last year we had the fire station and the Village Hall repurposing is a major amount of that from this year. But for 2016 you saw the major things being the Roger Prange storage facility and the ladder truck and the road maintenance program.

So we're recommending borrowing a little over \$3 million for the Roger Prange storage building and the ladder truck. We're looking at using impact fees of \$900,000 which is an increase over last year's use of impact fees. Impact fees are going to be recommended to be used for the neighborhood parks for \$280,000, the PD land acquisitions for the new police headquarters of half a million dollars, and equipment storage at Prange of \$120,000.

The transfer in here is the transfer in from the enterprise funds to fund the Roger Prange at \$1.1 million. So overall the change in funds here for 2016 being proposed is pretty much a balanced budget. The \$150,000 represents the impact fees up at the top that are being collected and not used this year. Otherwise the other budgets are using the money because they're spending down the borrowing we did in the previous year, '14. That's why you see a negative number happening in the 2015 budget and 2015 estimate. Any questions on the capital fund summary?

Here's our beginning and ending fund balance in this fund. We're looking t actually an increase in fund balance unreserved from '15 to '16 of a little over \$23,000. Our impact fee balance which is in the middle section of the slide is actually going down \$600,000. You see we're spending a lot of money with the police land acquisition and the Prange building and the parks. So that's why that's going down to our all time low impact fee balance of \$272,000 that we've collected and would not be spent at that point.

Mike Pollocoff:

If we don't spend the impact fee money that we've allocated we have to give it back to the developers that provided it to us. So when they modified the impact fee law a few years after they adopted it there's a sunset. So you have to spend that money. For police they have quite a bit of money that's coming through where if we don't spend it for the projects we've identified then it goes back to whatever developers paid for the impact fees.

Kathy Goessl:

That's the same for the neighborhood parks. Those are coming to a point where we need to spend them or give that back and the police, too. Initially there was time frames set for impact fees. Now

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it's just a reasonable amount of time. But these earlier fees that we have to spend now actually have a definite time frame that we have to spend them in.

So this is the capital. I have one more section to go. The last section is a little bit shorter, it's debt service. This is our outstanding debt trend since 2010 to 2016. From 2010 to 2013 we didn't borrow any money. We just basically spent down our debt. And in 2014 we borrowed \$6.9 million for the fire station and the Village Hall repurposing. And then in 2015 we paid down debt. We didn't borrow anything. We paid down \$1.3 million. And now we're proposing to borrow \$3 million in 2016 for the equipment storage and the ladder. The general government outstanding debt at the end of '16 with the proposed borrowing will be \$11.6 million.

This is a summary for the debt service. We're looking at a little bit higher levy this year in the debt service of \$193,000. Our principal and interest payments have pretty much stayed pretty stable. They're down a little bit. In 2015 -- well, actually in 2014 we had a borrowing that included a premium. The premium of \$342,000 was dedicated to debt service for future debt service payment. So in 2015 you can see in the net gain loss we used \$266,000 of that premium to pay the debt for 2015. In 2016 we're going to use the remaining \$75,000 of that premium to pay our 2016 debt. The increase in this levy is because the premium that we're using in 2016 is less than 2015. So we have to increase the levy to help cover that. Next year we won't have the premium anymore, and we'll have to increase \$75,000 for sure to cover our debt for that year. So we have a nice reserve. Not like general government but enough to weather the ups and downs if we need to in the debt service fund.

So that's the three sections, operating, capital and debt. So the most important I guess is how it affects the tax levy. We have a state levy limit that we have to follow. The levy last year was a little over \$10 million. The levy limit this year based on the calculations is a little over \$11 million. So we're recommending to levy to the limit and increase our levy \$943,872. This increase is due to growth of 3.867 percent which is equivalent to \$350,000 of this increase plus a debt adjustment of \$593,000 for the total allowable increase of the \$943,000. We are recommending to take the total increase to help fund our road program.

How does that levy spread over our different categories that I was talking about this evening, our operating, debt and capital? The operating fund of that \$943,000 allowable increase the operating fund is taking \$247,000 of it to go to \$8.2 million of the levy being attributed to operating. Debt is taking \$193,000 for an increase of \$1.5 million in the debt or levy. And then capital is taking the majority of it of half a million to increase their levy allocation to almost \$1.3 million. Overall you can see the bar graph showing us going from \$10 million to \$11 million in tax levy in total.

This is our historical Village mill rate and our assessed value. The blue line is our assessed value in billions of dollars. You can see how it has gone up and down over the last nine or ten years here. We're still not back to our peak in 2010 of \$2.87 billion. This year we're looking at \$2.8 billion. Our mill rate has been steadily increasing based on us over the last number of years going to the levy limit and slowly increasing our mill rate based on growth and debt adjustments.

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Mike Pollocoff:

A good thing to keep in mind as your assessed values go down the value we have in the community your tax rate goes up. So it's not a one-to-one ratio on how much we're spending, it's really reflective of how much tax base you have to work against.

John Steinbrink:

And we are a service provider. And as we're accumulating more people to take care of in businesses we have to increase the cost for that.

Mike Pollocoff:

Right.

John Steinbrink:

Or we can't do it. And nobody wants less service.

Kathy Goessl:

So my final slide is how does this affect a median residential home in the Village? Our assessed value has not changed from last year to this year. We did not have a revaluation so the median assessed value has stayed the same at \$191,600. The Village property tax at the proposed budget we're looking at would be \$889, an increase of \$42.04 or 4.96 percent is what the budget we're proposing would affect a residential homeowner who has a median house. So that's all I have. Any questions?

Michael Serpe:

When does the County and schools come in?

Kathy Goessl:

The County is late. The County doesn't give theirs until the end of the month in November. Schools they should be coming out shortly.

Kris Keckler:

Budget adoption tomorrow night.

Kathy Goessl:

So we don't know any of the other rates at this time. We just know what we're looking at proposing. So over the next couple weeks to a month we'll get everybody else in and figure out what our total taxpayers' impact will be.

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Mike Pollocoff:

With this presentation if the Board authorizes Kathy will publish this as a notice for the budget hearing to be held on November 16th.

Michael Serpe:

I would make that motion.

Dave Klimisch:

I'll second it.

John Steinbrink:

Motion by Mike, second by Dave. Any further discussion? ?

SERPE MOVED TO AUTHOIRZE THE FINANCE DIRECTOR TO PUBLISH A NOTICE OF THE PROPOSED 2016 GENERAL FUND BUDGET, CAPITAL AND DEBT SERVICE AND SET THE PUBLIC HEARING FOR MONDAY, NOVEMBER 16, 2015 AT 6 P.M.; SECONDED BY KLIMISCH; MOTION CARRIED 5-0.

4. ADJOURNMENT

SERPE MOVED TO ADJOURN THE MEETING; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0 AND MEETING ADJOURNED AT 6:20 P.M.

RESOLUTION #15-32

**RESOLUTION RELATING TO ADOPTION
OF 2016 BUDGET AND PROPERTY TAX LEVY INCLUDING
CAPITAL, DEBT SERVICE, AND OTHER
FUNDS OF THE VILLAGE BUDGET**

WHEREAS, the Village Board of the Village of Pleasant Prairie, in order to promote the public health, welfare and safety of the residents of the Village of Pleasant Prairie; and,

WHEREAS, the proposed 2016 Budget including capital, debt service, and ancillary funds have been noticed publicly and have been available for review prior to a public hearing; and,

WHEREAS, the adoption of the General Fund Budget requires a property tax levy of \$11,024,953,

NOW, THEREFORE, BE IT RESOLVED that the Village Board of the Village of Pleasant Prairie hereby adopts the 2016 Budget and property tax levy including capital, debt service, and other ancillary fund budgets of the Village.

Passed and adopted this 16th day of November 2015.

John P. Steinbrink, President
Village of Pleasant Prairie

Attest:

Jane M. Romanowski, Village Clerk

Posted: _____



Village of
Pleasant Prairie

2016

General Government
Budgets

Village of Pleasant Prairie
Proposed 2016 Budget
General Government

- 1) Operating Fund – Page 3
 - a) Revenue & Expense Summary
 - b) Revenue Detail (Page 7-10)
 - c) Expenses by Department (Page 11-47)
 - d) Decision Packages (Page 48)

- 2) Debt Fund – Page 49-51

- 3) Capital Fund – Page 52-56



Budget Projection - Compared to Prior Year's Actuals

10/21/15

For Fund - 100 - General - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
Taxes									
	Finance	7,491,902	7,731,114	8,219,179	7,851,048	8,215,066	8,923,782	8,421,227	0
	Total for : Taxes	7,491,902	7,731,114	8,219,179	7,851,048	8,215,066	8,923,782	8,421,227	0
Interg Rev									
	Police	46,320	16,415	20,000	21,707	20,000	20,000	20,000	0
	Fire & Res	77,758	94,826	88,751	94,191	94,192	89,998	89,998	0
	Finance	1,929,288	2,074,801	2,064,169	330,538	2,066,221	2,066,246	2,083,230	0
	Total for : Interg Rev	2,053,366	2,186,041	2,172,920	446,437	2,180,413	2,176,244	2,193,228	0
Lic/Permit									
	Fire & Res	188,804	171,666	73,000	149,198	145,000	30,000	30,000	0
	Inspection	792,261	1,008,997	739,280	787,715	868,280	735,000	955,000	0
	Clerk	35,212	33,084	23,600	23,044	25,645	25,100	25,100	0
	Finance	9,349	13,026	11,000	9,005	11,000	11,000	11,000	0
	Assessing	(3,363)	55,986	54,335	40,540	52,000	52,000	52,000	0
	CD	119,416	107,727	147,112	104,640	143,160	165,588	165,588	0
	Total for : Lic/Permit	1,141,679	1,390,487	1,048,327	1,114,143	1,245,085	1,018,688	1,238,688	0
Fines									
	Muni Court	338,248	412,511	388,000	312,163	382,000	384,000	384,000	0
	Total for : Fines	338,248	412,511	388,000	312,163	382,000	384,000	384,000	0
Public Chg									
	Engineerg	173,099	195,763	209,600	132,512	182,083	238,075	238,075	0
	Police	11,826	15,569	20,000	10,812	20,000	20,000	20,000	0
	Fire & Res	473,331	504,275	503,882	333,617	518,603	515,000	515,000	0
	PW	4,208	42,335	290,860	192,749	290,860	457,912	457,912	0
	Admin	1,215	1,500	1,500	2,310	2,250	1,500	1,500	0
	Clerk	569	381	3,372	700	701	700	700	0
	IT	285,362	283,423	288,708	200,463	291,508	282,648	291,648	0



Budget Projection - Compared to Prior Year's Actuals

10/21/2

For Fund - 100 - General - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
	Street Lt	137,763	142,336	146,000	107,694	146,000	146,000	146,000	0
	Finance	14,847	24,375	14,000	13,947	14,000	14,000	14,000	0
	Total for : Public Chg	1,102,219	1,209,958	1,477,922	994,805	1,466,005	1,675,835	1,684,835	0
Interg Chg									
	Police	50,159	31,197	33,690	15,947	33,690	33,690	33,690	0
	Finance	59,468	59,468	59,468	0	59,468	59,468	59,468	0
	Assessing	305,745	215,149	207,801	190,228	207,801	212,589	212,589	0
	Total for : Interg Chg	415,372	305,814	300,959	206,175	300,959	305,747	305,747	0
Misc Rev									
	Admin	27,350	13,375	9,500	0	9,500	9,500	9,500	0
	Finance	37,937	281,126	186,814	136,239	203,466	203,855	203,855	0
	Total for : Misc Rev	65,287	294,501	196,314	136,239	212,966	213,355	213,355	0
	Total Revenues:	12,608,073	13,530,426	13,803,621	11,061,009	14,002,494	14,697,651	14,441,080	0
Operating Expenses									
Gen Govt									
	Board	95,728	88,927	93,188	74,297	93,441	96,181	96,181	0
	Muni Court	157,242	165,130	158,825	131,477	167,515	171,995	171,219	0
	Admin	222,784	228,419	256,317	197,007	248,347	304,775	305,772	0
	Clerk	69,335	89,085	76,115	65,120	75,162	101,325	98,252	0
	IT	613,943	836,258	1,056,549	775,866	957,522	1,082,023	984,765	0
	HR	139,662	160,122	159,077	122,517	154,689	163,512	161,648	0
	Finance	421,536	496,447	464,409	381,686	460,408	484,083	477,263	0
	Contingenc	0	317,130	12,456	208,218	275,000	67,192	67,192	0
	Assessing	529,625	510,504	579,005	405,227	523,551	575,834	572,053	0
	V Hall	96,527	95,467	112,899	61,666	118,265	127,399	127,399	0



Budget Projection - Compared to Prior Year's Actuals

10/21/2

For Fund - 100 - General - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Operating Expenses									
	Prange	251,494	264,974	281,885	155,428	266,095	269,859	278,665	0
	Total for : Gen Govt	2,597,876	3,252,464	3,250,726	2,578,509	3,339,995	3,444,179	3,340,408	0
Public Saf									
	Police	3,652,520	3,927,461	3,892,855	3,106,602	3,927,805	3,993,048	3,986,972	0
	Fire & Res	3,197,249	3,246,423	3,587,445	2,474,824	3,371,047	3,599,846	3,593,998	0
	Inspection	278,949	357,024	399,163	297,945	382,590	437,838	434,839	0
	Public Saf	422,027	446,098	503,739	380,986	499,283	515,957	512,720	0
	Total for : Public Saf	7,550,744	7,977,006	8,383,203	6,260,357	8,180,726	8,546,690	8,528,530	0
PW									
	Engineerg	326,401	399,862	325,169	219,920	307,089	336,549	334,075	0
	PW	1,315,671	1,479,561	1,594,841	1,153,454	1,561,025	1,803,303	1,795,001	0
	PW Clring	0	0	0	242,860	0	0	10	0
	Oper Pjcts	0	0	0	0	0	0	0	0
	Util Clr	0	0	0	122,716	0	0	0	0
	Street Lt	228,352	304,931	279,387	186,768	291,780	287,527	287,180	0
	Total for : PW	1,870,425	2,184,355	2,199,398	1,925,718	2,159,895	2,427,379	2,416,266	0
Parks/Rec									
	Parks	449,451	443,325	463,467	306,037	400,740	495,384	493,264	0
	Total for : Parks/Rec	449,451	443,325	463,467	306,037	400,740	495,384	493,264	0
Comm Dev									
	CD	387,668	401,740	446,005	317,523	439,740	452,426	449,341	0
	Total for : Comm Dev	387,668	401,740	446,005	317,523	439,740	452,426	449,341	0
	Total Operating Expenses:	12,856,165	14,258,889	14,742,798	11,388,143	14,521,095	15,366,058	15,227,808	0

Transfers

10515110-500900	Transfer Out	0	(189,313)	0	0	0	0	0	0
10975110-492002	Transfer In - Tax Equivalent	939,177	847,927	939,177	0	847,927	847,927	847,927	0



Budget Projection - Compared to Prior Year's Actuals

For Fund - 100 - General - Fiscal Year - 2015

10/21/15

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
	Total Transfers:	939,177	658,614	939,177	0	847,927	847,927	847,927	0
Fund Balance									
	Beginning Fund Balance	3,932,930	4,624,016	4,554,166	4,554,166	4,554,166	4,883,492	4,883,492	4,883,492
	Income / (Loss)	691,086	(69,849)	0	(329,631)	329,325	179,521	61,200	0
	Ending Fund Balance	4,624,016	4,554,166	4,554,167	4,224,535	4,883,492	5,063,012	4,944,691	4,883,492
	Reserved	464,925	364,569	364,569	364,569	364,569	364,569	364,569	364,569
	UnReserved Fund Balance	4,159,091	4,189,598	4,189,598	3,859,966	4,518,923	4,698,444	4,580,123	4,518,923
	15% of Revenue	1,891,211	2,029,564	2,070,543	1,659,151	2,100,374	2,204,648	2,166,162	0
	Available	2,267,880	2,160,034	2,119,055	2,200,815	2,418,549	2,493,796	2,413,961	4,518,923



Budget Projection - Compared to Prior Year's Actuals

10/21/2

For Fund - 100 - General - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
Taxes									
	Finance	7,491,902	7,731,114	8,219,179	7,851,048	8,215,066	8,923,782	8,421,227	0
10415110-411100	General Property Tax Revenue	7,224,389	7,473,684	7,956,179	7,956,184	7,956,184	8,706,658	8,204,103	0
10415110-411102	Property Taxes - Miscellaneous	(2,661)	(1,776)	0	(292,100)	(58,241)	(46,548)	(46,548)	0
10415110-411105	Ag Use Penalty	0	3,340	0	34,654	34,528	572	572	0
10415110-411400	Mobile Home Tax	145,481	133,629	146,000	26,313	146,000	135,000	135,000	0
10415110-412100	Hotel/Motel Taxes	58,101	60,090	55,000	44,404	55,000	60,000	60,000	0
10415110-418000	Property Tax Penalty	49,563	44,723	45,000	63,484	63,484	50,000	50,000	0
10415110-419001	Other Taxes	17,030	17,424	17,000	18,111	18,111	18,100	18,100	0
	Total for : Taxes	7,491,902	7,731,114	8,219,179	7,851,048	8,215,066	8,923,782	8,421,227	0
Interg Rev									
	Police	46,320	16,415	20,000	21,707	20,000	20,000	20,000	0
10432110-435210	Law Enforcement Grant	46,320	16,415	20,000	21,707	20,000	20,000	20,000	0
	Fire & Res	77,758	94,826	88,751	94,191	94,192	89,998	89,998	0
10432210-434200	Fire Insurance Dues From State	77,758	88,572	88,751	89,999	89,999	89,998	89,998	0
10432210-435291	Ambulance Service Grant	0	6,254	0	4,193	4,193	0	0	0
	Finance	1,929,288	2,074,801	2,064,169	330,538	2,066,221	2,066,246	2,083,230	0
10435110-434100	Income Tax From State	1,902,452	2,049,578	2,039,576	305,937	2,041,619	2,041,618	2,031,935	0
10435110-435350	Exempt Computer Aid	25,409	23,705	23,075	23,128	23,128	23,128	49,795	0
10435110-436100	State Payment-Municipal Svcs	1,427	1,518	1,518	1,474	1,474	1,500	1,500	0
	Total for : Interg Rev	2,053,366	2,186,041	2,172,920	446,437	2,180,413	2,176,244	2,193,228	0
Lic/Permit									
	Fire & Res	188,804	171,666	73,000	149,198	145,000	30,000	30,000	0
10442210-443004	Fire Dept. Permits	188,804	171,666	73,000	149,198	145,000	30,000	30,000	0
	Inspection	792,261	1,008,997	739,280	787,715	868,280	735,000	955,000	0
10442410-443001	Single Family Building Permits	202,831	170,990	169,000	155,519	169,000	210,000	210,000	0



Budget Projection - Compared to Prior Year's Actuals

10/21/2

For Fund - 100 - General - Fiscal Year - 2015

BudProjectPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
10442410-443002	Two Family Building Permits	1,144	0	0	0	0	30,000	30,000	0
10442410-443003	Multi-Family Building Permits	26,615	53,630	30,000	0	0	20,000	30,000	0
10442410-443005	Commercial/Industrial Permits	491,297	718,295	500,000	533,940	600,000	397,000	597,000	0
10442410-443006	Miscellaneous Bldg Permits	9,234	8,457	10,000	6,285	7,000	7,500	7,500	0
10442410-443007	Commercial Electrical Permits	59,372	51,324	25,000	86,071	87,000	65,000	75,000	0
10442410-443009	Application Fees (Inspection)	40	0	0	0	0	0	0	0
10442410-443010	Weights And Measures	1,729	6,301	5,280	5,900	5,280	5,500	5,500	0
	Clerk	35,212	33,084	23,600	23,044	25,645	25,100	25,100	0
10444120-441000	Liquor Licenses	22,860	22,968	12,000	12,254	13,000	14,000	14,000	0
10444120-441001	Bartender Licenses	7,217	5,627	7,000	8,740	8,545	7,000	7,000	0
10444120-441003	Cigarette Licenses	1,100	1,300	1,100	1,000	1,100	1,100	1,100	0
10444120-441004	Theatre Licenses	300	300	0	0	0	0	0	0
10444120-441005	Other General Licenses	3,735	2,889	3,500	1,050	3,000	3,000	3,000	0
	Finance	9,349	13,026	11,000	9,005	11,000	11,000	11,000	0
10445110-442001	Dog Licenses	7,430	8,692	8,000	6,805	8,000	8,000	8,000	0
10445110-442002	Dog Park Tag	1,918	3,844	3,000	2,200	3,000	3,000	3,000	0
10445110-444004	Tax Exemption Form Fee	0	490	0	0	0	0	0	0
	Assessing	(3,363)	55,986	54,335	40,540	52,000	52,000	52,000	0
10445150-445001	Property Record Maint Fee	(3,363)	55,986	54,335	40,540	52,000	52,000	52,000	0
	CD	119,416	107,727	147,112	104,640	143,160	165,588	165,588	0
10447110-444002	Application Fees	88,741	75,147	108,410	72,690	108,410	124,368	124,368	0
10447110-444005	Single Family Zoning Permits	19,710	18,895	20,200	17,205	20,250	20,325	20,325	0
10447110-444006	Two Family Zoning Permits	40	0	205	0	0	1,425	1,425	0
10447110-444007	Multi-Family Zoning Permits	1,070	1,910	5,797	0	0	5,470	5,470	0
10447110-444008	Com/Industrial Zoning Permits	5,125	6,965	8,000	5,455	6,000	8,000	8,000	0
10447110-444009	Misc Zoning Permits/Fees	4,730	4,810	4,500	9,290	8,500	6,000	6,000	0
	Total for : Lic/Permit	1,141,679	1,390,487	1,048,327	1,114,143	1,245,085	1,018,688	1,238,688	0



Budget Projection - Compared to Prior Year's Actuals

10/21/2

For Fund - 100 - General - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
Fines									
	Muni Court	338,248	412,511	388,000	312,163	382,000	384,000	384,000	0
10452111-451001	Municipal Court Revenue	323,090	379,155	348,000	297,602	352,000	352,000	352,000	0
10452111-451002	Parking Ticket Revenue	15,158	33,356	40,000	14,561	30,000	32,000	32,000	0
	Total for : Fines	338,248	412,511	388,000	312,163	382,000	384,000	384,000	0
Public Chg									
	Engineerg	173,099	195,763	209,600	132,512	182,083	238,075	238,075	0
10461000-463101	Engineering Dept Services	169,734	194,880	197,600	127,429	177,000	230,575	230,575	0
10461000-464401	Weed & Nuisance Control	3,365	884	12,000	5,083	5,083	7,500	7,500	0
	Police	11,826	15,569	20,000	10,812	20,000	20,000	20,000	0
10462110-462100	Police Department Earnings	11,826	15,569	20,000	10,812	20,000	20,000	20,000	0
	Fire & Res	473,331	504,275	503,882	333,617	518,603	515,000	515,000	0
10462210-462200	Fire Department Earnings	34,774	63,682	40,000	49,751	54,721	50,000	50,000	0
10462210-462300	Rescue Squad Earnings	438,557	440,593	463,882	283,866	463,882	465,000	465,000	0
	PW	4,208	42,335	290,860	192,749	290,860	457,912	457,912	0
10463111-463100	Highway Department Earnings	(7,727)	33,065	3,000	698	3,000	3,000	3,000	0
10463111-463102	Row Permits	11,935	9,270	13,300	2,880	13,300	10,000	10,000	0
10463111-463104	Engineering Construction Svc	0	0	274,560	189,171	274,560	444,912	444,912	0
	Admin	1,215	1,500	1,500	2,310	2,250	1,500	1,500	0
10464110-461004	Prequalification Fees	1,215	1,500	1,500	2,310	2,250	1,500	1,500	0
	Clerk	569	381	3,372	700	701	700	700	0
10464120-461001	Publication Fees	569	381	3,372	700	701	700	700	0
	IT	285,362	283,423	288,708	200,463	291,508	282,648	291,648	0
10464150-461011	Franchise Fee	281,990	279,983	285,200	200,463	288,000	279,000	288,000	0
10464150-463103	It Department Services	3,372	3,440	3,508	0	3,508	3,648	3,648	0
	Street Lt	137,763	142,336	146,000	107,694	146,000	146,000	146,000	0
10464210-463210	Street Lighting	137,763	142,336	146,000	107,694	146,000	146,000	146,000	0



Budget Projection - Compared to Prior Year's Actuals

10/21/2

For Fund - 100 - General - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
	Finance	14,847	24,375	14,000	13,947	14,000	14,000	14,000	0
10465110-461006	Administrative Fees	5,741	12,330	5,000	4,959	5,000	5,000	5,000	0
10465110-461007	Special Assessment Letters	9,106	12,045	9,000	8,988	9,000	9,000	9,000	0
	Total for : Public Chg	1,102,219	1,209,958	1,477,922	994,805	1,466,005	1,675,835	1,684,835	0
Interg Chg									
	Police	50,159	31,197	33,690	15,947	33,690	33,690	33,690	0
10472110-473210	School Liaison Officer	50,159	31,197	33,690	15,947	33,690	33,690	33,690	0
	Finance	59,468	59,468	59,468	0	59,468	59,468	59,468	0
10475110-473601	Utility Lease Pmt For V Hall	59,468	59,468	59,468	0	59,468	59,468	59,468	0
	Assessing	305,745	215,149	207,801	190,228	207,801	212,589	212,589	0
10475150-473901	Assessing Contracts	305,745	215,149	207,801	190,228	207,801	212,589	212,589	0
	Total for : Interg Chg	415,372	305,814	300,959	206,175	300,959	305,747	305,747	0
Misc Rev									
	Admin	27,350	13,375	9,500	0	9,500	9,500	9,500	0
10484110-485005	Media Communications	27,350	13,375	9,500	0	9,500	9,500	9,500	0
	Finance	37,937	281,126	186,814	136,239	203,466	203,855	203,855	0
10485110-481101	Interest On Investments	(119,482)	124,101	55,000	10,936	55,000	55,000	55,000	0
10485110-481104	Penalty & Interest-General Inv	4,950	13,476	4,900	3,562	4,900	5,000	5,000	0
10485110-482001	Tower Leases	88,437	96,549	83,414	78,510	98,868	99,355	99,355	0
10485110-484401	Insurance Dividends / Awards	15,963	16,542	15,000	16,198	16,198	16,000	16,000	0
10485110-485001	Donations	600	4,500	1,000	900	1,000	1,000	1,000	0
10485110-489001	Miscellaneous Receipts	45,897	24,812	26,000	25,181	26,000	26,000	26,000	0
10485110-489005	Miscellaneous Sales	1,580	1,152	1,500	840	1,500	1,500	1,500	0
10485110-489009	Cash Overage/Shortage	(8)	(6)	0	111	0	0	0	0
	Total for : Misc Rev	65,287	294,501	196,314	136,239	212,966	213,355	213,355	0
	Total Revenues:	12,608,073	13,530,426	13,803,621	11,061,009	14,002,494	14,697,651	14,441,080	0

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 1
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Village Board	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
51 Salaries							
10511110 500113 E Salaries	31,999.29	32,000.16	32,000.16	27,313.38	32,000.16	32,000.00	_____
10511110 500123 Mil Reimb	6,299.96	6,400.00	6,400.00	4,733.30	6,400.00	6,400.00	_____
10511110 500124 Per Diem	300.00	1,000.00	1,000.00	.00	1,000.00	1,000.00	_____
TOTAL Salaries	38,599.25	39,400.16	39,400.16	32,046.68	39,400.16	39,400.00	_____
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52 Fringe Benefits							
10511110 500151 SS	2,941.34	2,937.60	2,937.60	2,451.36	2,937.60	3,014.10	_____
10511110 500152 WR	830.51	770.00	770.00	834.08	900.00	1,029.60	_____
10511110 500153 WC	68.62	80.00	80.00	59.47	80.00	72.60	_____
10511110 500154 H & L	2,231.38	2,535.60	2,535.60	2,500.56	2,535.60	3,384.53	_____
TOTAL Fringe Benefits	6,071.85	6,323.20	6,323.20	5,845.47	6,453.20	7,500.83	_____
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54 Contracted Services							
10511110 500210 Attrny Fee	.00	500.00	500.00	.00	500.00	500.00	_____
10511110 500260 T&M Reimb	263.20	500.00	500.00	40.37	500.00	500.00	_____
10511110 500261 Meals/Lod	607.20	900.00	900.00	226.98	900.00	900.00	_____
10511110 500262 Conf/Sem	735.00	1,500.00	1,500.00	708.00	1,500.00	1,500.00	_____
TOTAL Contracted Services	1,605.40	3,400.00	3,400.00	975.35	3,400.00	3,400.00	_____
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55 Materials & Supplies							
10511110 500300 Memb/Sub	11,682.41	11,750.00	11,750.00	11,872.59	11,873.00	12,000.00	_____
10511110 500399 Misc Exp	677.56	1,000.00	1,000.00	732.55	1,000.00	1,000.00	_____
TOTAL Materials & Supplies	12,359.97	12,750.00	12,750.00	12,605.14	12,873.00	13,000.00	_____
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56 Other Expenses							
10511110 500510 Insurance	30,290.75	31,315.00	31,315.00	23,030.25	31,315.00	32,880.00	_____
TOTAL Other Expenses	30,290.75	31,315.00	31,315.00	23,030.25	31,315.00	32,880.00	_____
TOTAL Village Board	88,927.22	93,188.36	93,188.36	74,502.89	93,441.36	96,180.83	_____

10/21/2015 12:16
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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 2
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Municipal Court	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10512111 500110 FT Wages	74,322.52	78,117.66	78,117.66	60,960.28	78,117.66	81,552.27	
10512111 500111 PT Wages	184.60	.00	.00	.00	.00	.00	
10512111 500112 OT Wages	2,820.30	3,629.53	3,629.53	2,775.93	3,629.53	3,702.72	
10512111 500113 El Salary	22,260.00	20,000.00	20,000.00	16,800.00	21,840.00	20,000.00	
TOTAL Salaries	99,587.42	101,747.19	101,747.19	80,536.21	103,587.19	105,254.99	
52 Fringe Benefits							
10512111 500151 SS	7,351.28	7,783.66	7,783.66	6,019.83	7,783.66	8,052.01	
10512111 500152 WR	5,451.02	5,558.81	5,558.81	4,327.78	5,558.81	5,626.83	
10512111 500153 WC	210.63	254.37	254.37	178.68	254.37	231.56	
10512111 500154 H & L	35,163.40	33,290.40	33,290.40	27,742.00	33,290.40	33,236.16	
TOTAL Fringe Benefits	48,176.33	46,887.24	46,887.24	38,268.29	46,887.24	47,146.56	
53 Other Salaries & Ben							
10512111 500199 Pers Trans	-23,595.36	-25,364.75	-25,364.75	-20,375.45	-25,364.75	-26,728.79	
TOTAL Other Salaries & Ben	-23,595.36	-25,364.75	-25,364.75	-20,375.45	-25,364.75	-26,728.79	
54 Contracted Services							
10512111 500201 Unemploy	249.00	166.63	166.63	125.01	166.63	170.93	
10512111 500202 Empl Ev	60.00	.00	.00	.00	.00	.00	
10512111 500206 Con Print	.00	500.00	500.00	.00	500.00	750.00	
10512111 500209 A/R Collec	.00	.00	.00	8,476.94	10,000.00	10,000.00	
10512111 500214 Consult Sv	25,160.48	18,400.00	18,400.00	10,730.10	14,500.00	17,000.00	
10512111 500224 Telephone	579.00	444.00	444.00	370.00	444.00	444.00	
10512111 500241 Soft Maint	6,571.00	6,768.00	6,768.00	6,768.00	6,768.00	6,971.00	
10512111 500260 T&M Reimb	306.54	650.00	360.00	178.25	360.00	500.00	
10512111 500261 Meals/Lod	586.16	1,000.00	695.00	97.72	695.00	800.00	
10512111 500262 Conf/Sem	665.00	665.00	1,260.00	1,260.00	1,260.00	1,360.00	
10512111 500286 Card Fee	1,656.80	1,400.00	1,400.00	1,517.10	1,700.00	1,700.00	
TOTAL Contracted Services	35,833.98	29,993.63	29,993.63	29,523.12	36,393.63	39,695.93	
55 Materials & Supplies							
10512111 500300 Memb/Sub	367.97	500.00	500.00	242.91	950.00	500.00	
10512111 500310 Of Supplie	388.92	400.00	400.00	300.19	400.00	400.00	
10512111 500311 Copy/Print	1,153.27	1,350.00	1,350.00	1,089.63	1,350.00	1,400.00	
10512111 500312 Mailing	1,945.03	2,200.00	2,200.00	1,324.70	2,200.00	2,200.00	
10512111 500350 Minor Equi	978.79	550.00	550.00	300.00	550.00	775.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 3
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Municipal Court	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10512111 500399 Misc Exp	57.03	300.00	300.00	131.00	300.00	300.00	_____
TOTAL Materials & Supplies	4,891.01	5,300.00	5,300.00	3,388.43	5,750.00	5,575.00	_____
56 Other Expenses							
10512111 500510 Insurance	237.03	262.00	262.00	183.82	262.00	275.00	_____
TOTAL Other Expenses	237.03	262.00	262.00	183.82	262.00	275.00	_____
TOTAL Municipal Court	165,130.41	158,825.31	158,825.31	131,524.42	167,515.31	171,218.69	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 4
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Administration	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10514110 500110 FT Wages	260,179.59	263,671.50	263,671.50	207,552.75	263,671.50	315,156.70	
TOTAL Salaries	260,179.59	263,671.50	263,671.50	207,552.75	263,671.50	315,156.70	
52 Fringe Benefits							
10514110 500151 SS	18,178.50	20,170.87	20,170.87	15,554.51	20,170.87	24,109.48	
10514110 500152 WR	18,240.80	17,929.67	17,929.67	14,145.36	17,929.67	20,800.34	
10514110 500153 WC	543.83	659.18	659.18	452.94	659.18	693.35	
10514110 500154 H & L	50,679.53	49,935.60	49,935.60	41,611.91	49,935.60	58,163.28	
TOTAL Fringe Benefits	87,642.66	88,695.32	88,695.32	71,764.72	88,695.32	103,766.45	
53 Other Salaries & Ben							
10514110 500198 Tid Hours	-35,018.49	-30,000.00	-30,000.00	.00	-30,000.00	-30,000.00	
10514110 500199 Pers Trans	-125,513.46	-126,852.01	-126,852.01	-99,939.99	-126,852.01	-150,812.37	
TOTAL Other Salaries & Ben	-160,531.95	-156,852.01	-156,852.01	-99,939.99	-156,852.01	-180,812.37	
54 Contracted Services							
10514110 500201 Unemploy	1,030.44	581.95	581.95	436.50	581.95	576.96	
10514110 500206 Con Print	26,376.76	31,850.00	31,850.00	15,600.00	25,760.00	33,940.00	
10514110 500210 Attrny Fee	.00	3,500.00	3,500.00	30.00	500.00	3,500.00	
10514110 500214 Consult Sv	8,043.03	2,500.00	2,500.00	1,518.75	2,500.00	2,500.00	
10514110 500216 Leg Svc	529.40	4,000.00	4,000.00	1,072.29	4,000.00	4,000.00	
10514110 500224 Telephone	1,159.00	900.00	900.00	750.00	900.00	1,000.00	
10514110 500226 Data/Voice	601.75	1,000.00	1,000.00	498.00	1,000.00	1,000.00	
10514110 500260 Trvl Reimb	860.80	2,500.00	2,500.00	893.74	2,500.00	2,500.00	
10514110 500261 Meals/Lod	1,588.27	3,300.00	3,300.00	1,187.38	3,300.00	3,300.00	
10514110 500262 Conf/Sem	1,755.00	4,200.00	4,200.00	1,920.00	4,200.00	4,230.00	
TOTAL Contracted Services	41,944.45	54,331.95	54,331.95	23,906.66	45,241.95	56,546.96	
55 Materials & Supplies							
10514110 500300 Memb/Sub	4,432.83	4,000.00	4,000.00	1,057.68	4,000.00	4,000.00	
10514110 500310 Office Sup	330.88	2,500.00	2,500.00	336.24	2,500.00	2,000.00	
10514110 500311 Cpying/Prt	979.11	1,500.00	1,500.00	523.19	1,500.00	1,500.00	
10514110 500312 Mailing	27,485.64	30,775.00	30,775.00	17,210.97	30,775.00	32,875.00	
10514110 500350 M Equip	.00	1,800.00	1,800.00	.00	1,000.00	1,500.00	
10514110 500399 Misc Exp	1,263.74	1,500.00	1,500.00	1,232.43	1,500.00	1,500.00	
TOTAL Materials & Supplies	34,492.20	42,075.00	42,075.00	20,360.51	41,275.00	43,375.00	
56 Other Expenses							
10514110 500510 P/L Insur	1,617.55	1,675.00	1,675.00	761.31	1,675.00	1,759.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 5
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Administration	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10514110 500901 NPers Tran	-41,360.04	-41,360.00	-41,360.00	-27,600.03	-41,360.00	-38,100.00	_____
10514110 500905 Fl Interna	4,434.08	4,080.00	4,080.00	5,260.96	6,000.00	4,080.00	_____
TOTAL Other Expenses	-35,308.41	-35,605.00	-35,605.00	-21,577.76	-33,685.00	-32,261.00	_____
TOTAL Administration	228,418.54	256,316.76	256,316.76	202,066.89	248,346.76	305,771.74	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 6
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Village Clerk	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
51 Salaries							
10514120 500110 FT Wages	92,747.31	91,902.22	91,902.22	71,451.14	91,902.22	93,740.26	_____
TOTAL Salaries	92,747.31	91,902.22	91,902.22	71,451.14	91,902.22	93,740.26	_____
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52 Fringe Benefits							
10514120 500151 SS	7,188.19	7,030.52	7,030.52	5,560.44	7,030.52	7,171.13	_____
10514120 500152 WR	6,491.05	6,249.35	6,249.35	4,864.72	6,249.35	6,186.86	_____
10514120 500153 WC	192.82	229.76	229.76	158.65	229.76	206.23	_____
10514120 500154 H & L	120.93	.00	.00	.00	.00	.00	_____
TOTAL Fringe Benefits	13,992.99	13,509.63	13,509.63	10,583.81	13,509.63	13,564.22	_____
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53 Other Salaries & Ben							
10514120 500198 Tid Hours	-1,186.95	.00	.00	.00	.00	.00	_____
10514120 500199 Pers Trans	-35,195.76	-37,948.27	-37,948.27	-29,799.19	-37,948.27	-38,629.60	_____
TOTAL Other Salaries & Ben	-36,382.71	-37,948.27	-37,948.27	-29,799.19	-37,948.27	-38,629.60	_____
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54 Contracted Services							
10514120 500201 Unemploy	.00	205.50	205.50	154.17	205.50	201.10	_____
10514120 500205 Publicatio	603.19	500.00	500.00	870.21	1,000.00	1,000.00	_____
10514120 500215 Polwrk Svc	18,192.50	8,500.00	8,500.00	8,210.00	8,500.00	23,500.00	_____
10514120 500216 Leg Svc	.00	500.00	500.00	.00	200.00	500.00	_____
10514120 500225 Cell Tele	11.98	100.00	100.00	6.85	75.00	100.00	_____
10514120 500242 Con Eq Mnt	2,187.49	2,400.00	2,400.00	.00	.00	2,200.00	_____
10514120 500260 Trvl Reimb	293.44	500.00	500.00	336.95	500.00	500.00	_____
10514120 500261 Meals/Lod	164.00	1,000.00	1,000.00	223.00	700.00	700.00	_____
10514120 500262 Conf/Sem	210.00	600.00	600.00	423.00	400.00	500.00	_____
TOTAL Contracted Services	21,662.60	14,305.50	14,305.50	10,224.18	11,580.50	29,201.10	_____
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55 Materials & Supplies							
10514120 500300 Memb/Sub	315.00	400.00	400.00	310.00	310.00	350.00	_____
10514120 500310 Office Sup	87.23	400.00	400.00	208.48	400.00	400.00	_____
10514120 500311 Cpying/Prt	3,501.16	2,000.00	2,000.00	1,541.74	2,000.00	4,000.00	_____
10514120 500312 Mailing	2,902.92	2,000.00	2,000.00	1,546.45	2,000.00	5,000.00	_____
10514120 500330 El Suppl	2,494.11	1,500.00	1,500.00	3,052.95	3,053.00	4,000.00	_____
10514120 500399 Misc Exp	650.00	1,000.00	1,000.00	1,298.00	1,500.00	1,500.00	_____
TOTAL Materials & Supplies	9,950.42	7,300.00	7,300.00	7,957.62	9,263.00	15,250.00	_____
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56 Other Expenses							
10514120 500510 Insurance	304.12	120.00	120.00	254.20	255.00	126.00	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 7
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Village Clerk			2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10514120	500901	Non-Person	-14,400.00	-14,400.00	-14,400.00	-6,224.94	-14,400.00	-16,800.00	_____
10514120	500905	Fl Interna	1,210.64	1,326.00	1,326.00	698.94	1,000.00	1,800.00	_____
	TOTAL	Other Expenses	-12,885.24	-12,954.00	-12,954.00	-5,271.80	-13,145.00	-14,874.00	_____
	TOTAL	Village Clerk	89,085.37	76,115.08	76,115.08	65,145.76	75,162.08	98,251.98	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 8
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Information Technologies	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10514150 500110 FT Wages	488,040.87	571,198.17	571,198.17	434,146.89	571,198.17	590,072.38	
10514150 500111 PT Wages	31,126.47	25,150.00	25,150.00	247.74	248.00	.00	
10514150 500112 OT Wages	318.32	.00	.00	.00	.00	.00	
TOTAL Salaries	519,485.66	596,348.17	596,348.17	434,394.63	571,446.17	590,072.38	
52 Fringe Benefits							
10514150 500151 SS	39,197.14	45,620.66	45,620.66	32,584.41	45,620.66	45,140.54	
10514150 500152 WR	35,742.98	39,956.66	39,956.66	29,487.21	39,956.66	38,944.77	
10514150 500153 WC	4,126.31	5,831.41	5,831.41	3,829.63	5,831.41	5,478.16	
10514150 500154 H & L	114,088.19	141,519.96	141,519.96	115,129.31	141,519.96	141,253.68	
10514150 500158 LT Dis Ins	1,253.63	2,103.40	2,103.40	1,178.52	2,103.40	1,483.82	
TOTAL Fringe Benefits	194,408.25	235,032.09	235,032.09	182,209.08	235,032.09	232,300.97	
53 Other Salaries & Ben							
10514150 500199 Pers Trans	-258,253.71	-297,976.28	-297,976.28	-227,938.46	-297,976.28	-294,544.78	
TOTAL Other Salaries & Ben	-258,253.71	-297,976.28	-297,976.28	-227,938.46	-297,976.28	-294,544.78	
54 Contracted Services							
10514150 500201 Unemploy	1,993.68	1,239.02	1,239.02	929.25	1,239.02	1,304.91	
10514150 500202 Employ Ev	204.00	80.00	80.00	103.00	103.00	80.00	
10514150 500214 Consult Sv	72,608.53	107,457.00	107,457.00	43,903.03	49,082.00	25,124.00	
10514150 500224 Telephone	68,626.03	49,394.00	49,394.00	34,445.01	46,612.00	46,612.00	
10514150 500225 Cell Tele	3,283.16	3,000.00	3,000.00	2,519.32	3,000.00	3,000.00	
10514150 500226 Data/Voice	31,014.65	6,000.00	6,000.00	3,469.27	4,000.00	4,000.00	
10514150 500239 Phone Trns	-65,223.00	-47,894.00	-47,894.00	-39,911.60	-45,112.00	-45,212.00	
10514150 500241 Soft Maint	166,700.09	218,874.00	218,874.00	196,718.89	218,874.00	367,869.00	
10514150 500242 Con Eq Mnt	21,842.56	48,903.00	48,903.00	41,446.08	48,903.00	50,860.00	
10514150 500260 T&M Reimb	7,331.05	22,538.00	22,538.00	15,478.50	16,000.00	5,500.00	
10514150 500261 Meals/Lod	4,295.12	4,000.00	4,000.00	4,316.24	4,000.00	3,500.00	
10514150 500262 Conf/Sem	33,862.48	39,135.00	39,135.00	34,071.14	35,000.00	25,000.00	
TOTAL Contracted Services	346,538.35	452,726.02	452,726.02	337,488.13	381,701.02	487,637.91	
55 Materials & Supplies							
10514150 500300 Memb/Sub	2,110.94	2,304.00	2,304.00	1,255.00	2,304.00	2,304.00	
10514150 500310 Office Sup	1,198.19	3,000.00	3,000.00	712.75	1,500.00	2,500.00	
10514150 500311 Copy/Print	4,259.96	2,600.00	2,600.00	967.21	1,000.00	2,600.00	
10514150 500312 Mailing	214.93	500.00	500.00	25.77	500.00	250.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 9
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Information Technologies	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10514150 500350 Minor Equi	158,698.95	201,150.00	201,150.00	187,792.86	201,150.00	173,598.00	_____
10514150 500351 Sftware	.00	5,000.00	5,000.00	3,628.42	5,000.00	25,000.00	_____
10514150 500362 Equipment	16,732.67	11,400.00	11,400.00	3,598.23	11,400.00	11,500.00	_____
10514150 500399 Misc Exp	152.31	500.00	500.00	92.25	500.00	500.00	_____
TOTAL Materials & Supplies	183,367.95	226,454.00	226,454.00	198,072.49	223,354.00	218,252.00	_____
56 Other Expenses							
10514150 500510 Insurance	1,272.56	1,312.00	1,312.00	1,168.94	1,312.00	1,378.00	_____
10514150 500901 NPers Tran	-160,800.00	-164,016.00	-164,016.00	-147,224.97	-164,016.00	-257,000.00	_____
10514150 500905 Fl Interna	6,810.96	6,669.00	6,669.00	4,645.04	6,669.00	6,669.00	_____
TOTAL Other Expenses	-152,716.48	-156,035.00	-156,035.00	-141,410.99	-156,035.00	-248,953.00	_____
TOTAL Information Technologi	832,830.02	1,056,549.00	1,056,549.00	782,814.88	957,522.00	984,765.48	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 10
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Human Resources	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
51 Salaries							
10514160 500110 FT Wages	156,597.55	157,108.51	157,108.51	122,476.84	157,108.51	160,250.68	
10514160 500111 PT Wages	15,654.98	14,622.40	14,622.40	14,781.89	14,622.40	15,848.35	
TOTAL Salaries	172,252.53	171,730.91	171,730.91	137,258.73	171,730.91	176,099.03	
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52 Fringe Benefits							
10514160 500151 SS	12,931.32	13,137.41	13,137.41	10,376.02	13,137.41	13,471.58	
10514160 500152 WR	12,022.33	10,683.38	10,683.38	9,312.83	10,683.38	11,622.53	
10514160 500153 WC	363.49	429.33	429.33	303.58	429.33	387.42	
10514160 500154 H & L	33,798.15	33,290.40	33,290.40	27,771.80	33,290.40	33,261.36	
TOTAL Fringe Benefits	59,115.29	57,540.52	57,540.52	47,764.23	57,540.52	58,742.89	
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53 Other Salaries & Ben							
10514160 500199 Pers Trans	-82,619.24	-82,535.91	-82,535.91	-66,653.24	-82,535.91	-84,543.09	
TOTAL Other Salaries & Ben	-82,619.24	-82,535.91	-82,535.91	-66,653.24	-82,535.91	-84,543.09	
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54 Contracted Services							
10514160 500201 Uemploy	631.44	381.09	381.09	285.84	381.09	375.78	
10514160 500202 Employ Evl	183.00	48.00	48.00	.00	.00	48.00	
10514160 500205 Publicatio	4,450.55	3,750.00	3,750.00	1,302.90	1,500.00	3,500.00	
10514160 500210 Attrny Fee	1,177.50	1,500.00	1,500.00	.00	1,000.00	1,500.00	
10514160 500224 Telephone	595.00	400.00	400.00	333.30	400.00	400.00	
10514160 500225 Cell Tele	359.68	360.00	360.00	300.00	360.00	360.00	
10514160 500260 T&M Reimb	136.04	1,000.00	1,000.00	664.23	1,000.00	1,000.00	
10514160 500261 Meals/Lod	1,121.77	1,000.00	1,000.00	771.48	1,000.00	1,200.00	
10514160 500262 Conf/Sem	3,367.00	5,500.00	5,500.00	2,000.00	4,000.00	5,000.00	
TOTAL Contracted Services	12,021.98	13,939.09	13,939.09	5,657.75	9,641.09	13,383.78	
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55 Materials & Supplies							
10514160 500300 Memb/Sub	730.71	700.00	700.00	1,008.43	1,010.00	700.00	
10514160 500310 Office Sup	1,490.07	750.00	750.00	616.35	750.00	750.00	
10514160 500311 Copy/Print	1,724.68	850.00	850.00	1,192.49	1,300.00	1,200.00	
10514160 500312 Mailing	546.45	350.00	350.00	450.30	350.00	350.00	
10514160 500399 Misc Exp	314.21	1,200.00	1,200.00	46.95	350.00	1,000.00	
TOTAL Materials & Supplies	4,806.12	3,850.00	3,850.00	3,314.52	3,760.00	4,000.00	
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56 Other Expenses							
10514160 500510 Insurance	244.90	252.00	252.00	189.81	252.00	265.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 11
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Human Resources	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10514160 500901 Non-Person	-5,700.00	-5,700.00	-5,700.00	-4,875.03	-5,700.00	-6,300.00	_____
TOTAL Other Expenses	-5,455.10	-5,448.00	-5,448.00	-4,685.22	-5,448.00	-6,035.00	_____
TOTAL Human Resources	160,121.58	159,076.61	159,076.61	122,656.77	154,688.61	161,647.61	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 12
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Finance	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
51 Salaries							
10515110 500110 FT Wages	420,295.92	419,669.90	419,669.90	320,844.22	419,669.90	428,063.29	
10515110 500112 OT Wages	5,709.25	4,742.40	4,742.40	4,938.60	4,742.40	4,752.00	
TOTAL Salaries	426,005.17	424,412.30	424,412.30	325,782.82	424,412.30	432,815.29	
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52 Fringe Benefits							
10515110 500151 SS	31,981.74	32,467.55	32,467.55	24,820.25	32,467.55	33,110.38	
10515110 500152 WR	29,754.59	28,860.02	28,860.02	22,639.83	28,860.02	28,565.81	
10515110 500153 WC	890.50	1,061.02	1,061.02	737.31	1,061.02	952.17	
10515110 500154 H & L	101,355.31	99,871.20	99,871.20	83,278.24	99,871.20	99,708.48	
TOTAL Fringe Benefits	163,982.14	162,259.79	162,259.79	131,475.63	162,259.79	162,336.84	
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53 Other Salaries & Ben							
10515110 500198 Tid Hours	-17,699.61	-7,000.00	-7,000.00	.00	-7,000.00	-7,000.00	
10515110 500199 Pers Trans	-178,666.89	-193,004.21	-193,004.21	-133,161.56	-193,004.21	-195,190.15	
TOTAL Other Salaries & Ben	-196,366.50	-200,004.21	-200,004.21	-133,161.56	-200,004.21	-202,190.15	
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54 Contracted Services							
10515110 500201 Uemploy	1,641.96	938.42	938.42	703.80	938.42	918.31	
10515110 500205 Publicatio	625.70	1,000.00	1,000.00	.00	1,000.00	1,000.00	
10515110 500206 Cont Print	412.85	1,600.00	1,600.00	.00	1,600.00	1,600.00	
10515110 500209 A/R Collec	.00	500.00	500.00	.00	500.00	500.00	
10515110 500210 Attrny Fee	9,327.76	1,000.00	1,000.00	57.00	1,000.00	1,000.00	
10515110 500211 Acctg Fee	71,428.00	68,000.00	68,000.00	62,816.56	70,000.00	73,000.00	
10515110 500214 Consult Sv	6,112.60	3,000.00	3,000.00	281.00	1,000.00	9,000.00	
10515110 500224 Telephone	3,272.00	2,400.00	2,400.00	2,000.00	2,400.00	2,400.00	
10515110 500241 Soft Maint	28,060.55	2,245.00	4,850.00	4,850.00	4,850.00	.00	
10515110 500260 T&M Reimb	1,549.42	3,400.00	3,400.00	1,015.09	1,324.00	3,400.00	
10515110 500261 Meals/Lod	1,948.48	2,100.00	2,600.00	2,514.46	2,875.00	3,175.00	
10515110 500262 Conf/Sem	2,240.00	6,275.00	3,170.00	2,245.00	2,470.00	6,575.00	
TOTAL Contracted Services	126,619.32	92,458.42	92,458.42	76,482.91	89,957.42	102,568.31	
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55 Materials & Supplies							
10515110 500300 Memb/Sub	1,489.18	1,600.00	1,600.00	1,426.39	1,600.00	1,600.00	
10515110 500310 Office Sup	2,930.40	4,500.00	4,500.00	1,399.69	4,000.00	4,500.00	
10515110 500311 Copy/Print	2,670.63	4,500.00	4,500.00	1,927.94	4,000.00	4,500.00	
10515110 500312 Mailing	14,582.74	16,000.00	16,000.00	7,908.46	15,400.00	16,000.00	
10515110 500350 Minor Equi	.00	500.00	500.00	.00	.00	500.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 13
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Finance	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10515110 500399 Misc Exp	387.14	500.00	500.00	199.37	1,100.00	500.00	_____
TOTAL Materials & Supplies	22,060.09	27,600.00	27,600.00	12,861.85	26,100.00	27,600.00	_____
56 Other Expenses							
10515110 500510 Insurance	1,346.93	1,553.00	1,553.00	1,173.25	1,553.00	1,633.00	_____
10515110 500901 Non-Person	-47,199.96	-43,870.00	-43,870.00	-32,775.03	-43,870.00	-47,500.00	_____
TOTAL Other Expenses	-45,853.03	-42,317.00	-42,317.00	-31,601.78	-42,317.00	-45,867.00	_____
58 Transfers							
10515110 500900 Trans Out	189,313.21	.00	.00	.00	.00	.00	_____
TOTAL Transfers	189,313.21	.00	.00	.00	.00	.00	_____
TOTAL Finance	685,760.40	464,409.30	464,409.30	381,839.87	460,408.30	477,263.29	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 14
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Contingency	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ COMMENT
56 Other Expenses						
10515120 500915 Contingenc	317,130.31	12,456.26	12,456.26	208,218.33	275,000.00	67,192.00 _____
TOTAL Other Expenses	317,130.31	12,456.26	12,456.26	208,218.33	275,000.00	67,192.00 _____
TOTAL Contingency	317,130.31	12,456.26	12,456.26	208,218.33	275,000.00	67,192.00 _____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 15
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Assessing	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10515150 500110 FT Wages	318,662.31	319,283.96	319,283.96	248,515.65	319,283.96	325,669.64	
TOTAL Salaries	318,662.31	319,283.96	319,283.96	248,515.65	319,283.96	325,669.64	
52 Fringe Benefits							
10515150 500151 SS	22,980.30	24,425.22	24,425.22	17,742.15	24,425.22	24,913.74	
10515150 500152 WR	22,286.83	21,711.30	21,711.30	16,902.30	21,711.30	21,494.20	
10515150 500153 WC	8,816.38	12,537.27	12,537.27	8,043.26	12,537.27	9,518.33	
10515150 500154 H & L	67,323.55	66,580.80	66,580.80	55,415.96	66,580.80	66,472.32	
10515150 500158 LT Dis Ins	406.68	422.76	422.76	312.06	422.76	435.50	
TOTAL Fringe Benefits	121,813.74	125,677.35	125,677.35	98,415.73	125,677.35	122,834.09	
53 Other Salaries & Ben							
10515150 500198 Tid Hours	-8,677.52	.00	.00	.00	.00	.00	
10515150 500199 Pers Trnsf	21,025.87	16,075.70	16,075.70	13,257.50	16,075.70	4,102.55	
TOTAL Other Salaries & Ben	12,348.35	16,075.70	16,075.70	13,257.50	16,075.70	4,102.55	
54 Contracted Services							
10515150 500201 Uemploy	1,642.32	739.77	739.77	554.85	739.77	698.65	
10515150 500205 Publicatio	108.23	150.00	150.00	180.78	180.78	185.00	
10515150 500206 Cont Print	107.82	50.00	50.00	.00	50.00	50.00	
10515150 500210 Attrny Fee	1,550.00	35,000.00	35,000.00	1,300.00	1,300.00	35,000.00	
10515150 500214 Contractua	150.00	5,000.00	5,000.00	.00	1,000.00	5,000.00	
10515150 500215 Comm Svc	359.49	1,500.00	1,500.00	195.40	195.40	1,500.00	
10515150 500217 Contrct Vl	.00	10,000.00	10,000.00	.00	.00	10,000.00	
10515150 500219 Man As Fee	13,901.11	14,500.00	14,500.00	14,148.75	14,148.75	16,200.00	
10515150 500224 Telephone	2,802.00	2,000.00	2,000.00	1,666.70	2,000.00	2,000.00	
10515150 500225 Cell Tele	9.69	.00	.00	.00	.00	.00	
10515150 500241 Soft Maint	8,177.05	9,150.00	9,150.00	8,206.28	8,206.28	9,150.00	
10515150 500260 T&M Reimb	4,110.39	4,000.00	4,000.00	2,776.11	4,000.00	4,000.00	
10515150 500261 Meals/Lod	287.20	2,000.00	2,000.00	215.13	1,750.00	2,000.00	
10515150 500262 Conf/Sem/T	1,936.50	2,500.00	2,500.00	366.84	2,500.00	2,500.00	
10515150 500272 Attrny Fee	.00	4,000.00	4,000.00	.00	2,000.00	4,000.00	
TOTAL Contracted Services	35,141.80	90,589.77	90,589.77	29,610.84	38,070.98	92,283.65	
55 Materials & Supplies							
10515150 500300 Memb/Sub	1,403.45	2,700.00	2,700.00	1,905.43	2,600.00	3,000.00	
10515150 500310 Office Sup	661.23	1,500.00	1,500.00	92.52	1,250.00	1,500.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 16
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Assessing	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10515150 500311 Copy/Print	1,082.27	2,000.00	2,000.00	938.30	1,500.00	2,000.00	_____
10515150 500312 Mailing	5,316.32	6,000.00	6,000.00	4,269.42	5,500.00	6,000.00	_____
10515150 500336 Village Bo	31.99	600.00	600.00	90.00	90.00	250.00	_____
10515150 500350 Minor Equi	796.42	800.00	800.00	.00	500.00	800.00	_____
10515150 500399 Misc Exp	.00	100.00	100.00	65.00	65.00	100.00	_____
TOTAL Materials & Supplies	9,291.68	13,700.00	13,700.00	7,360.67	11,505.00	13,650.00	_____
56 Other Expenses							
10515150 500510 Insurance	1,423.35	1,438.00	1,438.00	1,118.00	1,438.00	1,513.00	_____
10515150 500905 Fl Interna	11,822.98	12,240.00	12,240.00	6,995.49	11,500.00	12,000.00	_____
TOTAL Other Expenses	13,246.33	13,678.00	13,678.00	8,113.49	12,938.00	13,513.00	_____
TOTAL Assessing	510,504.21	579,004.78	579,004.78	405,273.88	523,550.99	572,052.93	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 17
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Village Hall	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
53 Other Salaries & Ben							
10516110 500195 PT Utility	155.09	115.00	115.00	.00	115.00	.00	
10516110 500196 PT PW	3,062.25	1,692.01	1,692.01	2,725.97	3,000.00	1,865.98	
TOTAL Other Salaries & Ben	3,217.34	1,807.01	1,807.01	2,725.97	3,115.00	1,865.98	
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54 Contracted Services							
10516110 500201 Uemploy	5.40	.00	.00	.00	.00	2.54	
10516110 500207 Janitorial	17,666.05	23,662.00	23,662.00	17,147.25	28,250.00	35,900.00	
10516110 500220 Electric	27,355.99	28,000.00	28,000.00	16,745.10	28,000.00	30,000.00	
10516110 500221 Natural Ga	12,087.45	15,000.00	15,000.00	6,160.75	15,000.00	15,000.00	
10516110 500222 Sewer	1,376.76	1,350.00	1,350.00	858.39	1,350.00	1,380.00	
10516110 500223 Water	2,785.52	3,000.00	3,000.00	2,086.11	3,000.00	3,000.00	
10516110 500228 Garbage	472.68	450.00	450.00	337.50	450.00	450.00	
10516110 500229 Clean Wtr	2,853.04	2,900.00	2,900.00	2,321.67	2,900.00	2,900.00	
10516110 500232 Fac Lease	15,000.00	15,000.00	15,000.00	.00	15,000.00	15,000.00	
10516110 500244 C Build Mt	8,611.50	15,700.00	15,700.00	10,938.09	15,700.00	15,800.00	
TOTAL Contracted Services	88,214.39	105,062.00	105,062.00	56,594.86	109,650.00	119,432.54	
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55 Materials & Supplies							
10516110 500350 Minor Equi	.00	1,000.00	1,000.00	53.11	500.00	1,000.00	
10516110 500355 Janitorial	1,392.49	1,500.00	1,500.00	1,278.83	1,500.00	1,500.00	
10516110 500364 Build Mnt	1,181.93	2,000.00	2,000.00	2,235.71	3,000.00	2,000.00	
TOTAL Materials & Supplies	2,574.42	4,500.00	4,500.00	3,567.65	5,000.00	4,500.00	
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56 Other Expenses							
10516110 500905 Fl Interna	1,460.74	1,530.00	1,530.00	249.18	500.00	1,600.00	
TOTAL Other Expenses	1,460.74	1,530.00	1,530.00	249.18	500.00	1,600.00	
TOTAL Village Hall	95,466.89	112,899.01	112,899.01	63,137.66	118,265.00	127,398.52	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 18
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Roger Prange Building	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
53 Other Salaries & Ben							
10516210 500195 PT Utility	2,951.35	.00	.00	306.30	500.00	500.00	
10516210 500196 PT PW	27,541.24	23,670.45	23,670.45	9,169.97	12,500.00	23,806.26	
TOTAL Other Salaries & Ben	30,492.59	23,670.45	23,670.45	9,476.27	13,000.00	24,306.26	
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54 Contracted Services							
10516210 500201 Uemploy	37.20	38.65	38.65	28.98	38.65	35.54	
10516210 500207 Janitorial	36,604.08	47,000.00	47,000.00	34,875.00	47,000.00	47,000.00	
10516210 500220 Electric	88,582.54	90,000.00	90,000.00	52,346.82	90,000.00	90,000.00	
10516210 500221 Gas	38,475.44	35,000.00	35,000.00	15,968.13	35,000.00	35,000.00	
10516210 500222 Sewer	1,980.78	2,300.00	2,300.00	1,243.90	2,300.00	2,300.00	
10516210 500223 Water	4,467.88	4,400.00	4,400.00	3,191.65	4,400.00	4,400.00	
10516210 500228 Garbage	900.00	900.00	900.00	675.00	900.00	900.00	
10516210 500229 CW	2,782.68	3,000.00	3,000.00	2,228.85	3,000.00	3,000.00	
10516210 500244 C Build Mt	35,741.29	52,000.00	52,000.00	27,483.41	52,000.00	52,000.00	
TOTAL Contracted Services	209,571.89	234,638.65	234,638.65	138,041.74	234,638.65	234,635.54	
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55 Materials & Supplies							
10516210 500350 Minor Equi	4,699.51	3,500.00	3,500.00	1,154.80	3,500.00	3,500.00	
10516210 500355 Janitorial	2,952.26	2,200.00	2,200.00	2,144.02	2,200.00	2,200.00	
10516210 500364 Build Mnt	10,138.28	6,000.00	6,000.00	5,756.32	6,000.00	6,000.00	
10516210 500370 Landscapin	58.15	500.00	500.00	.00	500.00	500.00	
TOTAL Materials & Supplies	17,848.20	12,200.00	12,200.00	9,055.14	12,200.00	12,200.00	
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56 Other Expenses							
10516210 500510 Insurance	5,102.23	5,256.00	5,256.00	5,215.10	5,256.00	5,523.00	
10516210 500905 Fl Interna	1,959.16	6,120.00	6,120.00	906.37	1,000.00	2,000.00	
TOTAL Other Expenses	7,061.39	11,376.00	11,376.00	6,121.47	6,256.00	7,523.00	
TOTAL Roger Prange Building	264,974.07	281,885.10	281,885.10	162,694.62	266,094.65	278,664.80	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 19
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Police Department	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10522110 500110 FT Wages	2,263,206.55	2,323,930.29	2,323,930.29	1,801,992.29	2,323,930.29	2,401,179.50	
10522110 500111 PT Wages	17,307.29	19,217.45	19,217.45	9,900.00	15,949.00	19,603.58	
10522110 500112 OT Wages	156,372.89	88,074.00	88,074.00	142,924.47	145,000.00	88,074.00	
TOTAL Salaries	2,436,886.73	2,431,221.74	2,431,221.74	1,954,816.76	2,484,879.29	2,508,857.08	
52 Fringe Benefits							
10522110 500151 SS	183,935.65	185,988.50	185,988.50	147,485.67	190,343.00	191,927.59	
10522110 500152 WR	246,914.12	224,781.76	224,781.76	181,487.74	230,406.00	220,974.33	
10522110 500153 WC	71,633.92	87,259.81	87,259.81	62,305.98	89,429.00	77,689.67	
10522110 500154 H & L	572,958.56	565,972.56	565,972.56	472,215.71	565,972.56	576,107.76	
10522110 500158 LT Dis Ins	12,619.21	16,147.01	16,147.01	10,460.91	16,147.01	16,539.64	
TOTAL Fringe Benefits	1,088,061.46	1,080,149.64	1,080,149.64	873,956.01	1,092,297.57	1,083,238.99	
54 Contracted Services							
10522110 500201 Uemploy	9,283.92	5,160.30	5,160.30	3,870.27	5,160.30	5,127.19	
10522110 500202 Employment	394.00	2,000.00	2,000.00	389.00	2,820.00	4,140.00	
10522110 500206 Con Print	703.40	600.00	600.00	220.00	400.00	600.00	
10522110 500209 A/R Collec	2,024.55	2,500.00	2,500.00	125.00	500.00	500.00	
10522110 500210 Attrny Fee	57,670.20	41,000.00	41,000.00	38,085.25	41,000.00	45,200.00	
10522110 500214 Consult Sv	72.00	500.00	500.00	535.00	3,410.00	3,000.00	
10522110 500215 Commission	200.00	500.00	500.00	250.00	500.00	500.00	
10522110 500224 Telephone	4,822.00	3,600.00	3,600.00	3,000.00	3,600.00	3,600.00	
10522110 500225 Cell Tele	3,599.75	3,000.00	3,000.00	3,226.78	3,200.00	3,200.00	
10522110 500226 Data/Voice	9,880.33	15,162.00	15,162.00	8,571.51	15,162.00	15,200.00	
10522110 500241 Soft Maint	33,594.00	36,000.00	35,274.00	35,274.00	35,274.00	37,800.00	
10522110 500242 Con Eq Mnt	2,623.60	4,500.00	4,500.00	2,722.89	3,500.00	4,300.00	
10522110 500246 Con Vh Mnt	25,615.66	31,500.00	31,500.00	23,750.24	27,000.00	31,500.00	
10522110 500260 T&M Reimb	3,112.64	3,000.00	3,000.00	1,242.29	2,200.00	3,000.00	
10522110 500261 Meals/Lod	7,163.14	3,800.00	7,300.00	7,735.99	8,000.00	8,600.00	
10522110 500262 Conf/Sem	22,137.05	34,650.00	29,850.00	19,572.45	25,000.00	40,250.00	
10522110 500276 Stray Anim	54,339.00	15,359.00	15,359.00	15,409.50	20,000.00	20,350.00	
TOTAL Contracted Services	237,235.24	202,831.30	200,805.30	163,980.17	196,726.30	226,867.19	
55 Materials & Supplies							
10522110 500300 Memb/Sub	790.00	1,000.00	1,000.00	792.00	1,000.00	1,385.00	
10522110 500310 Office Sup	1,392.49	2,000.00	2,000.00	1,849.03	2,000.00	2,000.00	
10522110 500311 Copy/Print	3,801.30	3,400.00	3,400.00	1,241.65	2,000.00	3,400.00	
10522110 500312 Mailing	1,542.60	1,500.00	1,500.00	979.88	1,500.00	1,500.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 20
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Police Department	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10522110 500334 PD Evd	10,565.25	9,000.00	9,000.00	8,086.99	9,000.00	10,500.00	
10522110 500350 Minor Equi	16,716.06	31,600.00	31,600.00	25,447.01	31,600.00	14,010.00	
10522110 500352 Uniform Se	22,284.90	22,550.00	22,550.00	16,160.71	22,550.00	26,100.00	
10522110 500357 Fuel	81,567.61	80,000.00	80,000.00	45,680.00	55,000.00	80,000.00	
10522110 500362 E Mant Sup	357.85	500.00	1,000.00	518.39	650.00	600.00	
10522110 500366 Veh M Sup	1,471.30	1,500.00	1,500.00	1,026.12	1,500.00	1,500.00	
10522110 500399 Misc Exp	1,392.19	1,500.00	3,026.00	2,796.08	3,000.00	1,700.00	
TOTAL Materials & Supplies	141,881.55	154,550.00	156,576.00	104,577.86	129,800.00	142,695.00	
56 Other Expenses							
10522110 500510 Insurance	23,396.45	24,102.00	24,102.00	18,012.40	24,102.00	25,314.00	
TOTAL Other Expenses	23,396.45	24,102.00	24,102.00	18,012.40	24,102.00	25,314.00	
TOTAL Police Department	3,927,461.43	3,892,854.68	3,892,854.68	3,115,343.20	3,927,805.16	3,986,972.26	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 21
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Fire Department	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10522210 500110 FT Wages	1,605,664.42	1,788,267.83	1,788,267.83	1,238,010.82	1,607,204.64	1,824,182.68	
10522210 500111 PT Wages	117,215.76	135,182.50	135,182.50	90,132.50	116,680.83	140,115.65	
10522210 500112 OT Wages	153,730.91	109,381.28	109,381.28	148,930.27	202,779.68	109,381.28	
10522210 500114 POC Salary	19,803.85	89,080.70	89,080.70	16,823.87	24,375.56	92,454.90	
TOTAL Salaries	1,896,414.94	2,121,912.31	2,121,912.31	1,493,897.46	1,951,040.71	2,166,134.51	
52 Fringe Benefits							
10522210 500151 SS	141,981.07	162,326.28	162,326.28	112,172.61	147,394.09	165,709.26	
10522210 500152 WR	198,753.80	199,558.40	199,558.40	142,991.14	186,432.32	195,876.90	
10522210 500153 WC	60,174.08	91,224.62	91,224.62	53,515.82	75,764.15	88,859.43	
10522210 500154 H & L	440,052.85	449,832.24	449,832.24	346,985.69	420,651.45	448,889.28	
TOTAL Fringe Benefits	840,961.80	902,941.54	902,941.54	655,665.26	830,242.01	899,334.87	
53 Other Salaries & Ben							
10522210 500195 PT Utility	.00	.00	.00	320.49	320.49	.00	
10522210 500196 PT PW	801.78	922.92	922.92	1,299.80	1,496.26	1,017.80	
TOTAL Other Salaries & Ben	801.78	922.92	922.92	1,620.29	1,816.75	1,017.80	
54 Contracted Services							
10522210 500201 Uemploy	7,641.36	4,164.67	4,164.67	3,123.54	4,164.67	4,404.01	
10522210 500202 Employment	17,568.80	36,392.00	36,392.00	5,776.30	36,392.00	36,392.00	
10522210 500206 Con Print	850.86	1,700.00	1,700.00	733.10	1,700.00	1,700.00	
10522210 500209 A/R Collec	19,989.22	23,194.00	23,194.00	16,197.03	23,194.00	24,122.00	
10522210 500210 Attrny Fee	31,777.20	12,000.00	12,000.00	10,324.25	12,000.00	12,000.00	
10522210 500214 Consult Sv	4,975.00	5,225.00	5,275.00	5,275.00	5,275.00	5,275.00	
10522210 500215 Comm Svc	200.00	500.00	500.00	250.00	500.00	500.00	
10522210 500220 Electric	14,284.29	26,200.00	26,200.00	12,207.91	26,200.00	26,200.00	
10522210 500221 Gas	7,645.07	22,200.00	22,200.00	3,939.78	22,200.00	22,200.00	
10522210 500222 Sewer	1,615.98	4,000.00	4,000.00	849.06	4,000.00	4,000.00	
10522210 500223 Water	2,296.40	5,200.00	5,200.00	3,624.54	5,200.00	5,200.00	
10522210 500224 Telephone	7,938.00	6,000.00	6,000.00	5,000.00	6,000.00	6,000.00	
10522210 500225 Cell Tele	2,960.44	3,300.00	3,300.00	2,226.92	3,300.00	3,300.00	
10522210 500226 Data/Voice	6,738.09	15,360.00	15,360.00	4,984.83	15,360.00	15,360.00	
10522210 500228 Garbage /	600.00	1,260.00	1,260.00	400.00	1,260.00	1,260.00	
10522210 500229 Clean Wate	423.72	864.00	864.00	301.20	864.00	864.00	
10522210 500241 Soft Maint	8,920.00	6,830.00	6,830.00	9,195.00	9,195.00	7,195.00	
10522210 500242 Con Eq Mnt	9,986.50	16,993.00	16,993.00	9,019.69	16,993.00	15,376.00	
10522210 500244 Con Bld Mn	8,968.91	14,351.00	14,351.00	5,822.15	14,351.00	16,971.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 22
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Fire Department	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10522210 500246 Con Vh Mnt	68,801.99	56,750.00	56,750.00	45,675.51	56,750.00	57,000.00	
10522210 500260 T&M Reimb	533.71	1,004.00	1,004.00	62.55	1,004.00	1,004.00	
10522210 500261 Meals/Lod	3,155.31	3,260.00	3,260.00	1,622.04	3,260.00	3,260.00	
10522210 500262 Conf/Sem	25,847.55	26,205.00	26,205.00	18,126.97	26,205.00	29,677.00	
10522210 500275 Fire Sprin	54,135.03	27,335.00	37,335.00	47,151.20	50,000.00	.00	
TOTAL Contracted Services	307,853.43	320,287.67	330,337.67	211,888.57	345,367.67	299,260.01	
55 Materials & Supplies							
10522210 500300 Memb/Sub	3,974.00	4,175.00	4,175.00	4,228.93	4,229.00	4,660.00	
10522210 500310 Office Sup	1,360.19	2,325.00	2,275.00	778.87	2,325.00	2,325.00	
10522210 500311 Copy/Print	1,856.23	3,954.00	3,954.00	1,949.41	3,954.00	3,954.00	
10522210 500312 Mailing	1,315.05	2,037.00	2,037.00	589.58	2,037.00	2,037.00	
10522210 500332 Fire Suppl	6,436.50	10,475.00	10,475.00	8,644.40	10,475.00	12,251.00	
10522210 500333 Rescue Sup	21,849.05	31,128.00	31,128.00	20,542.57	31,128.00	31,858.00	
10522210 500350 Minor Equi	30,084.64	9,500.00	22,500.00	33,043.23	33,043.00	5,770.00	
10522210 500352 Uniform Se	11,787.34	19,630.00	19,630.00	9,106.01	19,630.00	20,080.00	
10522210 500353 Safety Equ	9,209.63	13,978.00	13,978.00	7,281.93	13,978.00	19,922.00	
10522210 500355 Janitorial	2,297.18	2,844.00	2,844.00	3,073.76	3,000.00	2,844.00	
10522210 500357 Fuel	42,778.64	45,000.00	45,000.00	19,746.52	45,000.00	45,000.00	
10522210 500362 Eq Mnt Sup	2,432.35	4,260.00	4,260.00	1,358.89	4,260.00	4,910.00	
10522210 500364 Bld Mnt Su	1,916.35	5,690.00	5,690.00	3,780.12	5,690.00	5,690.00	
10522210 500366 Vehicle Ma	6,181.96	4,600.00	4,600.00	4,516.70	4,600.00	4,600.00	
10522210 500399 Misc Exp	426.59	750.00	750.00	1,500.50	1,196.00	750.00	
TOTAL Materials & Supplies	143,905.70	160,346.00	173,296.00	120,141.42	184,545.00	166,651.00	
56 Other Expenses							
10522210 500510 Insurance	20,465.09	21,083.00	21,083.00	16,750.20	21,083.00	23,600.00	
10522210 500905 Fl Interna	36,020.51	36,952.00	36,952.00	863.81	36,952.00	38,000.00	
TOTAL Other Expenses	56,485.60	58,035.00	58,035.00	17,614.01	58,035.00	61,600.00	
TOTAL Fire Department	3,246,423.25	3,564,445.44	3,587,445.44	2,500,827.01	3,371,047.14	3,593,998.19	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 23
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Inspection	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10522410 500110 FT Wages	214,962.76	238,737.73	238,737.73	178,148.57	229,526.00	241,443.66	
10522410 500112 OT Wages	204.20	.00	.00	1,488.92	4,978.00	.00	
TOTAL Salaries	215,166.96	238,737.73	238,737.73	179,637.49	234,504.00	241,443.66	
52 Fringe Benefits							
10522410 500151 SS	16,324.91	18,263.42	18,263.42	13,618.87	17,849.00	18,470.45	
10522410 500152 WR	14,961.77	16,234.16	16,234.16	12,125.38	15,871.00	15,935.27	
10522410 500153 WC	7,601.52	11,687.60	11,687.60	7,205.28	10,014.00	11,049.54	
10522410 500154 H & L	60,600.28	66,580.80	66,580.80	54,049.07	65,146.00	66,472.32	
10522410 500158 LT Dis Ins	350.05	333.06	333.06	269.01	333.06	422.24	
TOTAL Fringe Benefits	99,838.53	113,099.04	113,099.04	87,267.61	109,213.06	112,349.82	
53 Other Salaries & Ben							
10522410 500196 PT PW	6,560.32	22,215.62	22,215.62	3,088.73	5,000.00	22,498.46	
10522410 500199 Pers Trans	-15,889.46	-16,075.70	-16,075.70	-13,257.50	-18,420.00	.00	
TOTAL Other Salaries & Ben	-9,329.14	6,139.92	6,139.92	-10,168.77	-13,420.00	22,498.46	
54 Contracted Services							
10522410 500201 Uemploy	642.48	631.40	631.40	473.58	631.40	549.38	
10522410 500202 Empl Ev	61.00	.00	.00	110.00	14.00	120.00	
10522410 500205 Publicatio	125.13	.00	.00	.00	.00	.00	
10522410 500206 Con Print	.00	300.00	300.00	155.18	300.00	300.00	
10522410 500210 Attry Fee	.00	500.00	500.00	125.00	.00	.00	
10522410 500214 Consult Sv	6,823.00	5,100.00	5,100.00	4,895.00	4,800.00	5,500.00	
10522410 500216 Leg Svc	3,972.78	.00	.00	1,050.00	1,050.00	1,500.00	
10522410 500224 Telephone	1,253.00	900.00	900.00	750.00	900.00	900.00	
10522410 500225 Cell Tele	2,043.52	1,500.00	1,500.00	1,385.95	2,000.00	2,000.00	
10522410 500226 Data/Voice	132.00	.00	.00	88.00	264.00	792.00	
10522410 500261 Meals/Lod	17.78	50.00	50.00	10.36	50.00	50.00	
10522410 500262 Conf/Sem	1,933.31	2,500.00	2,500.00	2,460.91	2,600.00	2,000.00	
10522410 500286 CC Fee	.00	.00	.00	606.60	1,000.00	1,000.00	
TOTAL Contracted Services	17,004.00	11,481.40	11,481.40	12,110.58	13,609.40	14,711.38	
55 Materials & Supplies							
10522410 500300 Memb/Sub	768.73	4,600.00	4,600.00	680.24	1,000.00	4,600.00	
10522410 500310 Office Sup	1,931.13	2,100.00	2,100.00	1,729.01	2,100.00	2,100.00	
10522410 500311 Copy/Print	1,382.47	700.00	700.00	1,226.58	1,500.00	1,500.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 24
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Inspection	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10522410 500312 Mailing	683.82	600.00	600.00	622.82	600.00	600.00	_____
10522410 500350 Minor Equi	199.48	200.00	200.00	308.62	308.62	300.00	_____
10522410 500353 Safety Equ	210.00	300.00	300.00	235.67	300.00	300.00	_____
10522410 500399 Misc Exp	184.46	200.00	200.00	62.46	200.00	200.00	_____
TOTAL Materials & Supplies	5,360.09	8,700.00	8,700.00	4,865.40	6,008.62	9,600.00	_____
56 Other Expenses							
10522410 500510 Insurance	586.54	605.00	605.00	673.87	675.00	636.00	_____
10522410 500905 Fl Interna	28,396.69	20,400.00	20,400.00	23,875.62	32,000.00	33,600.00	_____
TOTAL Other Expenses	28,983.23	21,005.00	21,005.00	24,549.49	32,675.00	34,236.00	_____
TOTAL Inspection	357,023.67	399,163.09	399,163.09	298,261.80	382,590.08	434,839.32	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 25
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Public Safety Communications	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
51 Salaries							
10526101 500110 FT Wages	46,912.98	46,945.60	46,945.60	36,473.15	46,945.60	47,884.51	
10526101 500111 PT Wages	196,533.11	236,493.26	236,493.26	172,795.01	236,493.26	240,614.20	
10526101 500112 OT Wages	7,807.16	9,637.00	9,637.00	5,276.48	7,524.00	9,637.00	
TOTAL Salaries	251,253.25	293,075.86	293,075.86	214,544.64	290,962.86	298,135.71	
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52 Fringe Benefits							
10526101 500151 SS	18,383.45	22,420.32	22,420.32	15,817.45	22,420.32	22,807.39	
10526101 500152 WR	17,556.97	19,929.18	19,929.18	14,573.35	19,929.18	19,676.94	
10526101 500153 Worker'S C	524.95	732.67	732.67	475.78	732.67	655.90	
10526101 500154 H & L	122,491.25	133,161.60	133,161.60	109,580.90	133,161.60	132,944.64	
TOTAL Fringe Benefits	158,956.62	176,243.77	176,243.77	140,447.48	176,243.77	176,084.87	
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54 Contracted Services							
10526101 500201 Uemploy	1,057.80	616.69	616.69	462.51	616.69	620.21	
10526101 500202 Employment	3,067.23	2,000.00	1,500.00	95.00	500.00	1,000.00	
10526101 500210 Attrny Fee	.00	1,000.00	1,000.00	.00	500.00	1,000.00	
10526101 500224 Telephone	12,729.00	9,000.00	9,000.00	7,500.00	9,000.00	9,000.00	
10526101 500241 Soft Maint	.00	.00	.00	.00	.00	1,000.00	
10526101 500242 Contracted	8,048.40	9,200.00	9,200.00	8,740.95	8,750.00	9,200.00	
10526101 500260 T&M Reimb	341.60	375.00	375.00	.00	375.00	375.00	
10526101 500261 Meals/Lod	238.83	375.00	875.00	1,103.99	670.00	1,300.00	
10526101 500262 Conf/Sem	1,225.59	2,000.00	2,000.00	1,386.00	2,000.00	4,100.00	
TOTAL Contracted Services	26,708.45	24,566.69	24,566.69	19,288.45	22,411.69	27,595.21	
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55 Materials & Supplies							
10526101 500300 Memb/Sub	92.00	200.00	200.00	.00	200.00	200.00	
10526101 500310 Office Sup	1,401.96	2,500.00	2,500.00	540.75	2,500.00	2,500.00	
10526101 500311 Copy/Print	4,262.84	3,600.00	3,600.00	3,635.12	3,600.00	3,600.00	
10526101 500312 Mailing	1,402.75	1,200.00	1,200.00	848.07	1,200.00	1,000.00	
10526101 500350 Minor Equi	564.17	500.00	500.00	581.95	582.00	1,700.00	
10526101 500352 Uniform Se	530.00	800.00	800.00	601.00	530.00	800.00	
10526101 500399 Misc Exp	.00	100.00	100.00	.00	100.00	100.00	
TOTAL Materials & Supplies	8,253.72	8,900.00	8,900.00	6,206.89	8,712.00	9,900.00	
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56 Other Expenses							
10526101 500510 Insurance	925.78	953.00	953.00	745.97	953.00	1,004.00	
TOTAL Other Expenses	925.78	953.00	953.00	745.97	953.00	1,004.00	
TOTAL Public Safety Communic	446,097.82	503,739.32	503,739.32	381,233.43	499,283.32	512,719.79	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 26
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Engineering	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
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51 Salaries							
10531000 500110 FT Wages	281,200.02	204,022.83	202,865.83	141,959.26	202,865.83	220,464.64	
10531000 500112 Over Time	408.29	.00	.00	.00	.00	.00	
TOTAL Salaries	281,608.31	204,022.83	202,865.83	141,959.26	202,865.83	220,464.64	
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52 Fringe Benefits							
10531000 500151 SS	20,952.90	15,610.04	15,610.04	10,511.47	15,610.04	16,865.55	
10531000 500152 WR	19,632.29	13,873.55	13,873.55	9,674.79	13,873.55	14,550.66	
10531000 500153 WC	6,107.85	4,349.53	4,349.53	4,017.39	4,349.53	485.02	
10531000 500154 H & L	66,666.48	49,935.60	49,935.60	39,348.10	49,935.60	49,854.24	
10531000 500158 LT Dis Ins	350.87	761.80	761.80	393.47	761.80	778.70	
TOTAL Fringe Benefits	113,710.39	84,530.52	84,530.52	63,945.22	84,530.52	82,534.17	
<hr/>							
53 Other Salaries & Ben							
10531000 500199 Pers Trnsf	-26,694.34	.00	.00	.00	.00	.00	
TOTAL Other Salaries & Ben	-26,694.34	.00	.00	.00	.00	.00	
<hr/>							
54 Contracted Services							
10531000 500201 Uemploy	768.84	556.00	556.00	416.97	556.00	444.87	
10531000 500202 EmPLY Ev	47.00	60.00	101.00	166.00	166.00	101.00	
10531000 500205 Publicatio	30.97	300.00	300.00	.00	100.00	.00	
10531000 500206 Con Print	52.03	300.00	300.00	37.11	50.00	300.00	
10531000 500210 Attrny Fee	5,543.92	3,000.00	3,000.00	125.00	.00	3,000.00	
10531000 500212 Eng Fee	3,263.70	3,000.00	3,000.00	.00	1,000.00	5,000.00	
10531000 500214 Consult Sv	3,789.50	10,000.00	10,000.00	2,701.50	5,000.00	5,000.00	
10531000 500224 Telephone	1,346.00	1,100.00	1,100.00	916.70	1,100.00	1,200.00	
10531000 500225 Cell Tele	744.03	30.00	360.00	266.15	360.00	360.00	
10531000 500260 T&M Reimb	-184.77	750.00	750.00	896.41	900.00	750.00	
10531000 500261 Meals/Lod	1,564.78	700.00	700.00	1,368.14	1,602.00	3,100.00	
10531000 500262 Conf/Sem	2,545.48	3,500.00	3,500.00	1,960.00	2,213.00	2,700.00	
TOTAL Contracted Services	19,511.48	23,296.00	23,667.00	8,853.98	13,047.00	21,955.87	
<hr/>							
55 Materials & Supplies							
10531000 500300 Memb/Sub	1,020.97	800.00	800.00	144.43	200.00	970.00	
10531000 500310 Office Sup	635.07	650.00	650.00	319.28	500.00	650.00	
10531000 500311 Copy/Print	1,197.27	1,200.00	1,200.00	395.66	800.00	1,200.00	
10531000 500312 Mailing	1,296.53	1,300.00	1,300.00	999.29	800.00	1,300.00	
10531000 500350 Minor Equi	.00	.00	716.00	716.00	716.00	200.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 27
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Engineering	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10531000 500353 Safety Equ	.00	.00	70.00	70.00	70.00	.00	_____
10531000 500399 Misc Exp	41.25	200.00	200.00	42.50	60.00	200.00	_____
TOTAL Materials & Supplies	4,191.09	4,150.00	4,936.00	2,687.16	3,146.00	4,520.00	_____
56 Other Expenses							
10531000 500510 Insurance	467.23	500.00	500.00	376.50	500.00	600.00	_____
10531000 500905 Fl Interna	7,068.22	8,670.00	8,670.00	2,127.92	3,000.00	4,000.00	_____
TOTAL Other Expenses	7,535.45	9,170.00	9,170.00	2,504.42	3,500.00	4,600.00	_____
TOTAL Engineering	399,862.38	325,169.35	325,169.35	219,950.04	307,089.35	334,074.68	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 28
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Public Works	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10533111 500110 FT Wages	97,130.88	105,667.96	240,425.96	193,837.37	240,425.96	283,709.42	
10533111 500111 PT Wages	18,955.74	22,428.60	22,428.60	19,174.07	22,428.60	17,086.86	
10533111 500112 OT Wages	.00	.00	.00	2,099.20	3,000.00	.00	
TOTAL Salaries	116,086.62	128,096.56	262,854.56	215,110.64	265,854.56	300,796.28	
52 Fringe Benefits							
10533111 500151 SS	8,907.18	9,799.37	20,108.37	16,024.85	20,108.37	22,998.40	
10533111 500152 WR	9,515.75	8,710.58	17,874.58	14,196.98	17,874.58	19,852.57	
10533111 500153 WC	3,610.31	5,431.53	13,004.53	8,838.76	13,004.53	11,792.27	
10533111 500154 H & L	25,730.94	25,002.13	58,292.13	50,129.57	58,292.13	63,306.30	
10533111 500158 LT Dis Ins	.00	.00	.00	251.72	250.00	385.06	
TOTAL Fringe Benefits	47,764.18	48,943.61	109,279.61	89,441.88	109,529.61	118,334.60	
53 Other Salaries & Ben							
10533111 500195 PT Utility	89,415.39	15,827.56	15,827.56	43,945.47	60,000.00	60,000.00	
10533111 500196 PT PW	354,399.95	657,820.70	462,726.70	249,757.96	375,000.00	511,702.13	
TOTAL Other Salaries & Ben	443,815.34	673,648.26	478,554.26	293,703.43	435,000.00	571,702.13	
54 Contracted Services							
10533111 500201 Uemploy	1,713.36	976.31	976.31	732.24	976.31	1,268.01	
10533111 500202 Employ Ev	3,150.20	2,300.00	2,300.00	2,597.20	2,600.00	2,300.00	
10533111 500205 Publicatio	.00	300.00	300.00	.00	300.00	300.00	
10533111 500206 Con Print	155.35	150.00	150.00	148.44	150.00	150.00	
10533111 500210 Attrny Fee	1,118.00	1,000.00	1,000.00	125.00	1,000.00	1,000.00	
10533111 500212 Eng Fee	928.32	1,000.00	1,000.00	922.21	1,000.00	1,000.00	
10533111 500214 Consult Sv	25,917.94	3,000.00	3,000.00	1,630.00	3,000.00	3,000.00	
10533111 500223 Water	292.38	400.00	400.00	206.90	400.00	400.00	
10533111 500224 Telephone	2,505.00	1,800.00	1,800.00	1,500.00	1,800.00	1,800.00	
10533111 500225 Cell Tele	3,850.26	2,500.00	2,500.00	2,432.20	2,500.00	2,500.00	
10533111 500226 Data/Voice	6,970.66	5,000.00	5,000.00	5,989.43	7,000.00	5,000.00	
10533111 500229 CW	197.56	150.00	150.00	157.93	150.00	150.00	
10533111 500230 Equip Ren	300.00	1,500.00	1,500.00	427.28	1,500.00	1,500.00	
10533111 500241 Soft Maint	459.00	500.00	500.00	1,773.00	1,773.00	500.00	
10533111 500260 T&M Reimb	1,638.28	800.00	800.00	431.11	800.00	800.00	
10533111 500261 Meals/Lod	2,345.67	1,000.00	1,000.00	860.13	1,000.00	1,000.00	
10533111 500262 Conf/Sem	2,459.95	2,100.00	2,100.00	2,100.00	2,100.00	2,100.00	
10533111 500276 Stray Anim	20,013.00	.00	.00	.00	.00	.00	
TOTAL Contracted Services	74,014.93	24,476.31	24,476.31	22,033.07	28,049.31	24,768.01	
55 Materials & Supplies							
10533111 500300 Memb/Sub	501.50	600.00	600.00	583.54	600.00	600.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 29
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Public Works	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10533111 500310 Office Sup	1,500.00	1,500.00	1,500.00	896.12	1,500.00	1,500.00	
10533111 500311 Copy/Print	1,898.83	2,500.00	2,500.00	1,220.81	2,500.00	2,500.00	
10533111 500312 Mailing	244.83	500.00	500.00	267.35	500.00	500.00	
10533111 500352 Uniform Se	1,900.58	1,800.00	1,800.00	1,206.43	1,800.00	1,800.00	
10533111 500353 Safety Equ	2,432.83	3,000.00	3,000.00	3,186.83	3,200.00	3,000.00	
10533111 500362 Eq Mnt Sup	2,141.70	3,000.00	3,000.00	859.95	3,100.00	3,100.00	
10533111 500370 Landscapin	4,069.35	4,200.00	4,200.00	3,012.82	4,200.00	4,200.00	
10533111 500371 Signs	33,049.11	20,000.00	20,000.00	5,303.13	20,000.00	20,000.00	
10533111 500372 Gravel	11,682.43	20,000.00	20,000.00	12,552.98	20,000.00	20,000.00	
10533111 500373 Pvmnt Mat	26,493.19	40,000.00	40,000.00	40,059.19	40,000.00	40,000.00	
10533111 500374 Salt	310,679.28	190,000.00	190,000.00	181,493.29	190,000.00	248,000.00	
10533111 500399 Misc Exp	885.74	1,500.00	1,500.00	1,323.80	1,500.00	1,500.00	
TOTAL Materials & Supplies	397,479.37	288,600.00	288,600.00	251,966.24	288,900.00	346,700.00	
56 Other Expenses							
10533111 500510 Insurance	2,596.31	2,676.00	2,676.00	5,291.50	5,292.00	4,300.00	
10533111 500905 Fl Interna	397,804.66	428,400.00	428,400.00	297,949.70	428,400.00	428,400.00	
TOTAL Other Expenses	400,400.97	431,076.00	431,076.00	303,241.20	433,692.00	432,700.00	
TOTAL Public Works	1,479,561.41	1,594,840.74	1,594,840.74	1,175,496.46	1,561,025.48	1,795,001.02	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 30
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

PW Operations	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51 Salaries							
10533115 500110 Full Time	768,744.37	990,475.52	990,475.52	652,210.55	990,475.52	890,504.20	
10533115 500111 Part Time	178,429.80	233,991.46	233,991.46	148,151.23	233,991.46	239,915.76	
10533115 500112 Over Time	73,866.19	80,193.92	80,193.92	53,814.84	80,193.92	116,063.37	
TOTAL Salaries	1,021,040.36	1,304,660.90	1,304,660.90	854,176.62	1,304,660.90	1,246,483.33	
52 Fringe Benefits							
10533115 500151 SS	76,880.11	99,806.51	99,806.51	64,303.14	99,806.51	95,615.48	
10533115 500152 WR	61,157.60	78,119.16	78,119.16	50,151.80	78,119.16	70,105.04	
10533115 500153 WC	40,438.26	73,323.66	73,323.66	41,055.47	73,323.66	66,118.43	
10533115 500154 H & L	235,504.76	299,833.92	299,833.92	212,302.24	299,833.92	266,233.44	
TOTAL Fringe Benefits	413,980.73	551,083.25	551,083.25	367,812.65	551,083.25	498,072.39	
53 Other Salaries & Ben							
10533115 500196 PT PW	-1,435,021.09	-1,855,744.15	-1,855,744.15	-979,129.02	-1,855,744.15	-1,744,545.72	
TOTAL Other Salaries & Ben	-1,435,021.09	-1,855,744.15	-1,855,744.15	-979,129.02	-1,855,744.15	-1,744,545.72	
TOTAL PW Operations Payroll	.00	.00	.00	242,860.25	.00	10.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 31
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Operational Projects	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
55 Materials & Supplies							
10533116 500362 Eq Mnt Sup	.00	.00	.00	400.80	.00	.00	_____
TOTAL Materials & Supplies	.00	.00	.00	400.80	.00	.00	_____
56 Other Expenses							
10533116 500905 ISF	.00	.00	.00	1,906.99	.00	.00	_____
TOTAL Other Expenses	.00	.00	.00	1,906.99	.00	.00	_____
TOTAL Operational Projects	.00	.00	.00	2,307.79	.00	.00	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 32
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Utility Operation Payroll Clri	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
51 Salaries							
10533117 500110 Full Time	387,662.05	444,001.40	444,001.40	348,295.83	444,001.40	462,365.82	_____
10533117 500111 Part Time	21,727.67	21,718.00	21,718.00	14,424.88	21,718.00	35,046.00	_____
10533117 500112 Over Time	48,122.22	17,300.00	17,300.00	33,067.93	17,300.00	17,300.00	_____
TOTAL Salaries	457,511.94	483,019.40	483,019.40	395,788.64	483,019.40	514,711.82	_____
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52 Fringe Benefits							
10533117 500151 SS	34,477.09	36,950.99	36,950.99	30,025.49	36,950.99	39,407.69	_____
10533117 500152 WR	30,557.65	31,374.63	31,374.63	25,413.40	31,374.63	31,685.75	_____
10533117 500153 WC	17,987.65	27,150.76	27,150.76	18,977.40	27,150.76	27,250.55	_____
10533117 500154 H & L	141,564.99	166,452.00	166,452.00	133,855.15	166,452.00	166,180.80	_____
TOTAL Fringe Benefits	224,587.38	261,928.38	261,928.38	208,271.44	261,928.38	264,524.79	_____
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53 Other Salaries & Ben							
10533117 500195 PT Utility	-682,099.32	-744,947.78	-744,947.78	-481,344.48	-744,947.78	-779,236.61	_____
TOTAL Other Salaries & Ben	-682,099.32	-744,947.78	-744,947.78	-481,344.48	-744,947.78	-779,236.61	_____
TOTAL Utility Operation Payr	.00	.00	.00	122,715.60	.00	.00	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 33
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Street Lighting	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
53 Other Salaries & Ben							
10534210 500195 PT Utility	19,588.24	.00	.00	2,518.89	3,000.00	3,000.00	_____
10534210 500196 PT PW	26,689.33	16,987.61	16,987.61	21,626.69	25,000.00	19,653.01	_____
TOTAL Other Salaries & Ben	46,277.57	16,987.61	16,987.61	24,145.58	28,000.00	22,653.01	_____
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54 Contracted Services							
10534210 500201 Uemploy	50.40	29.87	29.87	22.41	29.87	26.95	_____
10534210 500214 Consult Sv	3,701.98	6,000.00	6,000.00	3,035.34	6,000.00	6,000.00	_____
10534210 500220 Electric	218,765.98	235,000.00	235,000.00	144,271.94	235,000.00	235,000.00	_____
TOTAL Contracted Services	222,518.36	241,029.87	241,029.87	147,329.69	241,029.87	241,026.95	_____
<hr/>							
55 Materials & Supplies							
10534210 500350 Minor Equi	142.82	250.00	250.00	59.97	250.00	1,000.00	_____
10534210 500362 Eq Mnt Sup	15,742.04	15,000.00	15,000.00	10,199.30	15,000.00	15,000.00	_____
TOTAL Materials & Supplies	15,884.86	15,250.00	15,250.00	10,259.27	15,250.00	16,000.00	_____
<hr/>							
56 Other Expenses							
10534210 500905 Fl Interna	20,250.32	6,120.00	6,120.00	6,612.06	7,500.00	7,500.00	_____
TOTAL Other Expenses	20,250.32	6,120.00	6,120.00	6,612.06	7,500.00	7,500.00	_____
TOTAL Street Lighting	304,931.11	279,387.48	279,387.48	188,346.60	291,779.87	287,179.96	_____

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 34
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Parks Department			2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
51	Salaries								
10555210	500110	FT Wages	116,675.91	74,243.33	74,243.33	62,414.76	74,243.33	56,241.95	
10555210	500111	PT Wages	7,067.69	6,541.67	6,541.67	3,844.57	6,541.67	4,660.05	
10555210	500112	OT Wages	3,132.95	.00	.00	.00	.00	.00	
TOTAL Salaries			126,876.55	80,785.00	80,785.00	66,259.33	80,785.00	60,902.00	
52	Fringe Benefits								
10555210	500151	SS	9,428.21	6,180.06	6,180.06	4,914.45	6,180.06	4,659.00	
10555210	500152	WR	8,809.03	5,493.38	5,493.38	4,482.25	5,493.38	4,019.52	
10555210	500153	WC	4,501.38	4,024.60	4,024.60	2,731.01	4,024.60	2,098.13	
10555210	500154	H & L	27,199.21	16,904.86	16,904.86	14,022.77	16,904.86	12,800.46	
TOTAL Fringe Benefits			49,937.83	32,602.90	32,602.90	26,150.48	32,602.90	23,577.11	
53	Other Salaries & Ben								
10555210	500195	PT Utility	3,168.62	.00	.00	2,179.86	3,000.00	.00	
10555210	500196	PT PW	84,448.83	160,915.47	160,915.47	63,121.91	95,000.00	202,789.47	
TOTAL Other Salaries & Ben			87,617.45	160,915.47	160,915.47	65,301.77	98,000.00	202,789.47	
54	Contracted Services								
10555210	500201	Uemploy	612.48	308.72	308.72	231.57	308.72	344.36	
10555210	500202	Employ Ev	2,534.70	2,000.00	2,000.00	2,686.30	4,000.00	4,000.00	
10555210	500210	Attrny Fee	.00	500.00	500.00	125.00	500.00	500.00	
10555210	500214	Consult Sv	9,676.66	26,400.00	26,400.00	19,136.50	26,400.00	22,200.00	
10555210	500215	Comm Svc	300.00	1,200.00	1,200.00	.00	400.00	1,200.00	
10555210	500220	Electric	14,907.76	16,000.00	16,000.00	10,773.51	16,000.00	16,000.00	
10555210	500221	Gas	4,694.37	4,000.00	4,000.00	2,911.82	4,000.00	4,500.00	
10555210	500222	Sewer	2,591.10	3,500.00	3,500.00	1,894.43	3,500.00	3,500.00	
10555210	500223	Water	7,887.72	11,000.00	11,000.00	4,945.72	8,000.00	11,000.00	
10555210	500224	Telephone	861.00	600.00	600.00	500.00	600.00	600.00	
10555210	500225	Cell Tele	2,472.91	1,200.00	1,200.00	1,790.26	2,000.00	2,000.00	
10555210	500228	Garbage	414.00	600.00	600.00	284.00	600.00	600.00	
10555210	500229	CW	28,231.48	34,000.00	34,000.00	24,220.31	34,000.00	34,000.00	
10555210	500230	Equip Ren	187.85	500.00	500.00	92.65	500.00	500.00	
10555210	500244	C Build Mt	.00	1,000.00	1,000.00	.00	1,000.00	1,000.00	
10555210	500261	Meals/Lod	133.73	25.00	25.00	51.80	52.00	50.00	
10555210	500262	Conf/Sem	103.00	200.00	200.00	229.85	230.00	250.00	
10555210	500283	Bball Main	.00	.00	.00	.00	.00	16,000.00	
TOTAL Contracted Services			75,608.76	103,033.72	103,033.72	69,873.72	102,090.72	118,244.36	
55	Materials & Supplies								
10555210	500300	Memb/Sub	347.00	339.00	339.00	161.81	339.00	340.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 35
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Parks Department			2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10555210	500310	Office Sup	161.31	250.00	250.00	204.42	250.00	250.00	
10555210	500311	Copy/Print	730.19	1,000.00	1,000.00	496.68	1,000.00	1,000.00	
10555210	500312	Mailing	93.93	100.00	100.00	60.44	100.00	100.00	
10555210	500350	Minor Equi	7,710.18	2,500.00	2,500.00	967.69	2,500.00	2,500.00	
10555210	500352	Unifm Svc	310.60	500.00	500.00	236.35	500.00	500.00	
10555210	500353	Safety Eq	224.51	100.00	100.00	866.48	866.00	800.00	
10555210	500355	Janitorial	1,306.12	2,200.00	2,200.00	787.06	2,200.00	2,200.00	
10555210	500362	Eq Mnt Sup	1,592.67	4,500.00	4,500.00	2,404.50	4,500.00	4,500.00	
10555210	500364	Bld Mnt Su	2,198.29	2,000.00	2,000.00	782.80	2,000.00	2,000.00	
10555210	500370	Landscapin	11,921.84	13,500.00	13,500.00	13,116.68	13,500.00	13,500.00	
10555210	500371	Signs	5,062.37	500.00	500.00	247.27	500.00	500.00	
10555210	500399	Misc Exp	1,290.20	2,100.00	2,100.00	1,148.35	2,100.00	2,100.00	
TOTAL Materials & Supplies			32,949.21	29,589.00	29,589.00	21,480.53	30,355.00	30,290.00	
56	Other Expenses								
10555210	500510	Insurance	1,289.28	1,461.00	1,461.00	1,826.60	1,826.60	1,461.00	
10555210	500905	Fl Interna	69,045.67	55,080.00	55,080.00	57,752.45	55,080.00	56,000.00	
TOTAL Other Expenses			70,334.95	56,541.00	56,541.00	59,579.05	56,906.60	57,461.00	
TOTAL Parks Department			443,324.75	463,467.09	463,467.09	308,644.88	400,740.22	493,263.94	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 36
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Community Development	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
<hr/>							
51 Salaries							
10567110 500110 FT Wages	237,758.71	237,938.13	237,938.13	185,531.06	237,938.13	242,696.89	
10567110 500111 PT Wages	.00	35,082.78	35,082.78	25,382.29	35,082.78	35,795.64	
10567110 500112 OT Wages	.00	.00	.00	30.64	30.64	.00	
TOTAL Salaries	237,758.71	273,020.91	273,020.91	210,943.99	273,051.55	278,492.53	
<hr/>							
52 Fringe Benefits							
10567110 500151 SS	17,709.74	20,886.11	20,886.11	15,721.01	20,886.11	21,304.68	
10567110 500152 WR	16,593.24	18,565.41	18,565.41	14,328.84	18,565.41	18,380.51	
10567110 500153 WC	495.69	682.54	682.54	472.13	682.54	612.69	
10567110 500154 H & L	50,696.64	50,007.12	50,007.12	41,740.92	50,007.12	49,904.64	
TOTAL Fringe Benefits	85,495.31	90,141.18	90,141.18	72,262.90	90,141.18	90,202.52	
<hr/>							
53 Other Salaries & Ben							
10567110 500199 Pers Trans	21,557.93	.00	.00	.00	.00	-4,102.55	
TOTAL Other Salaries & Ben	21,557.93	.00	.00	.00	.00	-4,102.55	
<hr/>							
54 Contracted Services							
10567110 500201 Uemploy	956.28	1,000.00	1,000.00	399.06	1,000.00	1,000.00	
10567110 500202 Employ Ev	.00	100.00	158.00	158.00	158.00	110.00	
10567110 500205 Publicatio	2,870.64	4,000.00	4,000.00	2,143.11	2,500.00	4,000.00	
10567110 500206 Con Print	62.86	1,500.00	1,500.00	49.13	1,000.00	1,500.00	
10567110 500210 Attrny Fee	18,591.50	20,000.00	20,000.00	7,151.50	20,000.00	20,000.00	
10567110 500212 Eng Fee	.00	1,000.00	1,000.00	.00	1,000.00	1,000.00	
10567110 500214 Consult Sv	3,200.22	7,200.00	7,200.00	2,151.25	5,000.00	7,200.00	
10567110 500215 Comm Svc	2,900.00	5,100.00	5,100.00	1,920.00	5,100.00	5,100.00	
10567110 500216 Leg Svc	5,770.08	10,000.00	10,000.00	2,449.82	10,000.00	10,000.00	
10567110 500224 Telephone	3,851.00	2,800.00	2,800.00	2,333.30	2,800.00	3,000.00	
10567110 500226 Data/Voice	470.00	950.00	950.00	498.00	960.00	950.00	
10567110 500260 T&M Reimb	2,591.15	3,030.00	3,030.00	1,075.09	2,650.00	3,550.00	
10567110 500261 Meals/Lod	572.50	2,100.00	2,100.00	1,562.89	2,100.00	2,400.00	
10567110 500262 Conf/Sem	889.52	2,330.00	2,330.00	2,580.00	2,250.00	2,750.00	
TOTAL Contracted Services	42,725.75	61,110.00	61,168.00	24,471.15	56,518.00	62,560.00	
<hr/>							
55 Materials & Supplies							
10567110 500300 Memb/Sub	1,635.72	2,010.00	2,010.00	1,682.43	1,975.00	2,265.00	
10567110 500310 Office Sup	1,341.97	1,300.00	1,300.00	718.73	1,800.00	1,500.00	
10567110 500311 Copy/Print	7,962.89	10,900.00	10,842.00	4,621.32	9,991.00	10,900.00	

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Village of Pleasant Prairie
NEXT YEAR / CURRENT YEAR BUDGET ANALYSIS

P 37
bgnyrpts

PROJECTION: 16001 2016 General Fund Operating Budget

FOR PERIOD 99

ACCOUNTS FOR:

Community Development	2014 ACTUAL	2015 ORIG BUD	2015 REVISED BUD	2015 ACTUAL	2015 PROJECTION	2016 Administ	COMMENT
10567110 500312 Mailing	1,967.28	4,780.00	4,780.00	2,081.25	3,730.00	4,780.00	
10567110 500350 Minor Equi	65.00	500.00	500.00	10.02	500.00	500.00	
10567110 500399 Misc Exp	226.92	1,210.00	1,210.00	215.06	1,000.00	1,210.00	
TOTAL Materials & Supplies	13,199.78	20,700.00	20,642.00	9,328.81	18,996.00	21,155.00	
56 Other Expenses							
10567110 500510 Insurance	1,002.07	1,033.00	1,033.00	847.62	1,033.00	1,033.00	
TOTAL Other Expenses	1,002.07	1,033.00	1,033.00	847.62	1,033.00	1,033.00	
TOTAL Community Development	401,739.55	446,005.09	446,005.09	317,854.47	439,739.73	449,340.50	
TOTAL REVENUE	.00	.00	.00	.00	.00	.00	
TOTAL EXPENSE	14,444,774.39	14,719,797.85	14,742,797.85	11,473,717.50	14,521,095.41	15,227,807.53	
GRAND TOTAL	14,444,774.39	14,719,797.85	14,742,797.85	11,473,717.50	14,521,095.41	15,227,807.53	

** END OF REPORT - Generated by Laura DeLaRosa **

**Village of Pleasant Prairie
2016 General Fund Budget
Decision Packages**

Priority	Department	Name of Program	Dept.		Admin		% in Dept.	Fund 100		Notes
			Request	Adjustment	Request	Cumulative		Amount of Program	Cumulative	
Recommended										
1	Police	Add three Police Officers	192,207	(96,487)	95,720	95,720	100%	95,720	95,720	Two Officers only w/o Academy - With Grant
2	Police	Body Cams (10)	6,000		6,000	101,720	100%	6,000	101,720	
3	Fire & Rescue	Staff a Position w/ Part-time Personnel	110,502	(18,417)	92,085	193,805	100%	92,085	193,805	Start March 1, 2016
4	CD	Business License Ordinance / Fee Implementation	(12,000)		(12,000)	181,805	100%	(12,000)	181,805	
5	Inspection	HVAC Technician	(2,344)		(2,344)	179,461	100%	(2,344)	179,461	
6	Public Works	Full time Construction / ROW Inspector	-	(35,983)	(35,983)	143,478	100%	(35,983)	143,478	Reflect total billable revenue (70% of hours @\$83 / Hour
7	Finance	Full-time Finance Employee	50,073	(22,430)	27,643	171,121	63%	17,415	160,893	Part-time Employee
8	Parks	Two PT Maint 5 employees (Split w/ Hwy)	29,259		29,259	200,380	100%	29,259	190,152	Reduce hours not sharing with Highway
9	Parks	Wage increase P-T Employees (3)	10,440		10,440	210,820	100%	10,440	200,592	
10	Parks	Wage Increase seasonal spring / Fall PT employees (3)	5,960		5,960	216,780	100%	5,960	206,552	
11	Assessing	Costar Commercial Sales Service	7,836		7,836	224,616	100%	7,836	214,388	
12	Public Works	Full time Clerical Support	28,548		28,548	253,164	28%	7,993	222,381	Allocation to Enterprise Funds
13	Public Works	Full Time Maint 4.1 Employee (Split w/ CWU)	20,915		20,915	274,079	100%	20,915	243,296	
14	Administration	Communications Coordinator	72,161	(18,040.25)	54,121	328,200	50%	27,060	270,357	50% to RecPlex / Start April 1, 2016
15	Police	AR-15 Rifles (4)	8,000		8,000	336,200	100%	8,000	278,357	
16	Police	Promote Sergeant to Lieutenant	6,387		6,387	342,587	100%	6,387	284,744	
17	Parks	Tree Survey and Management Plan	3,000		3,000	345,587	100%	3,000	287,744	
	Administration	Mini Maker Faire	10,000	(10,000)	-	345,587	100%	-	287,744	Find in Base
	CD	Hire a Deputy Planner/ Deputy Zoning Administrator	71,039	(71,039)	-	345,587	100%	-	287,744	Revenue Offset Needed
	Fire & Rescue	Add one Full-time Firemedic Position	83,179	(83,179)	-	345,587	100%	-	287,744	OT Offset Needed
	Public Works	Training for New DPW Foreman	3,000	(3,000)	-	345,587	100%	-	287,744	Find in Base
Not recommended										
	Fire & Rescue	Implement Lexipol Model Policy Program	8,573		8,573	233,189	100%	8,573	296,317	
	Parks	Fund 801 Attachment and tool charge out	10,000		10,000	10,000	100%	10,000	306,317	
	Police	Crime Scene and Surveillance Equipment	3,000		3,000	339,200	100%	3,000	309,317	
	Police	LED Light bars (2)	4,000		4,000	4,000	100%	4,000	313,317	
	Police	Automated Electronic Defibrillators (5)	9,000		9,000	13,000	100%	9,000	322,317	
	Police	Digital SLR Camera	1,000		1,000	14,000	100%	1,000	323,317	
	Public Safety	Dispatch Chairs	2,400		2,400	347,987	100%	2,400	325,717	
	Public Works	Road Paving Software	2,500		2,500	348,087	100%	2,500	328,217	
	Public Works	Fund 801 Attachment and tool charge out	6,000		6,000	354,087	100%	6,000	334,217	
	Public Works	Two P-T Maint 5 Employees (Split w/ Parks)	12,539		12,539	366,626	100%	12,539	346,756	
					-					
			763,174	(358,575)	404,599					
					-					

Village of Pleasant Prairie
Proposed 2016 Budget
General Government

Debt Fund



Budget Projection - Compared to Prior Year's Actuals

10/21/15

For Fund - 301 - Gen Debt - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
Taxes									
	Finance	1,452,709	1,356,733	1,327,559	1,327,559	1,327,559	1,520,952	1,520,952	0
31415110-411100	General Property Tax Revenue	1,452,709	1,356,733	1,327,559	1,327,559	1,327,559	1,520,952	1,520,952	0
	Total for : Taxes	1,452,709	1,356,733	1,327,559	1,327,559	1,327,559	1,520,952	1,520,952	0
Spec Asses									
	Finance	83,105	7,202	20,376	13,023	10,586	10,123	10,123	0
31425110-420001	Special Assessments	83,105	7,202	20,376	13,023	10,586	10,123	10,123	0
	Total for : Spec Asses	83,105	7,202	20,376	13,023	10,586	10,123	10,123	0
Misc Rev									
	Finance	22,551	18,618	15,125	10,188	12,125	10,876	10,876	0
31485110-481101	Interest On Investments	1,721	3,038	2,000	3,024	4,000	3,000	3,000	0
31485110-481301	Interest On Special Assessment	20,830	15,581	13,125	7,165	8,125	7,876	7,876	0
	Total for : Misc Rev	22,551	18,618	15,125	10,188	12,125	10,876	10,876	0
Oth Fin Sc									
	Finance	0	342,078	0	0	0	0	0	0
31495110-491002	Premium On G.O. Debt	0	342,078	0	0	0	0	0	0
	Total for : Oth Fin Sc	0	342,078	0	0	0	0	0	0
	Total Revenues:	1,558,365	1,724,632	1,363,061	1,350,770	1,350,270	1,541,950	1,541,950	0
Operating Expenses									
Dbt Serv									
	Finance	1,463,416	1,416,155	1,629,188	1,531,713	1,629,188	1,617,900	1,617,900	0
31585110-500610	Principal On Long Term Notes	1,219,127	1,218,189	1,284,552	1,284,552	1,284,552	1,325,000	1,325,000	0
31585110-500620	Interest Expense	244,289	197,966	344,636	247,161	344,636	292,900	292,900	0
	Total for : Dbt Serv	1,463,416	1,416,155	1,629,188	1,531,713	1,629,188	1,617,900	1,617,900	0
	Total Operating Expenses:	1,463,416	1,416,155	1,629,188	1,531,713	1,629,188	1,617,900	1,617,900	0



Budget Projection - Compared to Prior Year's Actuals

For Fund - 301 - Gen Debt - Fiscal Year - 2015

10/21/14

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Fund Balance									
	Beginning Fund Balance	706,270	801,219	1,109,695	1,109,695	1,109,695	830,777	830,777	830,777
	Income / (Loss)	94,948	308,476	(266,128)	(180,943)	(278,918)	(75,950)	(75,950)	0
	Ending Fund Balance	801,219	1,109,695	843,567	928,752	830,777	754,827	754,827	830,777
	Reserved	0	0	0	0	0	0	0	0
	UnReserved Fund Balance	801,219	1,109,695	843,567	928,752	830,777	754,827	754,827	830,777
	15% of Revenue	233,755	258,695	204,459	202,616	202,541	231,293	231,293	0
	Available	567,464	851,000	639,108	726,136	628,236	523,535	523,535	830,777

Village of Pleasant Prairie
Proposed 2016 Budget
General Government

Capital Fund



Budget Projection - Compared to Prior Year's Actuals

For Fund - 410 - Gen Cap - Fiscal Year - 2015

10/21/15

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
Taxes									
	Finance	514,373	691,993	797,343	797,343	797,343	797,343	1,299,898	0
40415110-411100	General Property Tax Revenue	514,373	691,993	797,343	797,343	797,343	797,343	1,299,898	0
	Total for : Taxes	514,373	691,993	797,343	797,343	797,343	797,343	1,299,898	0
Interg Rev									
	PW	758,832	786,015	800,843	799,294	800,843	800,843	719,365	0
40433111-435310	Road Grant From State	758,832	786,015	800,843	799,294	800,843	800,843	719,365	0
	Finance	440,595	40,460	40,460	101,013	101,013	46,948	46,948	0
40435110-434100	Income Tax from State	387,743	40,460	40,460	101,013	101,013	46,948	46,948	0
40435110-435211	Grants	52,852	0	0	0	0	0	0	0
	Total for : Interg Rev	1,199,427	826,475	841,303	900,307	901,856	847,791	766,313	0
Public Chg									
	Finance	258,999	472,150	150,000	203,486	225,000	150,000	150,000	0
40465110-461002	Impact Fees	258,999	472,150	150,000	203,486	225,000	150,000	150,000	0
	Total for : Public Chg	258,999	472,150	150,000	203,486	225,000	150,000	150,000	0
Misc Rev									
	Finance	5,270	21,505	5,000	9,525	227,000	5,000	5,000	0
40485110-481101	Interest On Investments	5,270	9,724	5,000	9,525	18,000	5,000	5,000	0
40485110-484401	Insurance Dividends / Awards	0	11,638	0	0	209,000	0	0	0
40485110-489001	Miscellaneous Receipts	0	142	0	0	0	0	0	0
	Total for : Misc Rev	5,270	21,505	5,000	9,525	227,000	5,000	5,000	0
Oth Fin Sc									
	Finance	30,368	6,982,380	135,551	4,000	165,695	3,607,402	4,021,607	0
40495110-491001	Proceeds On G.O. Debt	0	6,865,000	0	0	0	3,150,000	3,093,000	0
40495110-491002	Premium On G.O. Debt	0	93,030	0	0	0	0	0	0
40495110-491003	Impact Fees	0	0	114,551	0	140,695	428,902	900,607	0
40495110-491103	Sale Of Property / Equipment	0	3,000	0	4,000	4,000	500	0	0



Budget Projection - Compared to Prior Year's Actuals

10/21/15

For Fund - 410 - Gen Cap - Fiscal Year - 2015

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Revenues									
40495110-491104	Sale Of Property/Equip-Law Enf	30,368	21,350	21,000	0	21,000	28,000	28,000	0
	Total for : Oth Fin Sc	30,368	6,982,380	135,551	4,000	165,695	3,607,402	4,021,607	0
	Total Revenues:	2,008,436	8,994,502	1,929,197	1,914,660	2,316,894	5,407,536	6,242,818	0
Operating Expenses									
Oth Fin Sc									
	Finance	0	110,733	0	0	0	61,625	60,676	0
	Total for : Oth Fin Sc	0	110,733	0	0	0	61,625	60,676	0
Cap Outlay									
	Police	138,724	234,088	176,000	179,972	176,000	251,527	672,623	0
	Fire & Res	57,838	134,577	357,117	417,065	737,668	1,627,363	1,486,339	0
	PW	5,003	0	236,377	0	92,500	10,000	10,000	0
	Admin	0	0	69,025	64,012	69,025	0	0	0
	IT	291,462	154,385	370,651	313,868	363,533	347,023	97,023	0
	Street Lt	0	0	26,000	0	65,386	20,000	0	0
	Finance	0	0	632,498	0	0	0	0	0
	Assessing	0	0	17,214	0	0	0	0	0
	Parks	85,836	17,544	36,200	0	47,871	296,000	286,000	0
	Public Saf	0	0	25,000	0	0	0	25,000	0
	Prange	0	0	30,000	0	30,000	14,000	14,000	0
	Total for : Cap Outlay	578,862	540,594	1,976,082	974,917	1,581,983	2,565,913	2,590,985	0
Capital									
	Blank	998,344	3,651,240	4,682,884	4,156,631	6,107,628	4,599,157	4,599,157	0
	Total for : Capital	998,344	3,651,240	4,682,884	4,156,631	6,107,628	4,599,157	4,599,157	0
	Total Operating Expenses:	1,577,206	4,302,567	6,658,966	5,131,548	7,689,611	7,226,695	7,250,818	0



Budget Projection - Compared to Prior Year's Actuals

For Fund - 410 - Gen Cap - Fiscal Year - 2015

10/21/15

BudProjctPriorYrsComp - IN

Org-Obj	Acct Description	Actual - 2013	Actual - 2014	Amend Bud 2015	Actual - 2015	Estimate 2015	Dept Req 2016	Admin Req 2016	Board - 2016
Transfers									
40975110-492001	Transfer In	39,980	3,026	145,954	0	40,059	1,158,000	1,158,000	0
40975110-500900	Transfer Out	(100,000)	0	0	0	0	0	0	0
	Total Transfers:	(60,020)	3,026	145,954	0	40,059	1,158,000	1,158,000	0
Fund Balance									
	Beginning Fund Balance	2,519,865	2,891,075	7,586,036	7,586,036	7,586,036	2,253,378	2,253,378	2,253,378
	Income / (Loss)	371,210	4,694,961	(4,583,815)	(3,216,888)	(5,332,658)	(661,159)	150,000	0
	Ending Fund Balance	2,891,075	7,586,036	3,002,221	4,369,148	2,253,378	1,592,219	2,403,378	2,253,378
	Reserved	0	0	0	0	0	0	0	0
	UnReserved Fund Balance	2,891,075	7,586,036	3,002,221	4,369,148	2,253,378	1,592,219	2,403,378	2,253,378
	15% of Revenue	301,265	1,349,175	289,380	287,199	347,534	811,130	936,423	0
	Available	2,589,810	6,236,861	2,712,842	4,081,949	1,905,844	781,089	1,466,955	2,253,378

Village of Pleasant Prairie
2016 Budget
Capital Requests

Project Number	Project Name	Dept Name	Dept Request 2016	Adjustments	Administrator Request
<u>Recommended</u>					
1	FR-29	Ladder Truck	Fire & Rescue	1,343,372	1,343,372
2	PW-14-02RPC	Equipment Storage at Roger Prange	Public Works	2,965,883	2,965,883
3	R-16-01	Paving Program	Roads	1,623,274	1,623,274
4	PO-01	Vehicle Fleet Replacement	Police	140,000	140,000
5	FR-40	Power Cot for Ambulance	Fire & Rescue	18,861	18,861
6	FR-26	Replace Heart Monitor / Defibrillators	Fire & Rescue	124,106	124,106
7	PO-02	Cellebrite Cellular Telephone Analysis System	Police	16,427	16,427
8	PO-03	Live Scan Fingerprintinh System (Morpho)	Police	16,198	16,198
9	R-16-02	Transportation Plan	Roads	10,000	10,000
10	PW-16-01-CM	Used Total station	Public Works	10,000	10,000
12	P-15-03	Neighborhood Parks (Impact fees)	Parks	280,000	280,000
13	IT-01	Data Center & Infrastructure	Information Technology	8,000	8,000
14	M-2	Convert Radio System to IP (Carryover)	Public Safety Comm	-	25,000
15	IT-02	DVR's, CCTV and Access Control	Information Technology	14,000	14,000
16	RPC-16-02	Replace HVAC Controls	Roger Prange	8,000	8,000
17	RPC-16-01	Replace 3 Manway Doors at prange center	Roger Prange	6,000	6,000
18	P-12-03	Imgram Park Improvements	Parks	6,000	6,000
19	IT-01(a)	Infrastructure projects minus dark fiber	Information Technology	325,023	(250,000) 75,023 Website
20	PO-04	Police Dept Quarters - Land purchase (Impact Fees)	Police	78,902	421,098 500,000 Was PD Garage / Renovation
		Total Recommended	6,994,046	196,098	7,190,144
<u>Not Recommended</u>					
	FR-08	Automobile	Fire & Rescue	44,050	44,050
	FR-41	Aerial Imaging Drone	Fire & Rescue	49,457	49,457
	FR-20	Station 2 Building Maintenance	Fire & Rescue	31,634	31,634
	FR-23	Mobile and Portable Radios and Pagers	Fire & Rescue	52,087	52,087
	FR-32	Thermal imaging Camera replacement	Fire & Rescue	13,253	13,253
	PW-16-01	LED parking lot LED upgrade	Roger Prange	20,000	20,000
	P-16-05	Fitness Stations around Lake Andrea	Parks	10,000	10,000
	IT-01(a)	Infrastructure projects - Dark Fiber	Information Technology		250,000
				220,481	250,000 470,481
	Total		7,214,527	446,098	7,660,625

Consider a **Zoning Map Amendment (Ord. #15-42)** for the request of David Falk, owner of the property located at 5304 Springbrook Road to rezone the portion of the property that is currently zoned R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District into the A-2, General Agricultural District so that the entire property will be zoned A-2.

Recommendation: On November 9, 2015 the Plan Commission held a public hearing and recommended that the Village Board approve the **Zoning Map Amendment (Ord. #15-42)** as presented in the Staff Report of November 16, 2015.

VILLAGE STAFF REPORT OF NOVEMBER 16, 2015

Consider a **Zoning Map Amendment (Ord. #15-42)** for the request of David Falk, owner of the property located at 5304 Springbrook Road to rezone the portion of the property that is currently zoned R-4 (UHO), Urban Single Family Residential District with an Urban Landholding Overlay District into the A-2, General Agricultural District so that the entire property will be zoned A-2.

The petitioner is requesting is rezone the portion of his property located at 5304 Springbrook Road that is zoned R-4 (UHO) Urban Single Family Residential District with an Urban Landholding Overlay District into the A-2, General Agricultural District so that the entire property will be zoned A-2.

The area surrounding this property is zoned A-2, General Agricultural or A-3, Limited Agricultural with some smaller lots adjacent to Springbrook Road that are zoned R-4. The petitioner's property is over 17 acres with over 750 feet of frontage on Springbrook Road. The lot meets the minimum requirements of the A-2 District which requires lots to be a minimum of 10 acres with a minimum of 300 feet of frontage on a public road. At this time there are no urban services such as municipal sewer or municipal water on Springbrook Road that service this property. In addition, the rezoning of the property would allow for the existing agricultural uses on the property to be classified as a legal conforming use.

Municipal water is proposed to be extended within Springbrook Road adjacent to this property. The Village Board will be considering this extension in early 2016. It is contemplated that this would be a deferred assessment without mandatory connection.

The proposed Zoning Map Amendment is consistent with the Village Comprehensive Land Use Map in that this property is located within an Urban Reserve Designation so no amendment to the Land Use Plan Map is required.

Plan Commission recommends that the Village Board to approve the Zoning Map Amendment as presented.

ORD. # 15-42

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended
as follows:**

The portion of the property located at 5304 Springbrook located in U.S. Public Land Survey Section 26, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 92-4-122-263-0211 is hereby rezoned from R-4 (UHO) Urban Single Family Residential District with an Urban Landholding Overlay District into the A-2, General Agricultural District.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendments.

Adopted this 16th day of November, 2015.

VILLAGE BOARD OF TRUSTEES

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

42- Falk Rezone

CODE1510-002



Wisconsin Award for Municipal Excellence

Filed _____ 20 Published _____ 20
Public Hearing _____ 20
Fee Paid _____ 20 Approved _____ 20
Notices Mailed _____ 20 Denied _____ 20

RECEIVED

OCT 8 - 2015

VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
ZONING MAP AND TEXT AMENDMENT APPLICATION

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie

PLEASANT PRAIRIE

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present R-4(LHU) Residential District(s) to A-2 Agriculture District(s). The property petitioned to be rezoned is located at: 18.9 Acres - 5304 Springbrook Road and is legally described as follows: _____

Tax Parcel Number(s): 92-4-122-263-0211

4-0122-274-0100 PT SW 1/4 Sec 26 & Se 1/4 Sec 27 T 1 R 22 Beg 694.43 FT E Of NW Cor Of SW 1/4 Sec 26 TH S 20 Deg 43' E 394.3 FT To NW LN Hwy ML TH Sw'ly Alg Hwy 761.18 FT TH N 48 Deg 55'07" W Alg Ne LN CSM #1195 To W LN Sec 26 TH Cont S 87 Deg 03'22" W 323.74 FT TH N 02 Deg 56'38" W 682.61 FT To N LN Se 1/4 Sec 27 TH E Alg N LN 323.99 FT To Pob 18.9 Ac (1995 Comb 92-4-12-263-0207 & -0210 & PT Of 92-4-122-274-0100) Doc #961882

Petitioner's interest in the requested rezoning: OWNER

Compatibility with adjacent land uses: property surrounded by current Agriculture

I (We) are also requesting a Zoning Text Amendment to amend Section Wis Stat 10.32 of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

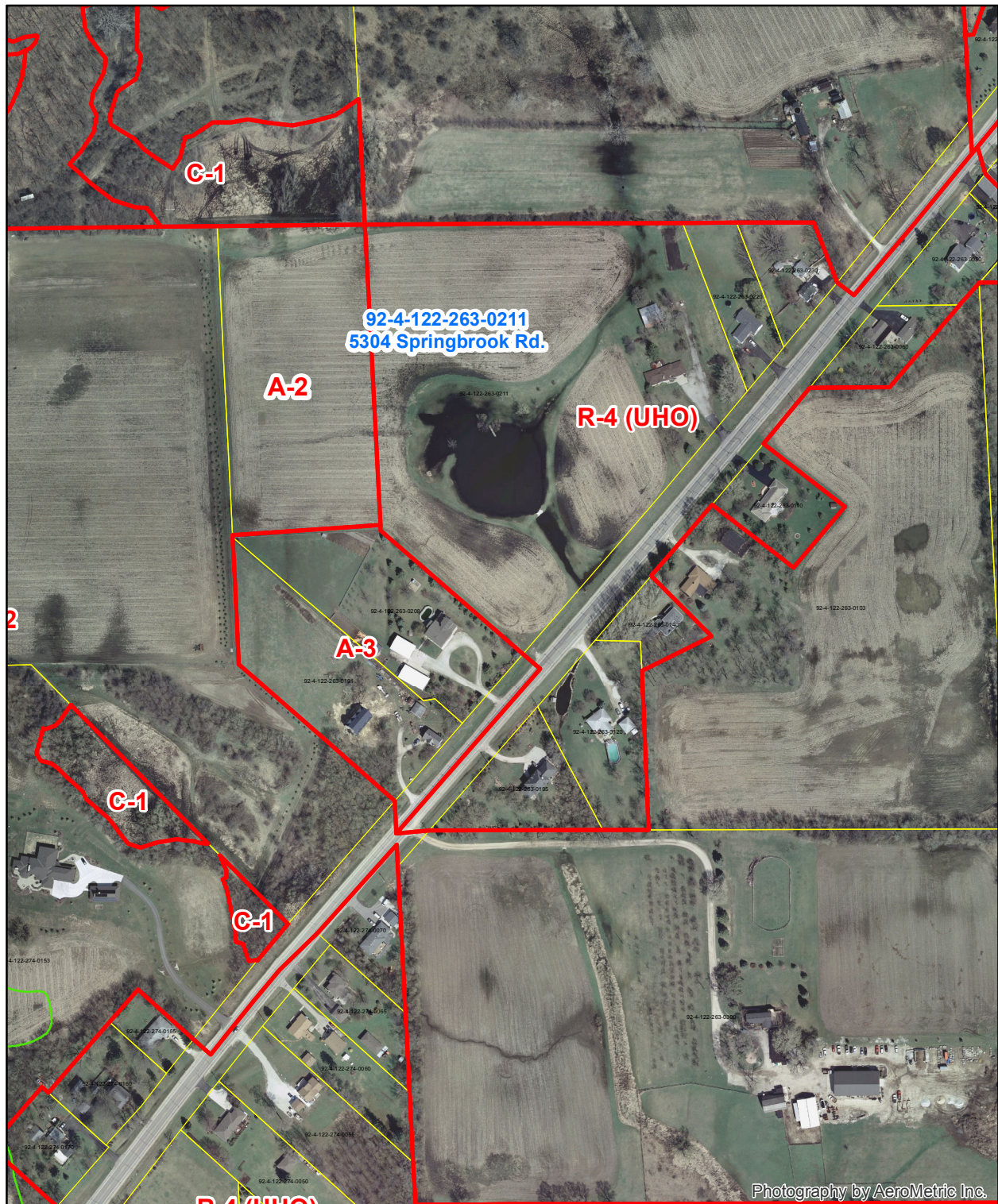
OWNER'S AGENT:

Print Name: DAVID H. FALK
Signature: [Signature]
Address: 5304 Springbrook Rd
Pleasant Prairie, WI 53158
(City) (State) (Zip)
Phone: 262-705-3476
Fax: _____
Email: _____
Date: Oct 8, 2015

Print Name: _____
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
Email: _____
Date: _____

Village of Pleasant Prairie Zoning Map (portion of)

The portion of the property at 5304 Springbrook Road that is zoned R-4 (UHO) is being rezoned to A-2.



Source: Village of Pleasant Prairie
Date of Zoning: October 2015
Date of Aerial Photograph: 2010

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME
HOWEVER SEPARATE ACTION IS REQUIRED.**

Consider approval of a **Zoning Map and Text Amendments (Ord. #15-43 and Ord. #15-44)** for the request of Jim Hooper, agent Educators Credit Union to rezone the vacant property generally located at the northeast corner of STH 50 and 91st Avenue from B-2 (UHO), Community Business District with an Urban Landholding Overlay District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and Zoning Text Amendment to create the specific PUD requirements for the proposed development.

Recommendation: On November 9, 2015, the Plan Commission held a public hearing and recommended that the Village Board approve the Zoning Map and Text Amendment subject to the comments and conditions of the Village Staff Report of November 16, 2015.

Consider approval of a **Development Agreement and related Documents** for the proposed public improvements associated with the development of the Educators Credit Union to be located at 7431 91st Avenue.

Recommendation: The Plan Commission recommends that the Village Board approve the Development Agreement and related Documents subject to the comments and conditions of the Village Staff Report of November 16, 2015.

VILLAGE STAFF REPORT OF NOVEMBER 16, 2015

CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS

Consider approval of a **Zoning Map and Text Amendments (Ord. #15-43 and Ord. #15-44)** for the request of Jim Hooper, agent Educators Credit Union to rezone the vacant property generally located at the northeast corner of STH 50 and 91st Avenue from B-2 (UHO), Community Business District with an Urban Landholding Overlay District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and Zoning Text Amendment to create the specific PUD requirements for the proposed development.

Consider approval of a **Development Agreement and related Documents** for the proposed public improvements associated with the development of the Educators Credit Union to be located at 7431 91st Avenue.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

As part of the development of this site for Educators Credit Union, a Zoning Map and Text Amendments are required to rezone the property from the B-2 (UHO), Community Business District with an Urban Landholding Overlay District to B-2 (PUD), Community Business District with a Planned Unit Development Overlay District and Zoning Text Amendment to create the specific PUD requirements for the proposed development. In addition, approve a Development Agreement and related documents for the required public improvements adjacent to the site is required.

Background Information: On May 4, 2015 the Village Board conditionally approved a Conceptual Plan for the proposed construction of a 7,280 square foot full service Educators Credit Union (ECU) on the property. On November 9, 2015, the Plan Commission conditionally approved a Conditional Use Permit including Site and Operational Plans and a Digital Security Imaging System (DSIS) Agreement and a DSIS Access Easement for the proposed construction of a full service Educators Credit Union (with a drive-thru) on the vacant property generally located at the northeast corner of STH 50 and 91st Avenue.

Educators Credit Union (ECU) is a full service financial institution serving members in southeastern Wisconsin since 1937, offering savings and loan products as well as investment opportunities to individuals and small businesses. ECU is committed to educating and advising members of their options and helping them make sound financial decisions. Branch transactions range from quick deposits and payments to more comprehensive interactions such as loan applications and account openings.

Transactions will be conducted in person with the branch staff for detailed situations such as purchasing certificates, processing loan applications and general account maintenance. Additionally, transactions such as deposits, payments and cash management will occur through interactive teller technology and video assisted transactions. This technology provides terminals that look just like ATM's but have a touch screen video for interacting with a teller located at ECU's Home Office in Mt. Pleasant. The drive thru terminals are the same ITM (interactive teller type), and are both filled with cash by an armored car service.

Anticipated hours of operation:

Monday through Friday	8-7, lobby only 9-5
Saturday	8-3, lobby only 9-noon

Total number of employees is anticipated to be six (6) full time employees. One shift will be run with four (4) to six (6) employees working during this shift. The maximum number of employees on the site at any time of the day would be 8-10, which would include any maintenance employee or office staff temporarily assigned to the office.

There are 39 parking spaces provided including two (2) handicapped accessible spaces. Pursuant to the Village Zoning Ordinance the minimum number of parking spaces required is one (1) space for each 200 square feet of usable floor area, plus eight (8) stacking spaces for the first drive-in window and 6 stacking spaces for each additional window; each waiting space shall measure not less than 20 feet in length, plus the required handicapped accessible spaces pursuant to the State Code.

The site and building will be monitored using video recording equipment through Exactvision. Recording and playback is monitored for functionality daily. Recorded video history for all camera placements is stored for no less than 90 days. Building has full alarm protection (including: a burglar alarm with contactors, and motion sensors, fire alarm, and flow switch alarms on the sprinkler system, and elevator emergency phone monitoring which is monitored 24/7 by Priority One. The development will be required to comply with the Village Security Ordinance (Chapter 410 of the Village Municipal Ordinance) The DSIS will afford the opportunity for the public safety departments (e.g. the Village Police Department and Village Fire & Rescue Department) to visually examine commercial establishments and their sites and will provide emergency response personnel with a visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers.

Zoning Map and Text Amendments (Ord. #15-43 and Ord. #15-44): The property is proposed to be rezoned from the B-2 (UHO), Community Business District with an Urban Landholding Overlay District to the B-2 (PUD), Community Business District with a Planned Unit Development Overlay. Developing the property as a PUD will allow for more flexibility with some dimensional requirements of the Village Zoning Ordinance provided there is a defined benefit to the community. (See **Exhibit 1** for a copy of the Application, **Exhibit 2** for the proposed PUD Zoning Text Amendment Ordinance and **Exhibit 3** for the proposed Zoning Map Amendment Ordinance).

The modifications from the Zoning Ordinance that are to be included in the PUD includes:

- Reduce the minimum lot area of the B-2 District from 2.0 acres to 1.47 acres.
- Reduce the fire access lane (one way travel lane) around the south side of the building from the required 30 feet to 20 feet.
- To allow for an off-premise unified business development sign for the other commercial development within the Westfield Heights Commercial Area to be constructed on the property by Bear Realty/Development. This sign will be allowed to be a maximum of 8 feet high and 50 square feet of display area per side. The specific design and details of the sign shall be submitted for review and approval as part of the PUD.

As part of the PUD, the building shall be fully equipped with a Fire Sprinkler and Fire Protection System; a Digital Security Imaging System shall be installed and operational for the site, public improvements within the right-of-way and 91st Avenue shall be installed (as discussed below) and the owner shall agree to the assessment language as set forth in the Development Agreement.

Public Improvements and Development Agreement: As part of this development and part of the required community benefit for this project, the Village will require public sidewalks (by a Village approved contractor) to be extended within the right-of-way and

through the proposed driveways from the southern terminus along 91st Avenue westward with a handicapped accessible ramp connecting to the 91st Avenue street pavement and to add three (3) street trees along 74th Street and to relocate or replant the street tree north from the corner of 91st and 74th Street (by a Village approved contractor) within the parkway area (between the back of curb of the public street and the sidewalk). All grass mowing in the terrace areas and maintenance of the street trees, re-mulching and staking of trees are the owner's responsibility.

The Development Agreement addressing the owner's agreements and obligations to the Village--is required to be executed prior to the issuance of building permits. (See **Exhibit 4** for a draft of the Development Agreement). Contractor's estimates and insurance certificates shall be provided to the Village and will be exhibits to the Development Agreement. In addition, a Letter of Credit or a cash payment for financial security will be required to be submitted for the public improvements.

The Village staff recommends approval of the Zoning Map and Zoning Text Amendments as presented.

The Village staff recommends approval of the Development Agreement and related documents for the public improvements subject to the following conditions:

1. Upon Village approval of the Engineering Plans and Specifications for the public improvements specified in the Development Agreement four copies and a pdf copy of the plans shall be submitted to the Village so that estimates can be obtained for field staking and inspection.
2. Upon Village approval of the Final Engineering Plans, Profiles and public improvements specified in the Development Agreement, then a copy of the signed contracts, certificates of insurance, and performance and payment bonds shall be provided to the Village. The contracts shall have the Developer's name as shown on the title of the property. The certificates of insurance shall also list the Village of Pleasant Prairie as an insured party. **All contractors shall be pre-qualified by the Village.**
3. **The following shall be finalized and submitted:**
 - a. Five (5) full size and one (1) 11 by 17 copy of the Final Engineering Plans and Specifications and Contracts for the public improvements and two (2) digital copies of the Final Engineering Plans (Digital Information shall conform to the Village's format requirements) and a pdf copy of all plans and specifications. (The plans shall be modified as required by the November 9, 2015 Plan Commission's conditional approval of the Site and Operational Plans.)
 - b. Development Agreement shall be finalized.
 - c. The Itemized Cost Breakdown Exhibit (to be drafted by the Village and reviewed by the Developer). **IMPORTANT: A draft Letter of Credit or Cash on Deposit equal to the cost breakdown analysis (need to verify proper format and dollar amount of Letter of Credit prior submitting the Original Letter of Credit on bank letterhead).**
 - d. The WI DOT Work in the Right-of-Way Permit.
 - e. A Village Work in the right-of-way permit will be required for all related public improvements and work within 91st Avenue. All work within the Village's right-of-way will be required to be done by a Village approved contractor.

- f. The Erosion Control Permit application, related plans and permit fee.
 - g. A \$2,000 street sweeping cash deposit.
 - h. A one-year minimum Irrevocable Letter of Credit (LOC) or cash deposit to the Village, in the amount of 125% of the total cost of public related improvements, including street trees, field staking, inspection and construction related services for public improvements. **Either a Cash Deposit or draft LOC shall be provided to the Village for staff review. The "Final" LOC shall be provided prior to the Village at the closing.**
 - i. Verification of taxes and outstanding special assessments being paid. Any outstanding taxes, special assessments or invoices shall be paid prior to the execution/signing of the Development Agreement and Memorandum of Development Agreement and other related documents.
- 4. Upon Village Board's approval of the Development Agreement and related documents and within 90 days of said approval, the Village will hold a closing to have the Final documents signed. The Developer/Owner shall be responsible for recording all required documents at the Kenosha County Register of Deeds Office and provide the proof of recording to the Village within 72 hours of closing with the Village.
 - 5. Following the closing (on the same day), the Developer's engineer shall conduct a pre-construction meeting at the Roger Prange Municipal Building with all of the contractors, utilities, Village on-site inspectors and Developer representatives (This meeting is required prior to public improvement field work commencing).
 - 6. The Developer's engineer shall coordinate the set-up of this meeting and shall run the pre-construction meeting for the public improvements specified in the Development Agreement and the public improvements and the private on-site building and site development (Building permits shall have been submitted and the permit ready to be issued prior to the meeting so that all permit conditions can be discussed at this pre-construction meeting).
 - 7. The Developer's engineer shall come prepared with extra copies of the plans and specifications, copies of the agenda for the meeting, copies of the construction schedule and copies of the listing of emergency contact personnel and phone numbers. (The Village can provide a sample agenda).

ORD. # 15-43

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended
as follows:**

The property generally located north of STH 50 and east of 91st Avenue known as Lot 21 of the Westfield Heights Subdivision, located in U.S. Public Land Survey Section 5, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 91-4-122-054-0321 is hereby rezoned from the B-2 (UHO), Community Business District with an Urban Landholding Overlay District to the B-2 (PUD) Community Business District with a Planned Unit Development Overlay District.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendments.

Adopted this 16th day of November, 2015.

VILLAGE BOARD OF TRUSTEES

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

43- ECU Rezone

CODE1510-001

ORDINANCE # 15-44

ORDINANCE TO **AMEND A PLANNED UNIT DEVELOPMENT PURSUANT TO
SECTION 420-137 OF THE VILLAGE ZONING ORDINANCE FOR
THE WESTFIELD HEIGHTS COMMERCIAL AREA
IN THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that the following Planned Unit Development (PUD) Ordinance is hereby created for Westfield Heights Commercial Area pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

Westfield Heights Commercial Area Planned Unit Development

- a. It is the intent that Westfield Heights Commercial Development be developed on the property(ies) as legally described below in conformity with the Village of Pleasant Prairie (Village) adopted Comprehensive Land Use Plan; that the development will not be contrary to the general health, safety, welfare and economic prosperity of the community; and that the architectural, building and site design, sidewalks, landscaping, grading and drainage, fences, signage, lighting and general site development is an attractive and harmonious commercial development of sustained desirability and economic stability and will not have an adverse effect on the property values of the surrounding neighborhood.
- b. Legal Description: The property(ies) included are known as **Lot 21 and** Lot 20 of the Westfield Heights Subdivision as recorded at the Kenosha County Register of Deeds Office Document No. 1469350 located in U.S. Public Land Survey Section 5, Township 1 North, Range 22 East of the Fourth Principal meridian lying and being in the Village of Pleasant Prairie and part of Lot 19 of the Westfield Heights Subdivision, described as follows: Begin at the Southwest corner of said Lot 19 on the Northerly right-of-way of 91st Avenue and a point on a curve of Northwesterly convexity whose radius is 183.00 feet and whose chord bears N40°17'56"E 55.35 feet; thence Northeasterly 55.56 feet along the arc of said curve and said right-of-way; thence N48°49'28"W 159.26 feet to the Easterly line of said Lot 20; thence S25°12'19"E 146.17 feet along said Easterly line; thence S55°50'21"E 26.38 feet along said Easterly line to said Northerly right-of-way and the point of beginning. The above legally described property(ies) are hereinafter referred to as the "DEVELOPMENT".
- b. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations, except as expressly modified by this PUD Ordinance.
 - (ii) The DEVELOPMENT shall be in compliance with the Declaration of Restrictions, Covenants and Easements for Westfield Heights, as recorded at the Kenosha County Register of Deeds Office. Said Declarations, as requested by the owners and approved by the Village, may be amended from time to time.
 - (iii) All public improvements (sidewalks and street trees/plantings) for this DEVELOPMENT on **or adjacent to** Lot 20 are required to be installed and maintained pursuant to the Development Agreement entered into between the Village and My Sunshine Real Estate, LLC. **All public improvements (sidewalks and street trees/plantings for this DEVELOPMENT on or adjacent to Lot 21 are required to be installed and maintained pursuant to the**

Development Agreement entered into between the Village and Educators Credit Union.

- (iv) The owners of the adjacent properties (Lot 20 and Lot 21) shall install and maintain five (5) foot wide concrete public sidewalks and street trees/plantings adjacent to the DEVELOPMENT. It shall be the adjacent property owner's responsibility to snow shovel/plow the sidewalks and repair any cracked, pitted or heaved sidewalks and to plant, trim, weed, re-mulch, re-plant and maintain and replace public street trees and to mow and maintain the street terrace areas.
- (v) The DEVELOPMENT, including but not limited to, the buildings, signs, fences, garbage dumpster enclosures, landscaping, parking lot(s), exterior site lighting, etc., and the DEVELOPMENT as a whole, shall be maintained on a regular basis in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. This maintenance shall also include the daily picking up and disposal of trash and debris which may accumulate within the DEVELOPMENT.
- (vi) The owner of Lot 20 within the DEVELOPMENT shall be in compliance with the Digital Security Imaging System Agreement (DSIS) and Access Easement as approved by the Plan Commission on April 22, 2013. The owner of Lot 21 within the DEVELOPMENT shall be in compliance with the Digital Security Imaging System Agreement (DSIS) and Access Easement as approved by the Plan Commission on November 9, 2015.
- (vii) All buildings within the DEVELOPMENT, shall comply with the fire suppression requirements of Chapter 180 of the Village Municipal Code (including buildings within the DEVELOPMENT. ~~that are less than 3,500 square feet or less than two stories in height~~).
- (viii) The owners of Lots 20 and 21 shall be responsible for their fair share costs associated with any stormwater drainage and retention basin construction, installation, repair, alteration, replacement, landscaping, signage, maintenance located on their property and the nearby Outlot 1, which is referred to as a Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance area on the Westfield Plat. The stormwater drainage areas and Outlot 1 retention basin shall be maintained in a functional, neat and nuisance free condition to handle storm water in the Westfield commercial areas. Such maintenance shall include, without limitation and as needed, grading, seeding or sodding, maintaining erosion control methods to protect the drainageways; ditching to reestablish design capacity; removing of trash, debris, leaves and brush; clearing, repairing and replacing inlets, outlets and catch basin structures; mowing; and weeding to prevent nuisance conditions. No driveways, fences, or structures shall be erected within the storm water drainage easement areas which blocks, diverts or re-routes the drainage flow or which might interfere with the Village's rights, unless express written approval is granted by the Village and subject to any such conditions as the Village may impose.
- (ix) The owner of Lot 21 shall agree to pay a property tax based upon a baseline assessed value of the real estate never falling below all of the cumulative costs of the development, including land acquisition, site improvements, financing costs and building construction. In a year the assessed value of the property falls below the baseline value, the property owner agrees to pay the Village a payment determined by multiplying the municipal portion of the net

property tax rate by the difference between the current assessed value and the baseline value.

- (x) The owner of Lots 20 and 21 shall be obligated and shall agree to pay for a fair share apportionment of costs associated with the invoicing of public street lights energy and maintenance costs, which shall be billed by the Village Finance Department to the properties within the Westfield Commercial Street Lighting District.
- (xi) The DEVELOPMENT shall be in compliance with all applicable Site and Operational Plan(s), Conditional Use Permit(s) and Planned Unit Development Ordinance(s) (if applicable), as on file with the Village.
- (xii) All buildings and site alterations and modifications, excluding general building and site maintenance within the DEVELOPMENT, shall be made in accordance with the applicable Village Ordinances and Codes at the time the modification is proposed.
- (xiii) All buildings and structures and all exterior additions, remodeling and alterations to any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting, fencing, outdoor furniture, etc. as approved by the Village.
- (xiv) The DEVELOPMENT shall be operated and maintained in a uniform manner, regardless of property ownership. If the DEVELOPMENT is sold to another entity(s), the DEVELOPMENT shall continue to operate as a unified commercial development and shall continue to comply with this PUD and all other PUDs that may be applicable to the DEVELOPMENT, which may be amended from time to time. Specifically, but not limited to, the commercial building parking lots shall be utilized as a shared parking lots and cross-access easements shall be designed in order to allow and facilitate the movement of vehicular traffic from property to property.
- (xv) Delivery vehicles and trucks shall be parked inconspicuously on the sites. No trucks [e.g. semi cab, semi-trucks or semi-trailers, construction vehicles (except when permitted construction activities are taking place), step vans, delivery vans (except temporarily when goods and merchandise are being delivered), business-related vehicles with advertising displayed on the vehicles, catering vehicles, other commercial vehicles, etc.] shall be parked within the DEVELOPMENT. There shall be no overnight parking of vehicles on within the Development, unless approved by the Village.
- (xvi) Commercial communication antennas, whips, panels, satellite dishes or other similar transmission or reception devices that are mounted inside the buildings or are adequately camouflaged so as not to be readily seen by the general public, as either an accessory use, as specified in Chapter 420-120 D. (3) of the Village Zoning Ordinance are allowed without approval of a Conditional Use Permit within this DEVELOPMENT.
- (xvii) Temporary or permanent storage containers (some having brand names such as P.O.D.S, S.A.M.S., etc.) and compactors are not allowed within the DEVELOPMENT. All merchandise, product, crate, pallet, etc., storage shall be stored inside a building.
- (xviii) No flags, pennants, streamers, inflatable signage, temporary plastic banner-type signage, spot lights, walking signs, shall be allowed or affixed to any

building, landscaping, vehicle, antenna, roof-top, or the ground unless expressly permitted by the Zoning Ordinance.

- (xix) The DEVELOPMENT shall comply with the designated business hours of operation and hours of delivery times for the B-2 District, with the exception that the Lot 21 Educators Credit Union drive-thru may operate a 24-hour ATM cash dispensing station or financial documents drop off location. In addition, extended hours of business operations during special events may be granted by the Village if the owners/tenants enter into a separate written Agreement with the Village for the provision and payment of additional police services, as determined necessary by the Village Police Chief.
 - (xx) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
 - (xxi) The DEVELOPMENT shall not be used for any outside overnight or daytime parking of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations. No overnight parking of passenger vehicles or trucks are allowed in the parking lots.
 - (xxii) The owner of Lot 21 shall identify and maintain the trees and bushes located within the Woodland Preservation, Protection, Access and Maintenance Easement on the east side of Lot 21. Said maintenance shall include trimming, watering and removing and replacing any dead or trees or bushes within the Easement.
 - (xxiii) In the event that the owner or any commercial tenant within the DEVELOPMENT, requests public transportation to service the DEVELOPMENT, it shall be the responsibility of the requesting party(ies) to fund the cost of providing such public transportation to and from the DEVELOPMENT.
 - (xxiv) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
 - (xxv) The Lot 20 and 21 owners shall have the obligation to comply with all recorded Easements located on their Lots 20 and 21 respectfully, and such other areas (e.g. Outlot 1) from which they benefit.
- c. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:
- (i) Section 420-119 I related to Dimensional Standards is amended as follows:
 - I. Dimensional standards. Except as otherwise specifically provided in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, buildings and structures in the DEVELOPMENT shall comply with the following dimensional standards to the extent applicable:
 - (1) Lot size: Lot 20 shall be a minimum of 1.3 acres and Lot 21 shall be a minimum of 1.4 acres in area.
 - (2) Lot frontage on a public street: 150 feet minimum; provided, however, that on a substantial curve the public street frontage may be reduced as necessary to an absolute minimum of 100 feet if all other requirements are satisfied.

- (3) Open space: 30% minimum.
 - (4) Principal building standards:
 - (a) Gross floor area: 4,000 square feet minimum and 25,000 square feet maximum.
 - (b) Height: 35 feet maximum.
 - (c) Building Setbacks:
 - [1] Street setback: minimum of 65 feet from STH 50 (75th Street) and a minimum of 40 feet from 91st Avenue or 74th Street.
 - [2] Side setback for Lot 20: 20 feet minimum and 30 feet for Lot 21
 - [3] Rear setback ~~for Lot 20~~: 30 feet minimum.
 - [4] Wetland setback: 25 feet minimum.
 - (5) Detached accessory building/trash enclosure standards: No detached accessory buildings/trash enclosures allowed within the DEVELOPMENT except for Lot 20, which is allowed to have a detached trash enclosure provided that the enclosure is constructed of similar materials as the principal building, and landscape screening is provided on either side of the enclosure and in the area directly across the parking lot of the dumpster entrance as approved by the Zoning Administrator.
- (ii) Section 420-119 J related to Design Standards is amended as follows:
- J. Design standards. Except as otherwise specifically provided in Chapter 420 of the Village Municipal Code, and without limitation, all uses, sites, buildings and structures in the DEVELOPMENT shall comply with the following design standards to the extent applicable:
 - (1) Number of principal structures per lot: One maximum; provided, however, that attached buildings are allowed if the attachment is a fire wall between each two attached buildings, with no pedestrian openings, and that the horizontal distance of the attachment is at least 75% of the length or width of one of each two attached buildings and a minimum of 75 feet, and, without limitation, that each such attached building individually satisfies the minimum gross floor area restriction for principal buildings and that all such buildings attached to one another collectively comply with any maximum gross floor area restriction for principal buildings, and further provided that one or more commercial communication antennas, whips, panels or other similar transmission or reception devices (but no towers) mounted on a principal building or structure are allowed.

- (2) Number of detached accessory buildings and detached trash enclosures: none (trash enclosure shall be part of the principal building), except for Lot 20, wherein the trash enclosure may be detached pursuant to this ordinance.
 - (3) All accessory uses or structures shall be on the same lot or approved site as the principal use.
 - (4) Site and Operational Plan requirements pursuant to Article IX of Chapter 420 of the Village Municipal Code.
 - (5) Parking, access and traffic requirements pursuant to Article VIII of Chapter 420 of the Village Municipal Code, unless expressly modified by this PUD Ordinance.
 - (6) Sign requirements pursuant to Article X of Chapter 420 of the Village Municipal Code, except that one (1) off-premise non-residential development identification sign (or a unified business development sign) is allowed near the entrance of the DEVELOPMENT (STH 50 and 91st Avenue) on Lot 21 to include the name of other commercial businesses within the DEVELOPMENT. The sign shall meet the following requirements: maximum height: 8 feet high; maximum area: 50 square feet of display area per side; minimum setback: 10 feet from any property line provided the sign is not within any easements or the vision triangle; landscaping shall extend a minimum of five feet in every direction from the base of the sign; the sign may be illuminated.
 - (7) Fence requirements pursuant to Article XI of Chapter 420 of the Village Municipal Code, unless expressly modified by this PUD Ordinance.
 - (8) Each use, site, building and structure shall be designed, laid out, constructed and maintained in full compliance with the approved site and operational plan, any required conditional use permit, any required license and all other applicable provisions of Chapter 420 of the Village Municipal Code and of all other Village ordinances and codes.
- (iii) Section 420-48 L related to setbacks for parking spaces and parking lots shall be amended as follows:
- L. Parking areas including maneuvering lanes for Lot 20 shall be set back a minimum of 20 feet from the STH 50 right-of-way and one (1) foot from the 91st Avenue right-of-way and the property line adjacent to Outlot 1 of the Westfield Heights Subdivision.
- (iv) Section 420-48 J related to fire lanes shall be amended as follows:
- The required one way fire lane along the south side of the building on Lot 21 within the DEVELOPMENT shall be an all-weather, paved surface roadway with a minimum width of 20 feet as approved by the Village Fire & Rescue Chief.

e. Amendments

- (i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Village Municipal Code.
- (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this 16th day of November, 2015.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

44- Westfield Heights Commercial PUD amend
CODE1510-001

DEVELOPMENT AGREEMENT BETWEEN
THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN AND
EDUCATORS CREDIT UNION PLEASANT PRAIRIE REAL ESTATE LLC

THIS DEVELOPMENT AGREEMENT is made between EDUCATORS CREDIT UNION PLEASANT PRAIRIE REAL ESTATE LLC, a Wisconsin corporation (the "Owner") with a business and registered office address of 1400 Newman Road, Mt. Pleasant, WI 53406 and the VILLAGE OF PLEASANT PRAIRIE, (the "Village"), a Wisconsin municipal corporation with offices located at 9915 39th Avenue, Pleasant Prairie, Wisconsin 53158.

WITNESSETH:

1. The Owner and the Village have entered into this Development Agreement dated as _____, 2015 regarding a 1.47-acre lot for a credit union financial institution to be located at the northeastern corner of 91st Street and State Trunk Highway (STH) 50 containing certain real property located within the Village, the legal description which is attached hereto as **EXHIBIT A** and incorporated herein by reference. A copy of the Site and Operational Plans for Educators Credit Union as described below are on file with the Village Community Development Department and can be viewed at the Village Hall at the address stated above, relating to the Required Private and Public Improvements to be completed in and adjacent to the Development, all of which are a part of or provided for in this Development Agreement.
2. The Owner has agreed to and has provided to the Village, among other things, the following:
 - a. The obligation and agreement to construct and maintain various required private and public infrastructure improvements pursuant to the Village approved Final Development Engineering Plans for the Development sealed by the Engineer and dated September 28, 2015 with a revision date of _____, 2015: "Pleasant Prairie Review Plan" as prepared by MAP - Milwaukee Architects & Planners, Inc. 10859 West Bluemound Road, Suite 200, Milwaukee, WI 53226 (414) 476-1212. The referenced plan set specifically includes the following plans: Site Development, Grading, Erosion Control, Utility, Landscaping, Building, Electrical, Photometric, Floor Plans, Schedules, Elevations and other required Plans. Also included is an Operational Plan written narrative, Industrial Waste Survey, Airport Overlay Site Plan approval from the City of Kenosha, a materials sample board,

Westfield Commercial Owners Association approval and the related applications/permits required for the project. These Plans and related documents have been approved by the Village on _____ . The large scale set of the approved Final Site and Operational Plans (labeled as Pleasant Prairie Review Plan) are on file with the Village **(EXHIBIT B)**; and

- b. The obligation and agreement to construct the required public improvements pursuant to the Village approved Plans including: installing five (5) foot-wide concrete public sidewalks within the 91st Avenue and 74th Street rights-of-way extending from the curb ramp in STH 50 to the property line limits adjacent to the Development; removing one (1) public street tree and installing three (3) public street trees; and relocating one (1) public street light. These public improvements are shown on the **EXHIBIT B** along with the approval letters, including the contract estimate, certificates of insurance, engineering inspection cost estimate, erosion control plan and Erosion Control and Notice of Intent (NOI) permits; and
- c. The obligation and agreement to construct and maintain in compliance with Village Ordinances, and to the satisfaction of the Village, the public sidewalks, including the removal of snow and ice and any cracked, pitted or heaved sidewalks to facilitate safe pedestrian travel pursuant to the requirements set forth in the Village Ordinances and as referenced in the conditionally approved Educators Credit Union Planned Unit Development (PUD) Ordinance #15-__ **(EXHIBIT C)** and Conditional Use Permit #15-__. **(EXHIBIT D)**.
- d. The obligation and agreement to plant, stake, mulch, weed, water, trim, mow and maintain and replant as necessary all of the required landscaping (including the 91st Avenue and 74th Street public street trees, the private plantings on the site; the street terrace areas within the adjacent rights-of-way; and to identify and to protect the healthy trees/bushes and to remove the dead or decayed trees/bushes within the Woodland Preservation, Protection, Access and Maintenance Easement on the east side of the site) all located adjacent to and within the Development pursuant to the Village-

approved Landscaping Plan and as referenced in the conditionally approved Educators Credit Union Planned Unit Development (PUD) Ordinance #15-__ **(EXHIBIT C)** and Conditional Use Permit #15-__. **(EXHIBIT D)**.

- e. The obligation and agreement to pay for a fair share apportionment of costs associated with the invoicing of public street lights energy and maintenance costs, which shall be billed by the Village Finance Department to the properties within the Westfield Commercial Street Lighting District; and
 - f. The obligation and agreement to design and install and financially maintain a Digital Security Imaging System (DSIS) in accordance with Section 410-7 of the Village Municipal Code, as amended, for security surveillance for the Development. A detailed DSIS Agreement and Access Easement were executed between the Owner and the Village. The DSIS Access Easement between the Owner and the Village was recorded with the Kenosha County Register of Deeds Office on _____, 2015. Said executed DSIS Agreement, Plans, Specifications and related documents are also on-file with the Village. As set forth in the DSIS, upon inspection and dedication of the DSIS by the owner to the Village, the Village has agreed to own and maintain the DSIS subject to the terms and conditions set forth in the DSIS Agreement; and
 - g. The obligation and agreement to construct and maintain or cause to be maintained in compliance with Village Ordinances, and to the satisfaction of the Village, all of the private building and site improvements with the Development pursuant to the Village conditionally approved Educators Credit Union Site and Operational Plans and Conditional Use Permit Grant #15-__. **(EXHIBIT D)**.
3. The Owner has agreed to dedicate the required the public sidewalks and public street tree improvements to the Village after their installation, completion and Village inspection, and to the satisfaction of the Village. The Owner further understands that although the public sidewalks, public street trees and street terrace areas are being dedicated to the Village, it is the Owner's ongoing obligation to maintain and repair or replace or to cause to be maintained, said sidewalks and street trees and the

grading, placement of topsoil, seeding or sodding and mowing of the street terrace areas. Maintenance of the public sidewalks shall also include the responsibility of snowplowing/shoveling and salting/sanding of the sidewalks adjacent to the Development.

4. The Owner has agreed as a member of the Westfield Heights Commercial Association pursuant to the Westfield Final Subdivision Plat, and to be responsible for their fair share of the costs associated with any stormwater drainage and retention basin construction, installation, repair, alteration, replacement, landscaping, signage, maintenance located on their property and the nearby Outlot 1, which is referred to as a Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance area on the Westfield Plat. The stormwater drainage areas and Outlot 1 retention basin shall be maintained in a functional, neat and nuisance free condition to handle storm water in the Westfield commercial areas. Such maintenance shall include, without limitation and as needed, grading, seeding or sodding, maintaining erosion control methods to protect the drainageways; ditching to reestablish design capacity; removing of trash, debris, leaves and brush; clearing, repairing and replacing inlets, outlets and catch basin structures; mowing; and weeding to prevent nuisance conditions. No driveways, fences, or structures shall be erected within the storm water drainage easement areas which blocks, diverts or re-routes the drainage flow or which might interfere with the Village's rights, unless express written approval is granted by the Village and subject to any such conditions as the Village may impose.
5. The Owner has provided an Irrevocable **Letter of Credit or Cash Payment** equal to the contract amount plus a 15 percent contingency, or a total of \$_____ (_____ and ._/100) to be used by the Village as financial security for the Developer's obligations to complete the public sidewalks, and public street trees, to relocate the street light and for the rrequired inspections for the work. original **Letter of Credit or Cash Payment**, Cost Breakdown and Administrative Cash Payments documents (**EXHIBIT E**) is on file with the Village Clerk. The amount of the **Letter of Credit or Cash Payment** shall be reduced to the extent that that construction of the Public Improvements required under this Agreement are completed, paid for, lien waivers are presented and inspections are

completed to the satisfaction of the Village, provided that the remaining **Letter of Credit or Cash Payment** is sufficient to secure payment for any remaining Public Improvements and provided that no reduction shall occur until approved by the Village Board at a regularly scheduled meeting. The Letter of Credit/Cash payment shall be fully released by the Village upon the expiration of the one (1) year warranty for and the Village's acceptance of all of the public sidewalks, streets trees and street light.

6. The Owner has agreed to pay a property tax based upon a baseline assessed value of the real estate never falling below all of the cumulative costs of the development, including land acquisition, site improvements, financing costs and building construction. In a year the assessed value of the property falls below the baseline value, the property owner agrees to pay the Village a payment determined by multiplying the municipal portion of the net property tax rate by the difference between the current assessed value and the baseline value.
7. This Development Agreement is not intended to benefit or to be enforceable by any person(s) other than the Village and the Owner and their respective successors or successors and assigns of the property as to this Agreement.

IN WITNESS WHEREOF, the Owner and the Village have caused this Development Agreement to be signed and dated as of this _____, 2015.

[Signatures on next pages]

Development Agreement
Westfield Commercial Development
Educators Credit Union Pleasant Prairie Real Estate LLC

OWNER: EDUCATORS CREDIT UNION PLEASANT PRAIRIE REAL ESTATE LLC

Name: James Hooper
Title: Vice President of Facilities

ACKNOWLEDGMENT
STATE OF WISCONSIN)
SS
KENOSHA COUNTY)

This instrument was acknowledged before me in Pleasant Prairie, Wisconsin, on this _____ day of _____, 2015 by **James Hooper, Vice President of Facilities** of Educators Credit Union Pleasant Prairie Real Estate LLC.

Print Name: Jean M. Werbie-Harris
Notary Public, Kenosha County, WI
My Commission Expires: December 12, 2017

Development Agreement
Westfield Commercial Development
Educators Credit Union Pleasant Prairie Real Estate LLC

VILLAGE OF PLEASANT PRAIRIE

By: _____
John P. Steinbrink
Village President

ATTEST:

By: _____
Jane M. Romanowski
Village Clerk

STATE OF WISCONSIN)
)SS
KENOSHA COUNTY)

This Agreement was acknowledged before me this _____, 2015 in Pleasant Prairie, WI by **John P. Steinbrink, Village President, and Jane M. Romanowski, Village Clerk**, of the Village of Pleasant Prairie.

Print Name: Jean M. Werbie-Harris
Notary Public, Kenosha County, WI
My Commission Expires: December 12, 2017

This Development Agreement drafted by:

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

PP1511-001

2015-11-11-development agreement draft

Development Agreement
Westfield Commercial Development
Educators Credit Union Pleasant Prairie Real Estate LLC

EXHIBIT A

LEGAL DESCRIPTION

Lot 21 of the Westfield Heights Subdivision Plat #7540 recorded as Document # 1469350 in part of the Southeast One -Quarter of the Southeast One-Quarter of U. S. Public Land Survey Section 5 in Township 1 North, Range 22 East of the Fourth Principal Meridian lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin. The property contains approximately 1.47 acres of land. Tax Parcel Number 91-4-122-054-0321.

Development Agreement
Westfield Commercial Development
Educators Credit Union Pleasant Prairie Real Estate LLC

EXHIBIT B

EDUCATORS CREDIT UNION

**PLEASANT PRAIRIE REVIEW PLANS - DEVELOPMENT SITE PLANS, ENGINEERING
PLANS AND RELATED DOCUMENTS**

Development Agreement
Westfield Commercial Development
Educators Credit Union Pleasant Prairie Real Estate LLC

EXHIBIT C

**EDUCATORS CREDIT UNION
PLANNED UNIT DEVELOPMENT ORDINANCE #15-__**

Development Agreement
Westfield Commercial Development
Educators Credit Union Pleasant Prairie Real Estate LLC

EXHIBIT D

**EDUCATORS CREDIT UNION
CONDITIONAL USE GRANT #15-__**

Development Agreement
Westfield Commercial Development
Educators Credit Union Pleasant Prairie Real Estate LLC

EXHIBIT E

**IRREVOCABLE LETTER OF CREDIT or CASH PAYMENT, COST BREAKDOWN AND
ADMINISTRATIVE CASH PAYMENTS SPREADSHEET FOR PUBLIC IMPROVEMENTS**



Filed _____ 20__ Published _____ 20__
 Public Hearing _____ 20__ _____ 20__
 Fee Paid _____ 20__ Approved _____ 20__
 Notices Mailed _____ 20__ Denied _____ 20__

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
 ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B2/UHO

_____ District(s) to B2/PUD _____ District(s). The property petitioned

to be rezoned is located at: STH 50 & 91ST AVE _____ and is legally described

as follows: WESTFIELD COMMERCIAL LOTS STH 50, LOT 21, PLEASANT PRAIRIE, WI
 (address)

Tax Parcel Number(s): 91-4-122-054-0321

The proposed use for this property is: FINANCIAL SERVICES BRANCH FOR EDUCATORS CREDIT UNION

Petitioner's interest in the requested rezoning: OWNER/OPERATOR

Compatibility with adjacent land uses: COMMUNITY BUSINESS DISTRICT COMPATIBLE

I (We) are also requesting a Zoning Text Amendment to amend Section CHP 420 APPX C of the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER: PRESIDENT
 Print Name: Eugen Szanck
 Signature: Eugen Szanck
 Address: 1326 Willow Road
Mt. Pleasant WI 53177
 (City) (State) (Zip)
 Phone: 262-884-6626
 Fax: 262-886-1195
 Email: EUGENES@ecu.com
 Date: 9/29/2015

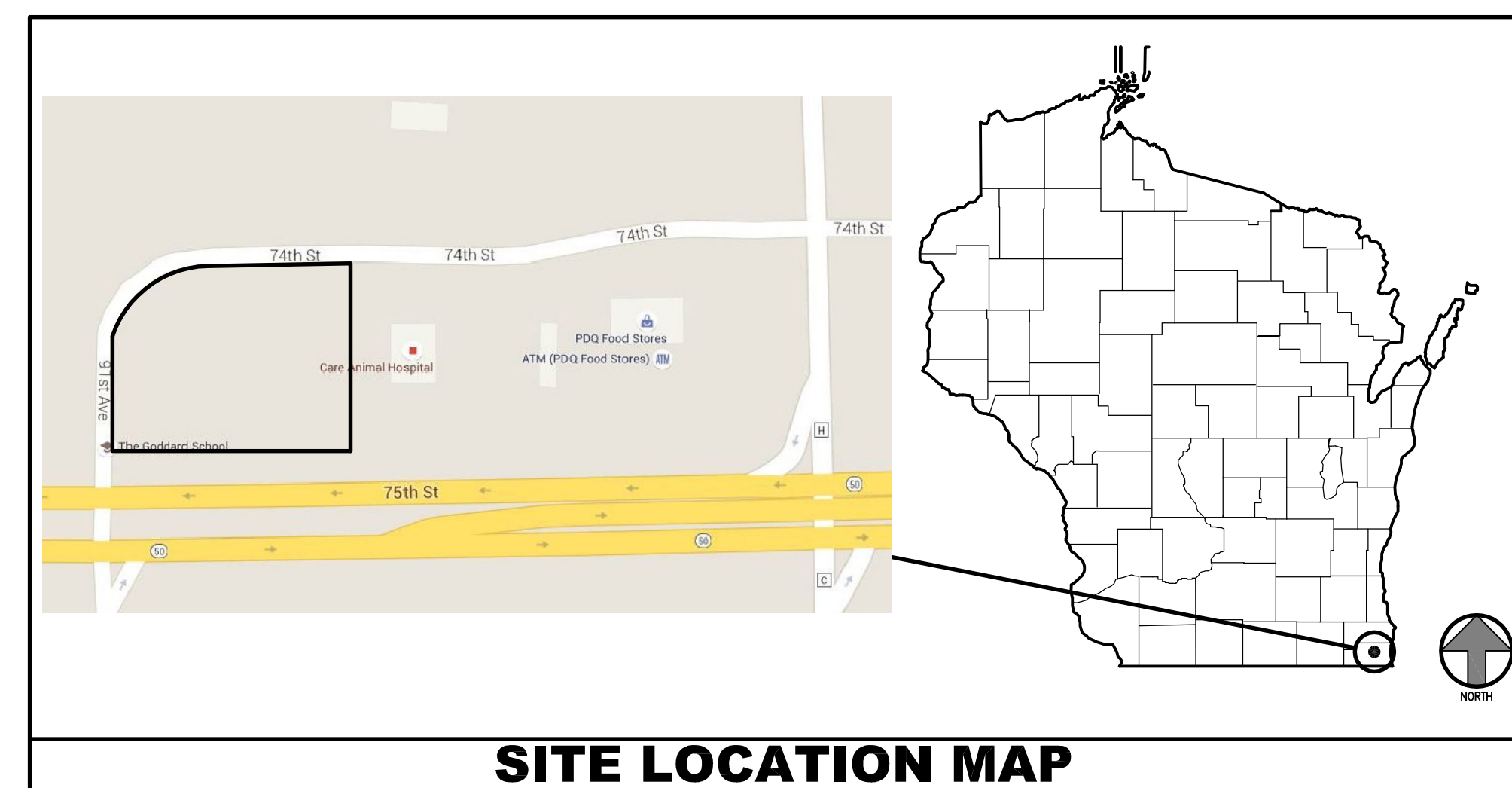
OWNER'S AGENT: V.P. OF FACILITIES
 Print Name: Jim Hooper
 Signature: Jim Hooper
 Address: 1326 Willow Road
Mt. Pleasant WI 53177
 (City) (State) (Zip)
 Phone: 262-884-6661
 Fax: 262-886-7235
 Email: JHooper@ecu.com
 Date: 9/29/2015



Educators CREDIT UNION

LOT 21 WESTFIELD HEIGHTS, PLEASANT PRAIRIE, WISCONSIN

PLEASANT PRAIRIE REVIEW PLAN



SITE LOCATION MAP

MECHANICAL
MARTIN PETERSEN COMPANY, INC.
 9800 55TH STREET
 KENOSHA, WI 53144
 (262) 658-1326
 info@mpcmec.com

ELECTRICAL
KORNACKI & ASSOCIATES, INC.
 5420 S. WESTRIDGE Dr.
 NEW BERLIN, WI 53151
 www.kornacki.com
DAVID J. KRAJNAK, P.E.
 (262) 784-3323
 dkrajnak@kornacki.com

GENERAL CONTRACTOR
 xxx
 xxx

CIVIL / PLUMBING
MILWAUKEE ARCHITECTS & PLANNERS, INC.
 10859 W. BLUEMOUND ROAD
 MILWAUKEE, WI 53226
 www.mke-ap.com
VINCENT D. MILEWSKI, RA
 (414) 476-1212
 vince@mke-ap.com

STRUCTURAL
DAVID E. GROBLEWSKI, P.E., INC.
 808 S. 116TH STREET
 WEST ALLIS, WI 53214
DAVID E. GROBLEWSKI, P.E.
 (414) 807-5185
 degroblewski@aol.com

ARCHITECTURAL
MILWAUKEE ARCHITECTS & PLANNERS, INC.
 10859 W. BLUEMOUND ROAD
 MILWAUKEE, WI 53226
 www.mke-ap.com
VINCENT D. MILEWSKI, RA
 (414) 476-1212
 vince@mke-ap.com

TYPICAL ABBREVIATIONS

ABBREVIATION	MEANING	ABBREVIATION	MEANING	ABBREVIATION	MEANING	ABBREVIATION	MEANING
#	DIAMETER	CONC.	CONCRETE	HSS	HEAVY WALL STUD ANCHOR	P.T.	POINT
AC	ACROUSTICAL	CONSTR.	CONSTRUCTION	O.T.	QUARRY TILE, QUENCHED & TEMPERED	R.F.	ROOF FLASHING
AD	AMERICAN CONG. INSTITUTE	CONT.	CONTINUOUS	R.I.D.	ROOF INSULATING	REF.	REFERENCE
A.D.A.	AMERICANS WITH DISABILITIES ACT	CNT.	CERAMIC TILE	INT.	INTERIOR	REIN.	REINFORCING
A.F.F.	ABOVE FINISHED FLOOR	CYL.	CYLINDER	J.B.E.	JOIST BEARING ELEVATION	REQ'D	REQUIRED
ASC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	DM.	DIMETER	JUST.	JOIST	RTU	ROOFTOP UNIT
ANCH.	ANCHOR	DN.	DOWN	K	KIPS (1k = 1,000 POUNDS)	S.C.	SOLID CORE
ANGL.	ANGLE	DN.	DOWN	KIP/SQ	KIPS PER SQUARE INCH	SCH.	SCHEDULE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	EA	EACH	LAV.	LAVATORY	SCHD.	SCHEDULE
B/W	BETWEEN	E.P.	EACH FACE	LLH	LONG LEG HORIZONTAL	S.F.	SQUARE FOOT (FEET)
B/D	BOTTOM OF	EL.	ELEVATION	LLV	LONG LEG VERTICAL	S.J.	STEEL JOIST INSTITUTE
BLDG.	BUILDING	E.W.	EACH WAY	LWT.	LONG WEIGHT	S.M.	SHEET METAL SPECIFICATION
BRC	BRACING	EQ.	EQUAL	L/W.	LONG WAY	STL.	STEEL
C & C	COMPONENTS & CLADDING	ETC.	ET CETERA (AMONG OTHERS)	M/WFS	MIN WIND FORCE RESISTING	SPEC.	SPECIFICATION
C/A	CENTER TO CENTER	EXP.	EXPOSED	MAS.	MASONRY	S.W.	SHORT WAY
C/L	CENTER LINE	EXT.	EXTENSION	MATL.	MATERIAL	T.V./T.O.	TOP OF
C/LC	CLEAR	F.D.	FLOOR DRAIN	MAX.	MAXIMUM	TH.	THICK
CMU	CONCRETE MASONRY UNIT	F.F.	FLOOR FINISH	MIN.	MINIMUM	THK.	THICKNESS
COL.	COLUMN	F.N.	FOUNDATION	MISC.	MISCELLANEOUS	T.I.	TYPICAL
COM.	COMMERCIAL	F.O.C.	FACE OF CONCRETE	M.O.	MASONRY OPENING	T.O.	TOP OF
CONC.	CONCRETE	F.M.	FACE OF MASONRY	NOM.	NOMINAL	UN.D.	UNLESS NOTED OTHERWISE
CONDUCTOR	CONDUCTOR	GA.	GALVANEING	ON	ON CENTER	V.B.	VERTICAL BARBER
		GL.	GLASS/GLAZING	D.H.	DIAPHRAGM HAND, OVERHEAD	V.C.	VINYL COMPOSITION
		GR.	GRADE	P.C.	PREFRCAST	V.W.C.	VINYL WALL COVERING
		H.C.	HOLLOW CORE	PL.	PLATE	W.	WITH
		HGT.	HEIGHT	P.P.	PRESSURIZED PRESSURE TREATED	W/C	WI ENROLLED COMMERCIAL BUILDING CODE 2002
		H/M.	HOLLOW METAL	PREF.	PREFINISHED	W.P.	WIRE MESH / FABRIC
		HORIZ.	HORIZONTAL	PSF	POUNDS PER SQUARE FOOT	W.P.M./W.F.	WELDED WIRE MESH / FABRIC

PLAN REVIEW INFORMATION

SECTION	REQUIREMENTS	COMPLIANCE																														
BUILDING CODES	ELECTRICAL CODE: 2010 NECB, 2012 BEC MECHANICAL CODE: 2012 BEC PLUMBING CODE: 1999 NEC, WAC CH 16 ACCESSIBILITY CODE: 2010 NECB, WAC CH 82-87 FIRE PREVENTION CODE: 2003 IBC 1013.1 ENERGY CODE: 2012 BEC, 1999 MPA 2012 NECB, 2012 BEC	B-BUSINESS CONSTRUCTION TYPE (NECB 602): CLASS C SPRINKLER TYPE & COVERAGE (NECB 903): FULL MPA-1.1 ROOF CLASSIFICATION (NECB 1005): CLASS C EXTERIOR WALL CONSTRUCTION (NECB 1404): CONCRETE & BRICK MASONRY NORTH: CONCRETE & BRICK MASONRY SOUTH: CONCRETE & BRICK MASONRY WEST: CONCRETE & BRICK MASONRY																														
SITE CRITERIA	GROSS SITE AREA: 64,028 SF FIRE SEPARATION DISTANCE (NECB 702.1): NORTH: 30'+ SOUTH: 30'+ EAST: 30'+ WEST: 30'+	57 OCCUPANTS (14-BSM, 31-FIRST) 36" MIN STAIRWAY WIDTH REQUIRED PER FLOOR MIN. 36" OTHER COMPONENT WIDTH REQUIRED PER FLOOR MIN. 54" NUMBER OF EXITS PROVIDED: 2 EXIT ACCESS TRAVEL DISTANCE (NECB 1014): 300' COMMON PATH OF EGRESS (NECB 1014.1.1): 100'																														
BUILDING CRITERIA	ACTUAL NUMBER OF STORES: 1 #/ BASEMENT ALLOWABLE UNMODIFIED NUMBER OF STORES (NECB 504): 2 BUILDING AREA - FIRST FLOOR AREA: 3,640 SF BASEMENT LEVEL AREA: 3,640 SF ALLOWABLE UNMODIFIED BUILDING AREA PER FLOOR (NECB 504): 9,000 SF BUILDING HEIGHT: 22.50' ALLOWABLE UNMODIFIED BUILDING HEIGHT (NECB 504): 40'																															
OCCUPANCY SEPARATIONS	INDIVIDUAL USE AREAS (NECB 508.2.5): NONE OR FULLY SPRINKLERED WE ARE USING NON-SEPARATED USES (NECB 508.3)																															
FIRE APPARATUS ACCESS	FIRE LINES: YES UNOBSTRUCTED ACCESSIBLE FROM A PUBLIC ROAD: YES EXTENDS TO MAIN USE OF ALL PORTIONS OF THE BUILDING: YES ARE AT LEAST 20" WIDE: YES PROVIDE MIN ROSE TURNING RADIUS OF 20": N/A ARE DEAD ENDED WITH A LENGTH >150": N/A IF YES PROVIDE "T", "Y" OR "OJ" OR "SC-SC" TURN AROUND: N/A																															
INTERIOR FINISHES	WALL & CEILING FINISH (NECB TABLE 603.0): CLASS B FLOOR FINISH (NECB TABLE 603.0): CLASS C DOOR FINISH (NECB TABLE 603.0): CLASS C																															
EXITING	OCCUPANT LOAD (TABLE 1004.1.1): 57 OCCUPANTS EXIT WIDTH (NECB 1005.1): STAIRWAY WIDTH REQUIRED PER FLOOR MIN.: 36" STAIRWAY WIDTH PROVIDED: 36" OTHER COMPONENT WIDTH REQUIRED PER FLOOR MIN.: 54" NUMBER OF EXITS PROVIDED: 2 EXIT ACCESS TRAVEL DISTANCE (NECB 1014): 300' COMMON PATH OF EGRESS (NECB 1014.1.1): 100'																															
FIRE RATINGS	FIRE RATINGS (NECB TABLE 601 & TABLE 602): STRUCTURAL FRAME: 0 HR BEARING WALLS: INTERIOR: 0 HR EXTERIOR: 0 HR NON-BEARING WALLS: INTERIOR: 0 HR EXTERIOR: 0 HR FLOOR CONSTRUCTION: 0 HR ROOF CONSTRUCTION: 0 HR																															
SANITARY FIXTURES	BASED UPON LESS THAN TABULATED OCCUPANT LOAD OCCUPANT LOAD: 50 TOTAL OCCUPANTS OCCUPANTS OF EACH SEX: 25 OCCUPANTS USE(S) OF BUILDING: OFFICES, CONFERENCE																															
FIXTURES	<table border="1"> <thead> <tr> <th>FIXTURES</th> <th>MALE REQ'D</th> <th>MALE PROX</th> <th>FEMALE REQ'D</th> <th>FEMALE PROX</th> </tr> </thead> <tbody> <tr> <td>WATER CLOSETS</td> <td>1</td> <td>1.5**</td> <td>1</td> <td>1.5**</td> </tr> <tr> <td>URINALS</td> <td>0</td> <td>1</td> <td>0</td> <td>0</td> </tr> <tr> <td>LAVATORIES</td> <td>2</td> <td>3</td> <td>2</td> <td>3</td> </tr> <tr> <td>DRAINING FOUNDATIONS</td> <td>1</td> <td>1</td> <td>0</td> <td>0</td> </tr> <tr> <td>OTHER REQ'D FIXTURES</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> </tr> </tbody> </table> * WATER COOLER AND CUPS WILL BE PROVIDED BY OWNER ** UNDER TOILET ROOM PROVIDED ON FIRST FLOOR	FIXTURES	MALE REQ'D	MALE PROX	FEMALE REQ'D	FEMALE PROX	WATER CLOSETS	1	1.5**	1	1.5**	URINALS	0	1	0	0	LAVATORIES	2	3	2	3	DRAINING FOUNDATIONS	1	1	0	0	OTHER REQ'D FIXTURES	1	1	1	1	
FIXTURES	MALE REQ'D	MALE PROX	FEMALE REQ'D	FEMALE PROX																												
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DRAINING FOUNDATIONS	1	1	0	0																												
OTHER REQ'D FIXTURES	1	1	1	1																												

DRAWING INDEX:

TS	TITLE SHEET	S1.0	FOOTING, FOUNDATION & FIRST FLOOR FRAMING PLAN
SD1.0	SITE DEVELOPMENT PLAN	S1.1	ROOF FRAMING PLAN
SD1.1	SITE GRADING PLAN		
SD1.2	SITE EROSION CONTROL PLAN	M1.0	BASEMENT FLOOR PLAN - HVAC
SD1.3	SITE UTILITY PLAN	M1.1	FIRST FLOOR PLAN - HVAC
SD1.4	SITE LANDSCAPING PLAN	M2.0	HVAC SPECIFICATIONS
A1.0	BASEMENT LEVEL FLOOR PLAN	E1.0	ELECTRICAL SITE PLAN
A1.1	FIRST FLOOR PLAN	E1.1	PHOTOMETRIC SITE PLAN
A1.2	ROOF PLAN	E1.2	SITE LIGHTING COMPLIANCE
A2.0	BASEMENT FLOOR REFLECTED CEILING PLAN	E2.0	FLOOR PLANS - LIGHTING
A2.1	FIRST FLOOR REFLECTED CEILING PLAN	EM2.0	FLOOR PLANS - EMERGENCY LIGHTING
A2.2	FIRST FLOOR CEILING DECOR PLAN	E3.0	FLOOR PLANS - POWER / SYSTEMS
A3.0	NORTH & WEST EXTERIOR ELEVATIONS	E4.0	DRIVE UP LIGHTING & POWER
A3.1	SOUTH & EAST EXTERIOR ELEVATIONS	E5.0	LIGHTING & MOTOR SCHEDULES
A4.0	BUILDING SECTION A	E6.0	PANEL SCHEDULES, RISER AND DETAILS
A4.1	BUILDING SECTION B	E7.0	ELECTRICAL SPECIFICATIONS
A4.2	BUILDING SECTION C	E7.1	ELECTRICAL SPECIFICATIONS
A4.3	BUILDING SECTION D	E7.2	ELECTRICAL SPECIFICATIONS
A4.4	BUILDING SECTION E		
A4.5	BUILDING SECTION F		
A4.6	BUILDING SECTION G		
A4.7	BUILDING SECTION H		
A4.8	BUILDING SECTION I		
A4.9	BUILDING SECTION J		
A5.0	INTERIOR ELEVATIONS		
A7.0	SCHEDULES, DETAILS		

REVISIONS NO. DESCRIPTION DATE

CONSULTANTS

M A P

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 MILWAUKEE ARCHITECTS & PLANNERS, INC.
 10859 WEST BLUEMOUND ROAD - SUITE 200 - MILWAUKEE, WI 53226
 (414) 476-1212 · (414) 476-1982 (FAX) · www.mke-ap.com

NEW CREDIT UNION BUILDING FOR:

EDUCATORS CREDIT UNION

LOT 21, WESTFIELD HEIGHTS SUBDIVISION
 PLEASANT PRAIRIE, WISCONSIN

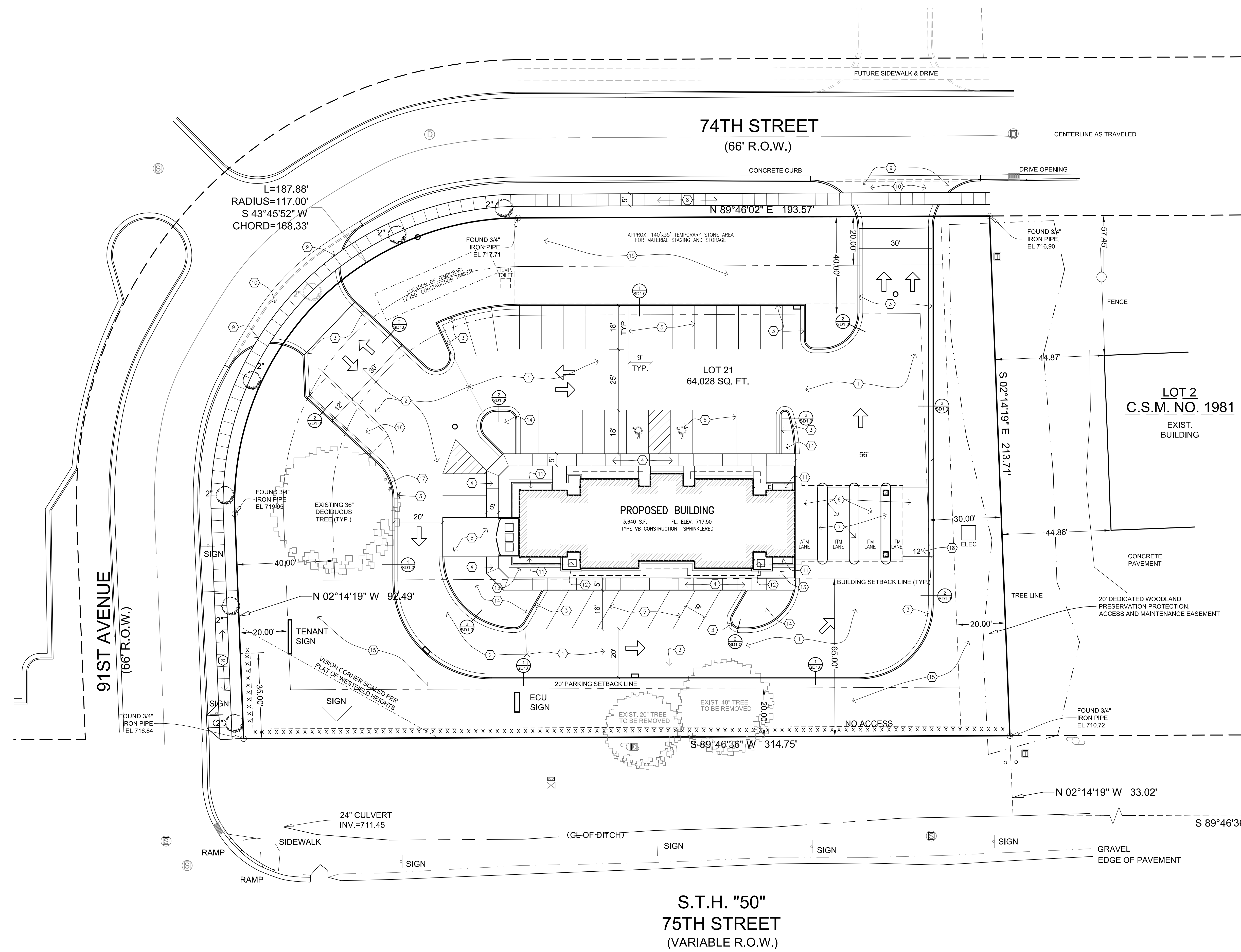
DATE: **9-28-15**

PROJECT: **1501**

SHEET: **TS**

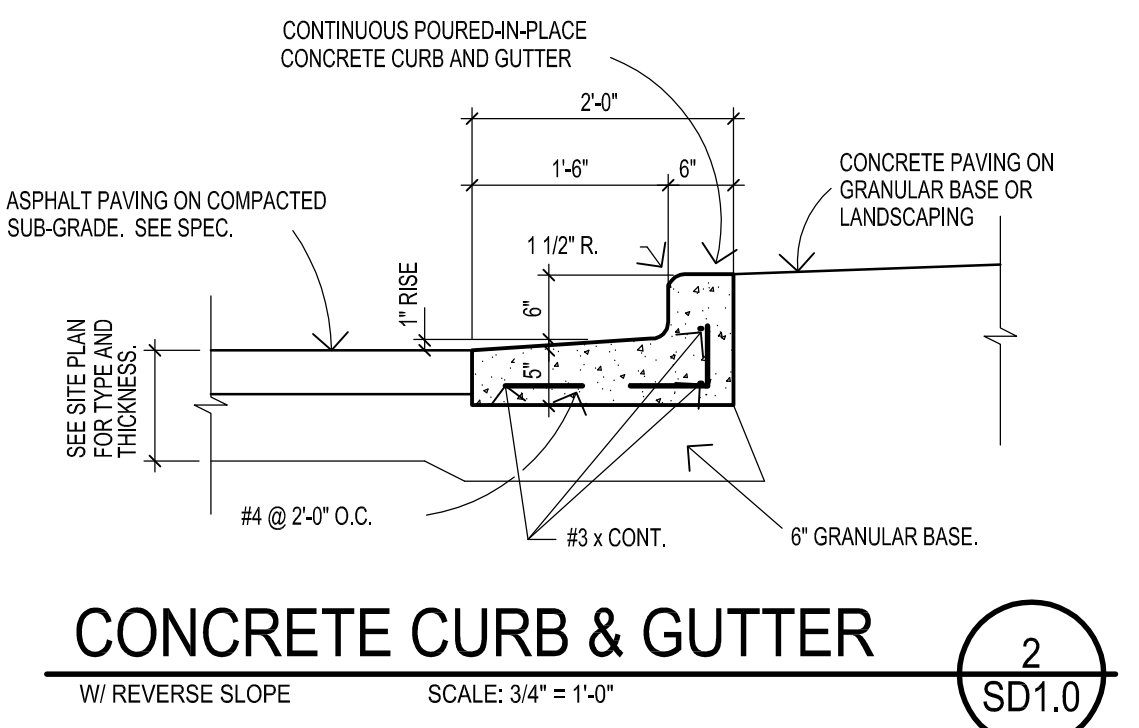
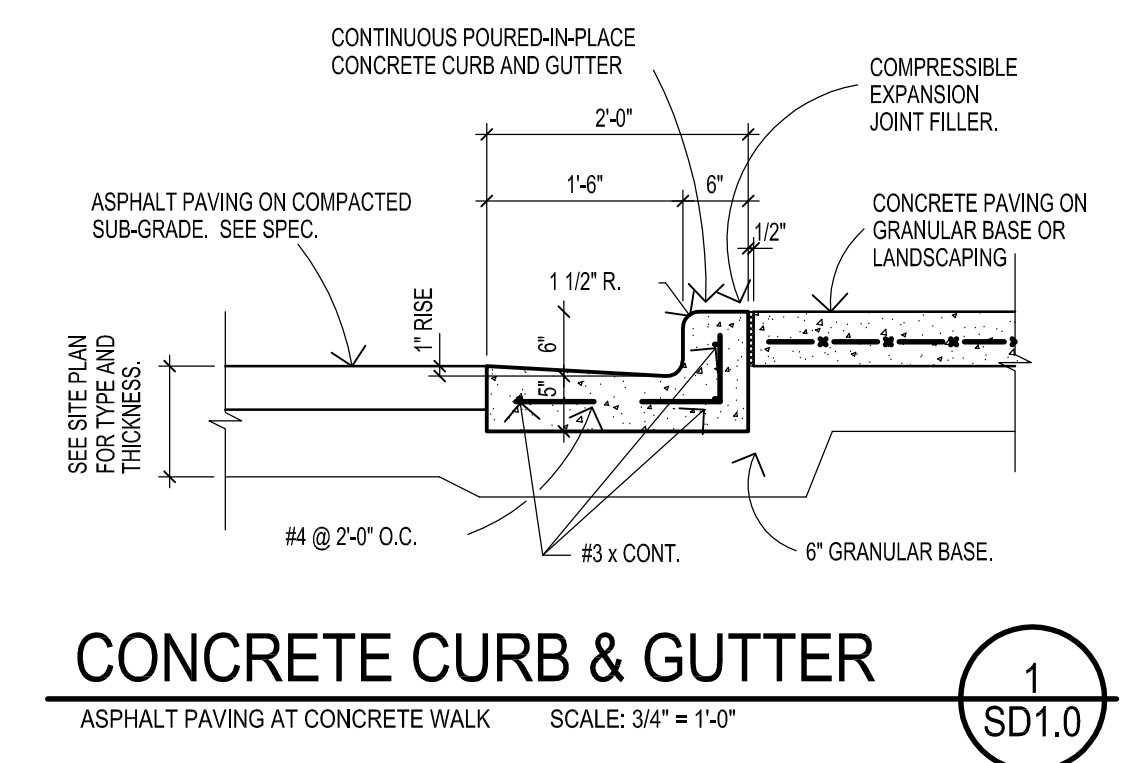
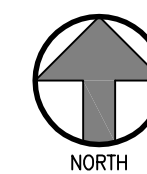
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SITE DEVELOPMENT PLAN

1"=20'-0"



SITE DEVELOPMENT NOTES:

- 1 NEW 3" ASPHALT PAVEMENT OVER 6" COMPACTED STONE BASE
- 2 NEW 4" ASPHALT PAVEMENT OVER 6" COMPACTED STONE BASE
- 3 NEW CAST-IN-PLACE CONCRETE CURB. SEE 1/SD1.0 & 2/SD1.0
- 4 NEW 4" CONCRETE WALK w/ 6x6-W1.4/W1.4 W/M OVER 4" COMPACTED STONE BASE
- 5 4" WIDE PAINTED LINES AND ACCESSIBLE SYMBOL
- 6 6" CONCRETE SLAB w/ 6x6-W2.9/W2.9 W/M OVER 6" COMPACTED STONE BASE
- 7 6" CONCRETE ISLAND w/ 6"x18" TURNED DOWN EDGES
- 8 NEW 5" CONCRETE WALK SEE SHEET SD1.1 FOR DETAIL
- 9 NEW CURB TO MEET VILLAGE OF PLEASANT PRAIRIE STANDARDS
- 10 NEW CONCRETE APPROACH RAMP PER VILLAGE OF PLEASANT PRAIRIE STANDARDS
- 11 LANDSCAPED PLANTER AREA
- 12 MECHANICAL AREA
- 13 SODDED AREA
- 14 LANDSCAPED ISLAND
- 15 LAWN AREA
- 16 DEDICATED 12' WIDE AREA FOR FIRE PUMPER PARKING
- 17 FIRE DEPT. CONNECTION AND HYDRANT
- 18 12' WIDE EMERGENCY BYPASS LANE

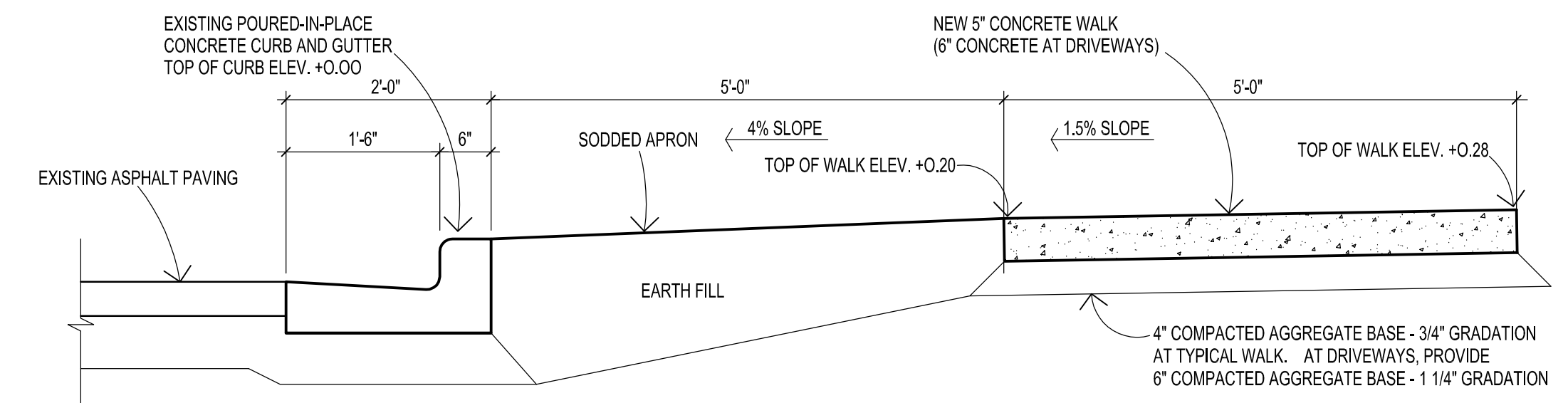
SITE DEVELOPMENT DATA

SITE AREA:	64,028 S.F.	100.00%
BUILDING AREA:	3,640 S.F.	5.69%
PAVEMENT AREA:	30,827 S.F.	48.14%
GREEN SPACE:	29,561 S.F.	46.17%

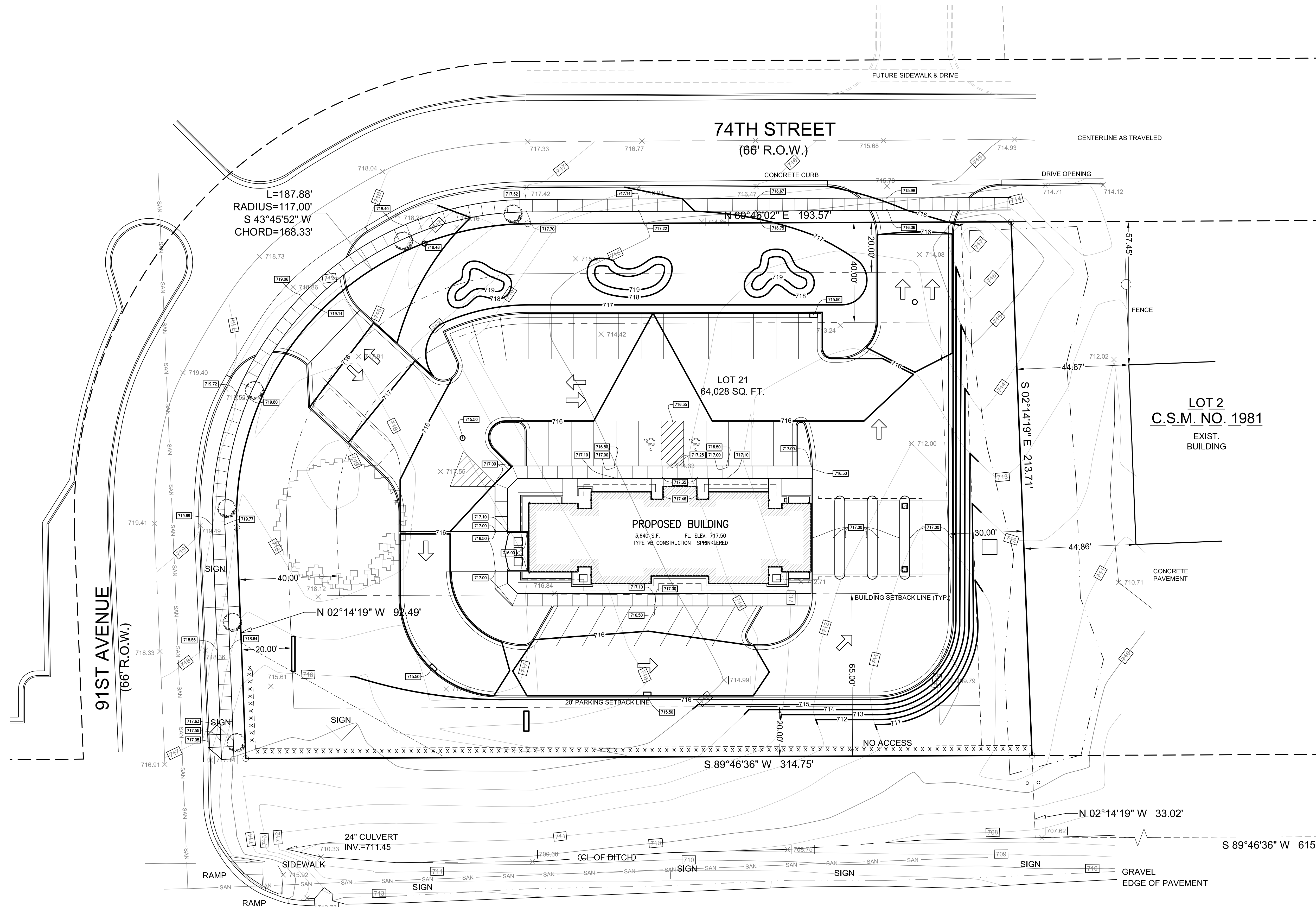
PARKING PROVIDED:	38 SPACES
ACCESSIBLE STALLS PROVIDED:	2 SPACES
OCCUPANCY CLASSIFICATION:	TYPE 'B', BUSINESS
CONSTRUCTION CLASS:	VB

DATE	
REVISIONS	DESCRIPTION
CONSULTANTS	
M&P ARCHITECTURE · ENGINEERING · PLANNING MILWAUKEE ARCHITECTS & PLANNERS, INC. <small>10859 WEST BLUEMOUND ROAD - SUITE 200 - MILWAUKEE, WI 53226 (414) 476-1212 · (414) 476-1862 (FAX) · www.mpe-pp.com</small>	
NEW CREDIT UNION BUILDING FOR: EDUCATORS CREDIT UNION LOT 21, WESTFIELD HEIGHTS SUBDIVISION PLEASANT PRAIRIE, WISCONSIN	
DATE	9-28-15
PROJECT	1501
SHEET	SD1.0

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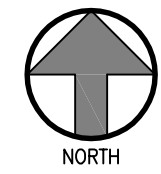


MUNICIPAL SIDEWALK PROFILE 1
NOT TO SCALE SD1.1



S.T.H. "50"
75TH STREET
(VARIABLE R.O.W.)

SITE GRADING PLAN



KEY PLAN

- 710.62x EXISTING SPOT ELEVATION
- 711.38 PROPOSED SPOT ELEVATION
- 710 EXISTING CONTOUR
- 711 PROPOSED CONTOUR

<p>MAP</p> <p>ARCHITECTURE · ENGINEERING · PLANNING MILWAUKEE ARCHITECTS & PLANNERS, INC. 10859 WEST BLUEMOUND ROAD - SUITE 200 - MILWAUKEE, WI 53226 (414) 476-1212 · (414) 476-1862 (FAX) · www.mapep.com</p>	<p>DATE</p> <p>9-28-15</p> <p>PROJECT</p> <p>1501</p> <p>SHEET</p> <p>SD1.1</p>				
<p>NEW CREDIT UNION BUILDING FOR:</p> <p>EDUCATORS CREDIT UNION</p> <p>LOT 21, WESTFIELD HEIGHTS SUBDIVISION PLEASANT PRAIRIE, WISCONSIN</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 90%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table> <p>CONSULTANTS</p>	NO.	DESCRIPTION		
NO.	DESCRIPTION				

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FABRIC FILTER BARRIERS

DESIGN CRITERIA AND REQUIREMENTS

- INSTALLATION** - FILTER FABRIC BARRIERS SHALL BE INSTALLED:
 - PROOF TO DISTURBING UPSLOPE AREAS OR
 - WITHIN 24 HOURS OF CONSTRUCTING DITCHES, DIVERSIONS OR OTHER CHANNELS.
- REMOVAL** - FILTER FABRIC BARRIERS SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL DISTURBED UPSLOPE AREAS AND CHANNELS, DITCHES AND DIVERSIONS ARE STABILIZED BY PERMANENT BEST MANAGEMENT PRACTICES.
- HEIGHT** - FILTER FABRIC BARRIERS SHALL BE AT LEAST 18 INCHES AND MAY NOT BE MORE THAN 36 INCHES IN HEIGHT.
- SUPPORT** - THE FULL HEIGHT OF THE FILTER FABRIC BARRIER SHALL BE SUPPORTED BY 4 FOOT LONG, 4 INCH DIAMETER PINE POSTS OR EQUIVALENT AND A WIRE FENCE FULL HEIGHT. THE POSTS SHALL BE DRIVEN AT LEAST 12 INCHES INTO THE GROUND. THE MAXIMUM SPACING OF THE POSTS SHALL BE 10 FEET. THE WIRE FENCE SHALL BE A MINIMUM OF 14 GAUGE WITH A MINIMUM MESH SPACING OF 6 INCHES. IF WIRE FENCE REINFORCING IS TO BE OMITTED THEN 2"x2" POSTS AT A MAXIMUM SPACING OF 3 FEET MAY BE USED. SEE DETAIL 1/SD1.2.
- ATTACHING** - THE FILTER FABRIC AND WIRE MESH SHALL BE STAPLED OR WIRDED TO THE UPSLOPE SIDE OF THE WIRE MESH WITH HEAVY DUTY STAPLES AT LEAST 1 INCH LONG, WIRE TIES OR HOOD RINGS.
- ENTRENCHING** - THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING 8 INCHES OF THE FABRIC IN A 4"x4" TRENCH ON THE UPSLOPE SIDE OF THE BARRIER AS SHOWN IN DETAIL 1/SD1.4. THE WIRE MESH SHALL EXTEND AT LEAST 2 INCHES INTO THE TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
- FABRIC SPECIFICATIONS** - THE FILTER FABRIC SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - GRAB STRENGTH - 100 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682).
 - MULLEN BURST: MINIMUM 200 PSI (ASTM D-3786).
 - EQUIVALENT OPENING SIZE:
 - BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A No. 200 SIEVE.
 - BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A No. 200 SIEVE.
 - WATER FLOW RATE OF 10 GAL/MIN/50 FT. AT 50MM CONSTANT HEAD AS DETERMINED BY MULTIPLYING PERMITTIVITY IN SEC-1 AS DETERMINED BY ASTM D-4491 BY A CONVERSION FACTOR OF 74.
 - ULTRA VIOLET RADIATION STABILITY OF 90%.
 - FABRIC WITH SUPPORT NETTING SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A 3/4 INCH SPACING OR EQUIVALENT. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.

MAINTENANCE

- FABRIC FILTER BARRIERS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH 0.5 TIMES THE HEIGHT OF THE BARRIER.

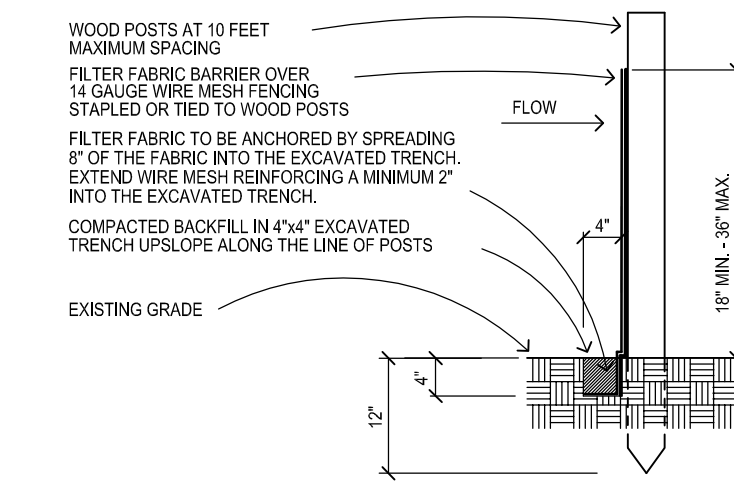
INLET INSERT BASKETS

DESIGN CRITERIA AND REQUIREMENTS

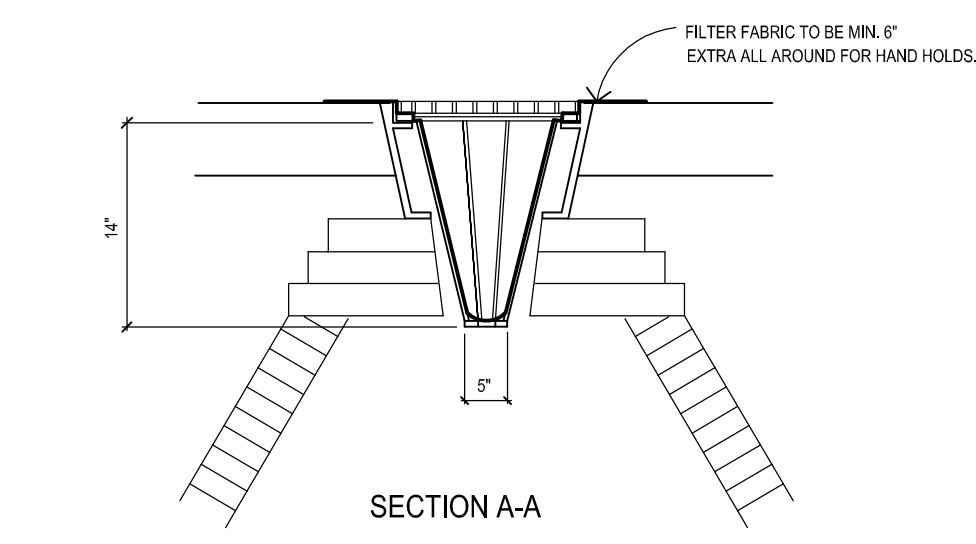
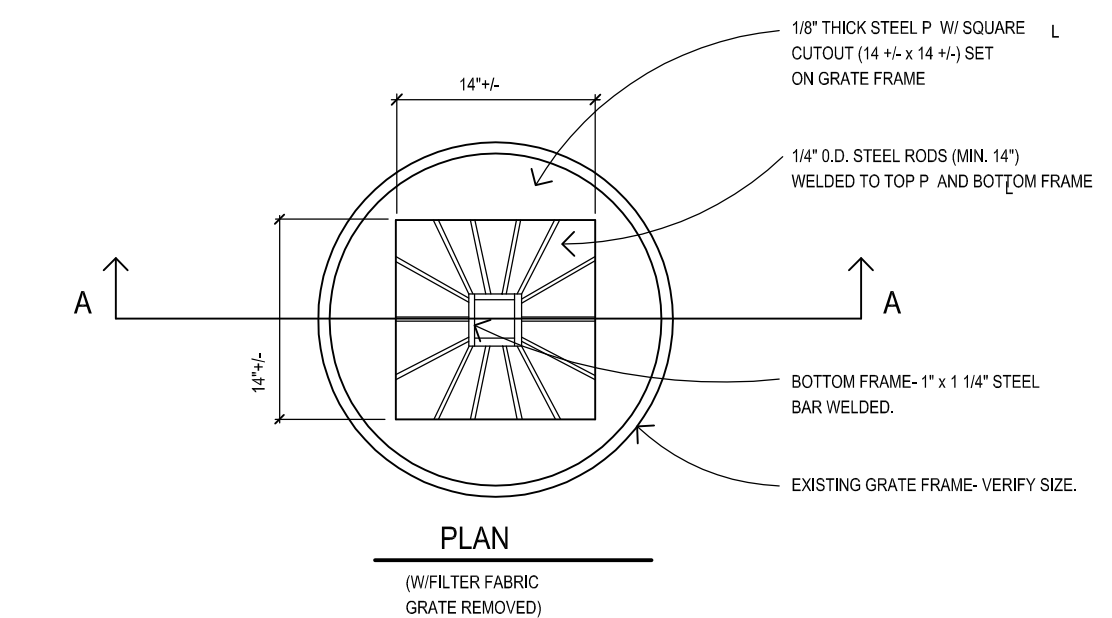
- INSTALLATION** - THE INLET INSERT BASKET SHALL BE INSTALLED BEFORE THE SITE IS DISTURBED.
- REMOVAL** - THE INLET INSERT BASKET SHALL REMAIN IN-PLACE AND BE MAINTAINED UNTIL THE DISTURBED AREA IS STABILIZED BY PERMANENT BEST MANAGEMENT PRACTICES.
- PLACEMENT** - THE INLET INSERT BASKET SHALL FIT INTO THE INLET WITHOUT GAPS AROUND THE INSERT AS ILLUSTRATED IN DETAIL 2/SD1.2.
- BASKET DESIGN** - THE SUPPORT FOR THE INLET INSERT BASKET SHALL CONSIST OF FABRICATED METAL AS ILLUSTRATED IN DETAIL 3/SD1.2. THE BASKET SHALL BE APPROXIMATELY 14 INCHES IN DEPTH. ONE-EIGHTH INCH THICK STEEL PLATE - CUT TO FIT UPPER GRATE FRAME (24" x 7 1/2" DIAMETER) W/1/4" SQUARE CUTOUT. SEE DETAIL 2/SD1.2.
- FABRIC PLACEMENT** - THE FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND EXTEND AT LEAST 6 INCHES PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME, SERVING AS A FABRIC ANCHOR.
- FABRIC SPECIFICATIONS** - THE FILTER FABRIC SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)
 - MULLEN BURST: MINIMUM 60 PSI (ASTM D-3786)
 - THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE.
 - WATER FLOW RATE OF APPROXIMATELY 120 GAL/MIN/77-2 AT SOME CONSTANT HEAD AS DETERMINED BY MULTIPLYING PERMITTIVITY IN SEC-1 AS DETERMINED BY ASTM D-4491 BY A CONVERSION FACTOR OF 74.
 - ULTRA VIOLET RADIATION STABILITY OF 90%

MAINTENANCE

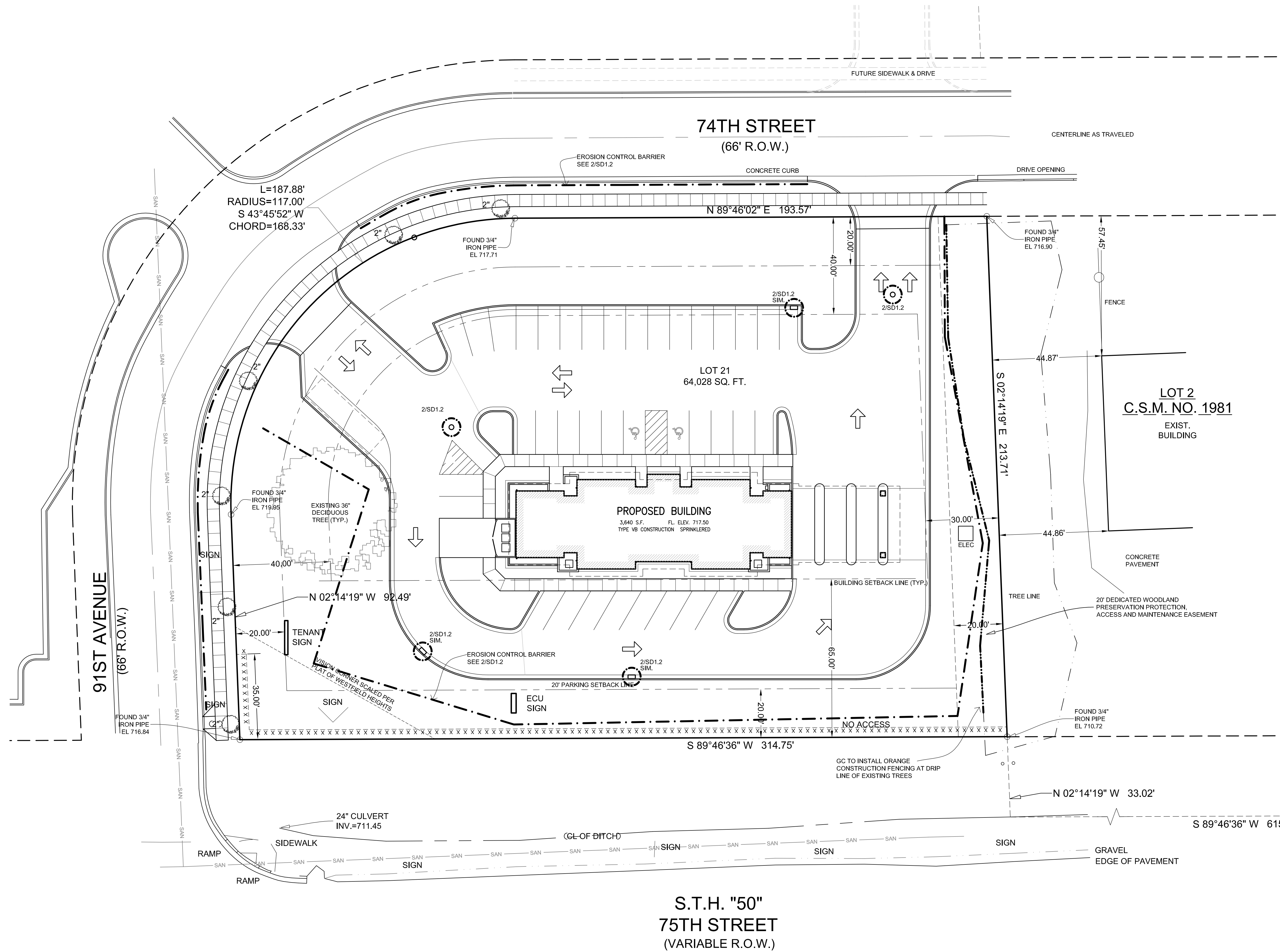
- INLET INSERT BASKETS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT BOTH ON-SITE AND IN THE ADJACENT PUBLIC WAY DOWNSTREAM FROM THIS CONSTRUCTION SITE.



1 REINFORCED FILTER BARRIER
SCALE: 3/4" = 1'-0"

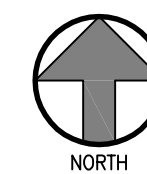


2 INLET BASKET DETAIL
NO SCALE



SITE EROSION CONTROL PLAN

S.T.H. "50"
75TH STREET
(VARIABLE R.O.W.)



DATE

REVISIONS
NO. DESCRIPTION

CONSULTANTS

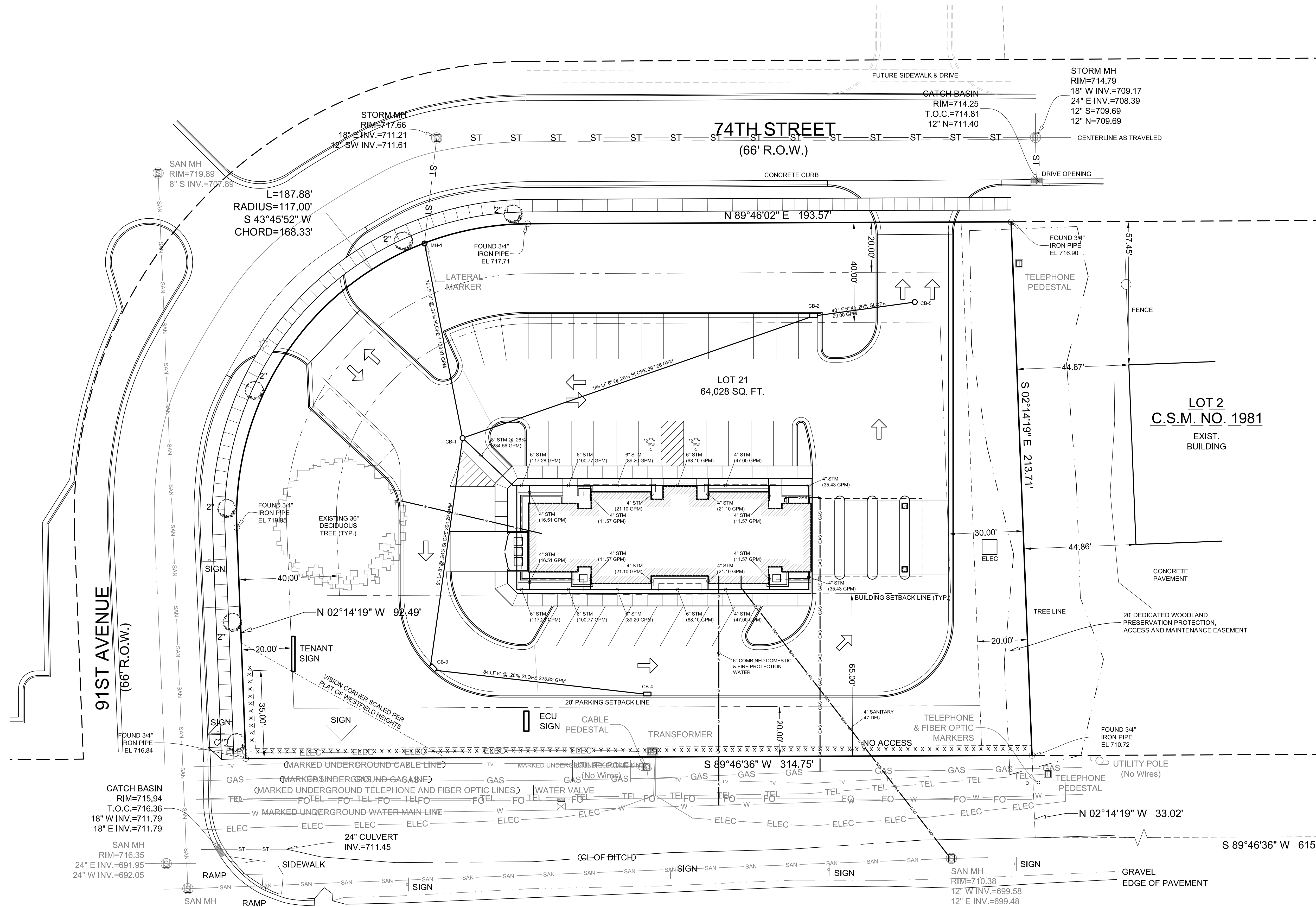
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(414) 476-1212 · (414) 476-1862 (FAX) · www.mapep.com

NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION

**LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN**

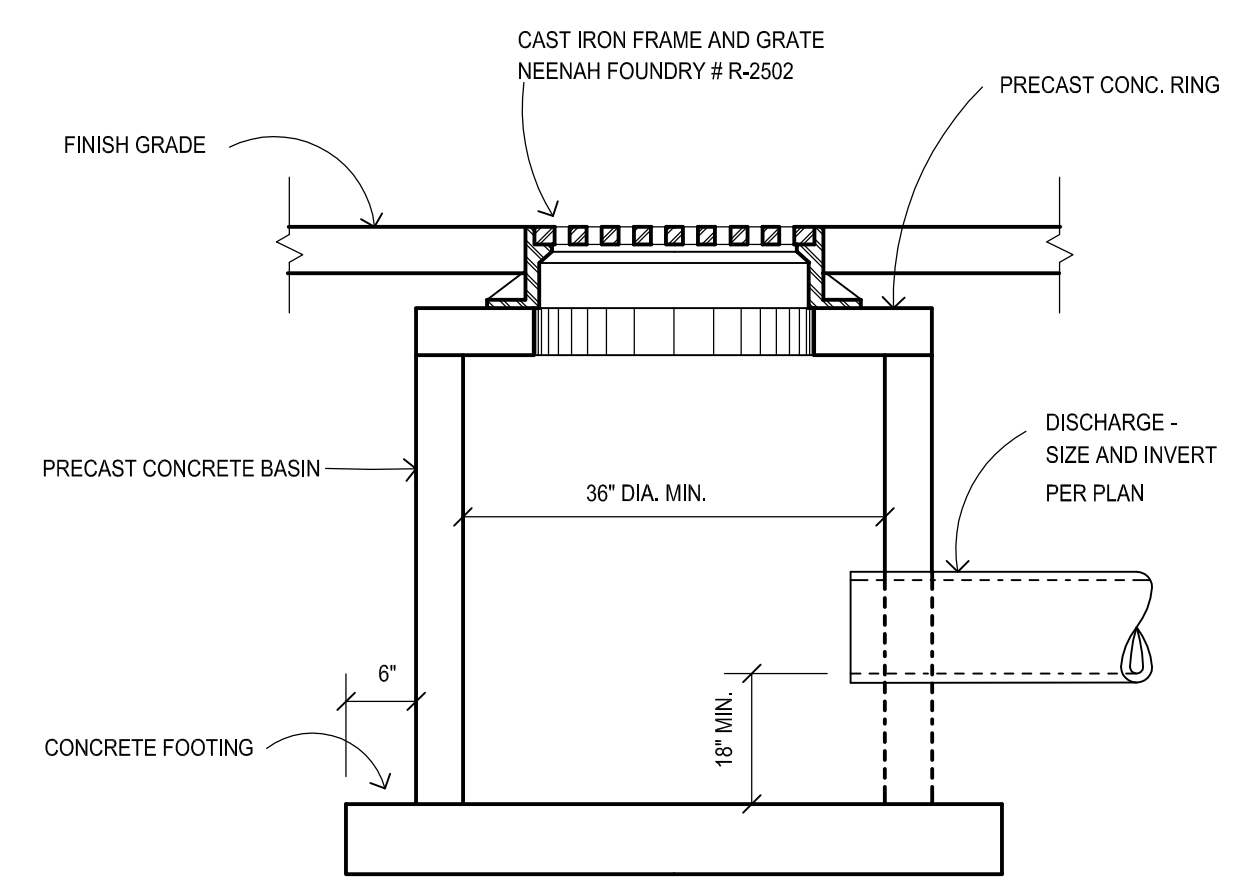
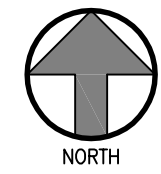
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PROJECT	1501
SHEET	SD1.2

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S.T.H. "50"
75TH STREET
(VARIABLE R.O.W.)

SITE UTILITY PLAN
1"=20' 0"



CATCH BASIN DETAIL
NO SCALE
1 SD1.3

CATCH BASIN & MANHOLE SCHEDULE

CB-1	RIM ELEV 715.50 14" NW INV 712.20 8" NE INV 712.40 6" SW INV 712.40 6" SE INV 712.40	289.32 GPM PVMT / 2.94 GPM LAWN
CB-2	RIM ELEV 715.50 8" SW INV 712.78 6" NE INV 712.98	236.03 GPM PVMT / 1.83 GPM LAWN
CB-3	RIM ELEV 715.50 8" NE INV 712.84 8" SW INV 712.84	74.40 GPM PVMT / 6.07 GPM LAWN
CB-4	RIM ELEV 715.50 8" NW INV 713.06	217.88 GPM PVMT / 5.94 GPM LAWN
CB-5	RIM ELEV 715.50 6" SW INV 713.08	60.00 GPM PVMT
MH-1	RIM ELEV 717.00 14" SE INV 712.00 - ESTIMATED - FIELD VERIFY LATERAL INVERT	

EDUCATORS CREDIT UNION
 LOT 21, WESTFIELD HEIGHTS SUBDIVISION
 PLEASANT PRAIRIE, WISCONSIN

MAP
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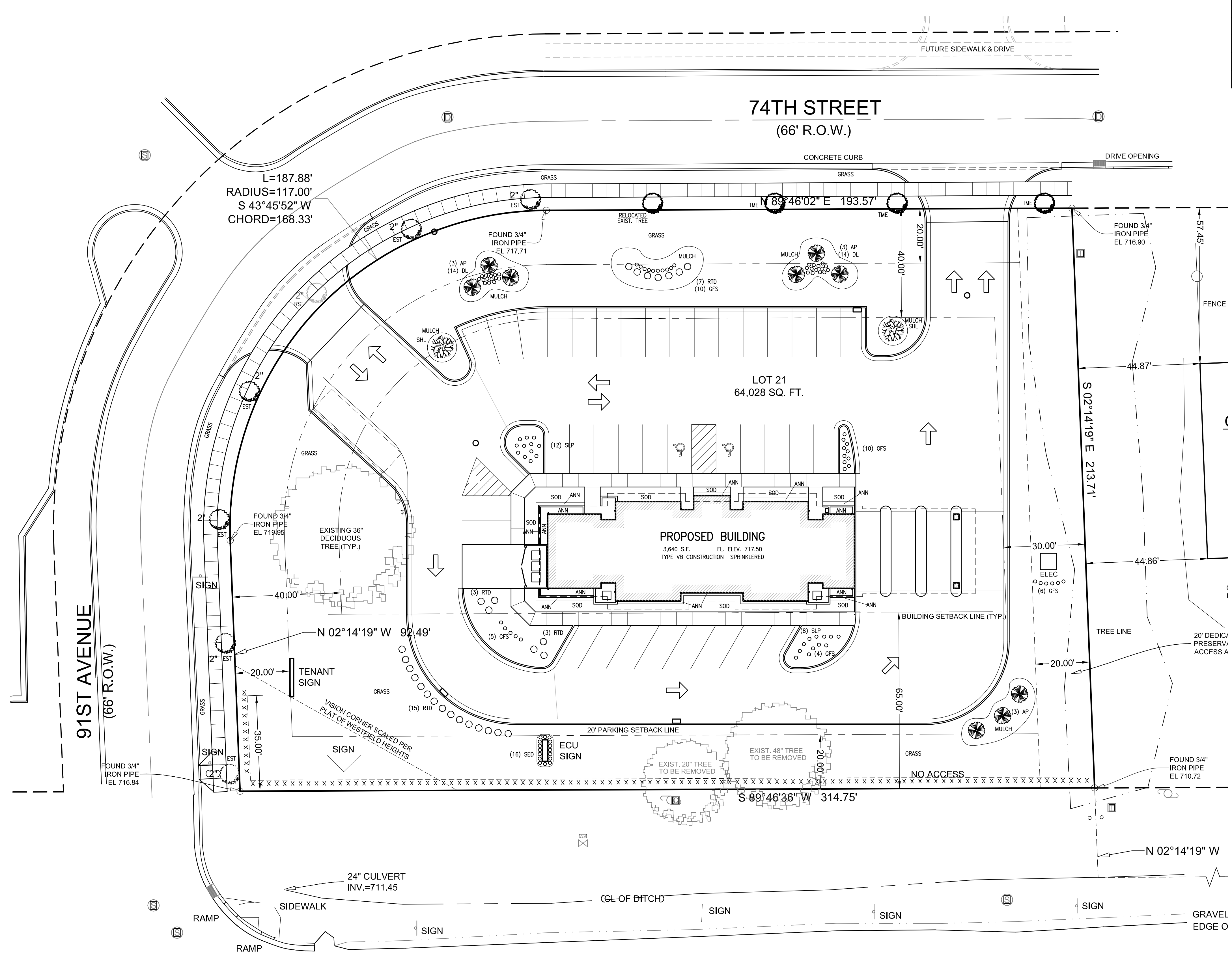
REVISIONS
 NO. DESCRIPTION
 DATE

CONSULTANTS

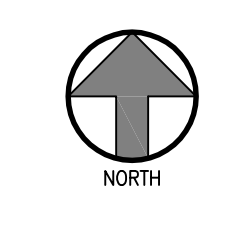
NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION
 LOT 21, WESTFIELD HEIGHTS SUBDIVISION
 PLEASANT PRAIRIE, WISCONSIN

DATE
9-28-15
 PROJECT
1501
 SHEET
SD1.3

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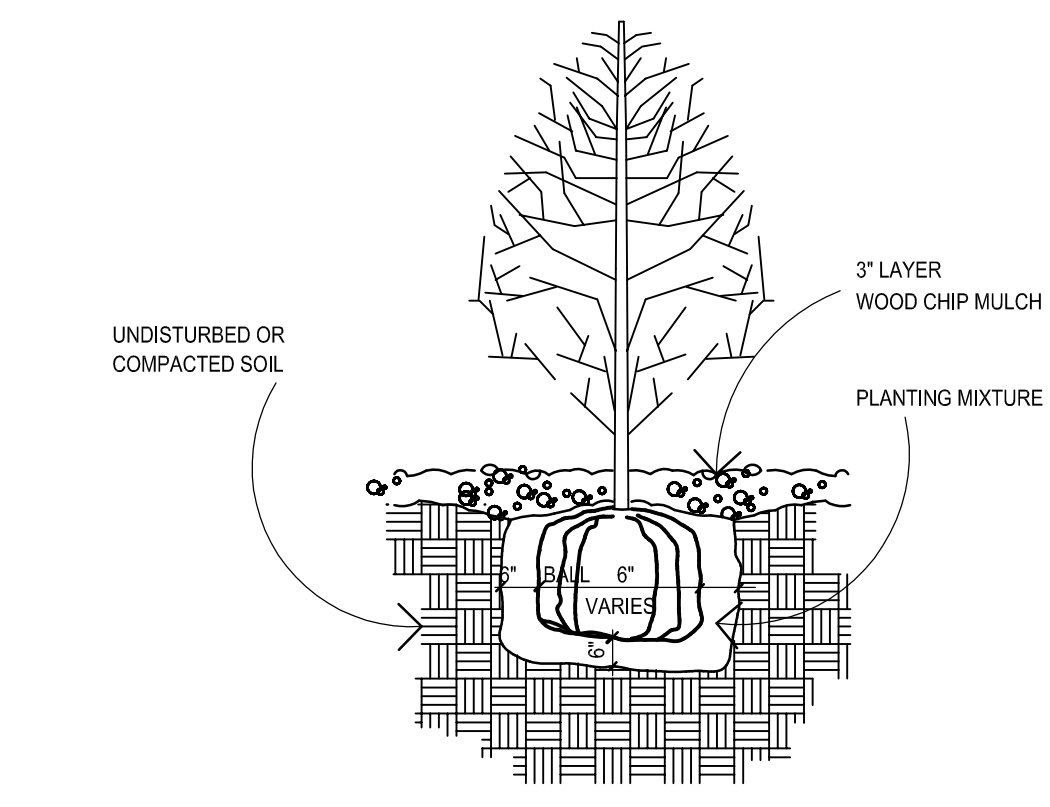


SITE LANDSCAPING PLAN
1"=20' 0"



PLANT MATERIAL SCHEDULE

MK	SPACING	PLANT NAME	SIZE	ROOT TYPE	MULCH
ANN	VARIABLES	FLOWERING ANNUALS	FLAT	-	-
AP	-	AUSTRIAN PINE	8'	B.B.	3" SHREDDED BARK
DL	-	DAYLILLIES	-	CONTAINER	-
EST	40' - 50'	EXISTING STREET TREE TO REMAIN	2"	-	3" SHREDDED BARK
GFS	-	GOLD FLAME SPIREA	24"	CONTAINER	-
RST	-	EXISTING STREET TREE TO BE RELOCATED	2"	B.B.	-
RTD	-	RED TWIG DOGWOOD	36"	B.B.	-
SED	-	SEDUM	-	CONTAINER	-
SHL	-	SKYLINE HONEY LOCUST	2 1/2" - 3"	B.B.	-
SLP	-	SPIREA LITTLE PRINCESS	24"	CONTAINER	-
SOD	-	SOD	-	-	-
TME	-	STREET TREE TO MATCH EXISTING	2"	B.B.	MATCH EXISTING



SHRUB / TREE PLANTING
NO SCALE

LANDSCAPING NOTES:

- ALL PLANTING AREAS SHALL HAVE 12" TOPSOIL, "TERRIT" WEED CLOTH WITH LAPPED JOINTS, AND 3" LAYER OF SHREDDED CEDAR MULCH.
- PROVIDE 2" TOPSOIL AT ALL SODDED AREAS.
- ALL PLANTS AT OVERHANGS ARE TO BE PLANTED AT OR BEYOND THE DRIP LINE.
- SOIL MIXTURE FOR ALL PLANTING AREAS TO INCLUDE:
 - PEAT MOSS
 - GYPSUM
 - COMPOST
 - FERTILIZER
- PROVIDE FERTILIZER AS FOLLOWS:
 - (1) PACKET FOR SHRUBS UNDER 36"
 - (2) PACKETS FOR SHRUBS OVER 36"
 - (2) PACKETS FOR ALL EVERGREENS
 - (8) PACKETS FOR ALL TREES

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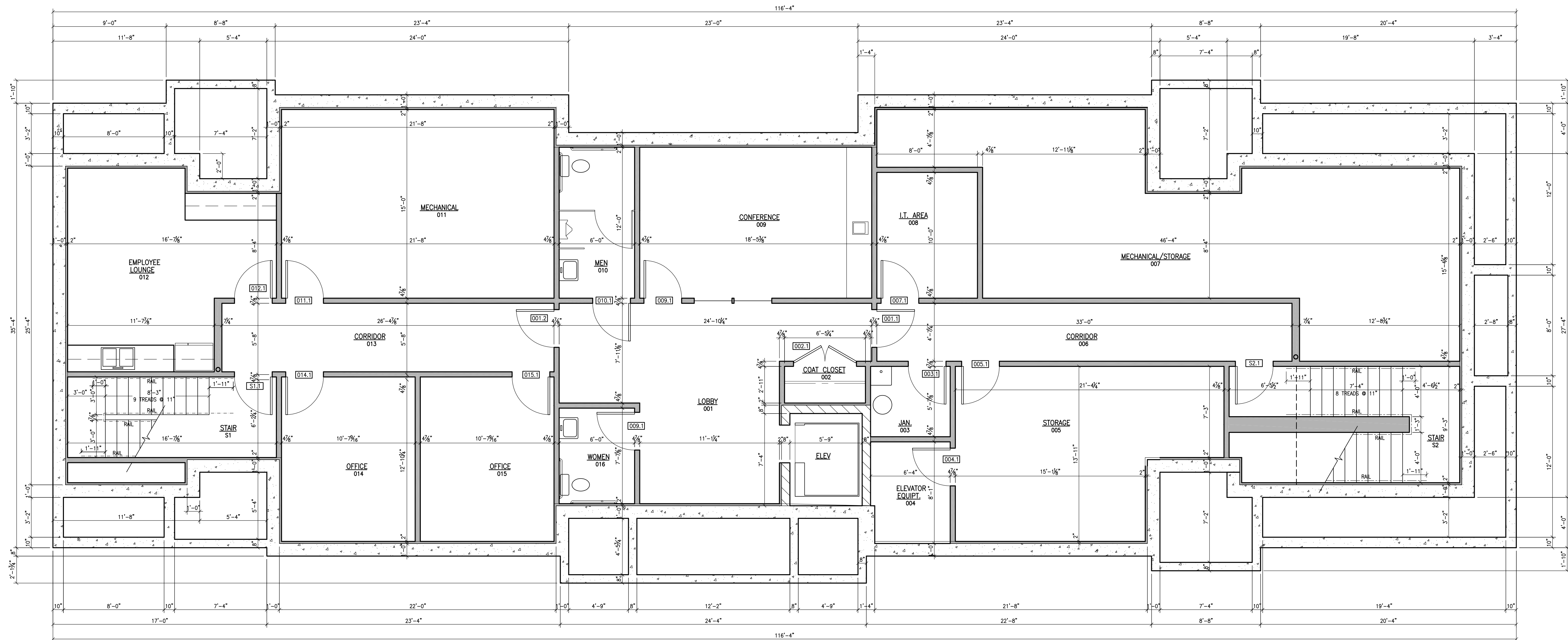
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 PLEASANT PRAIRIE, WISCONSIN

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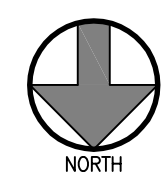
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BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



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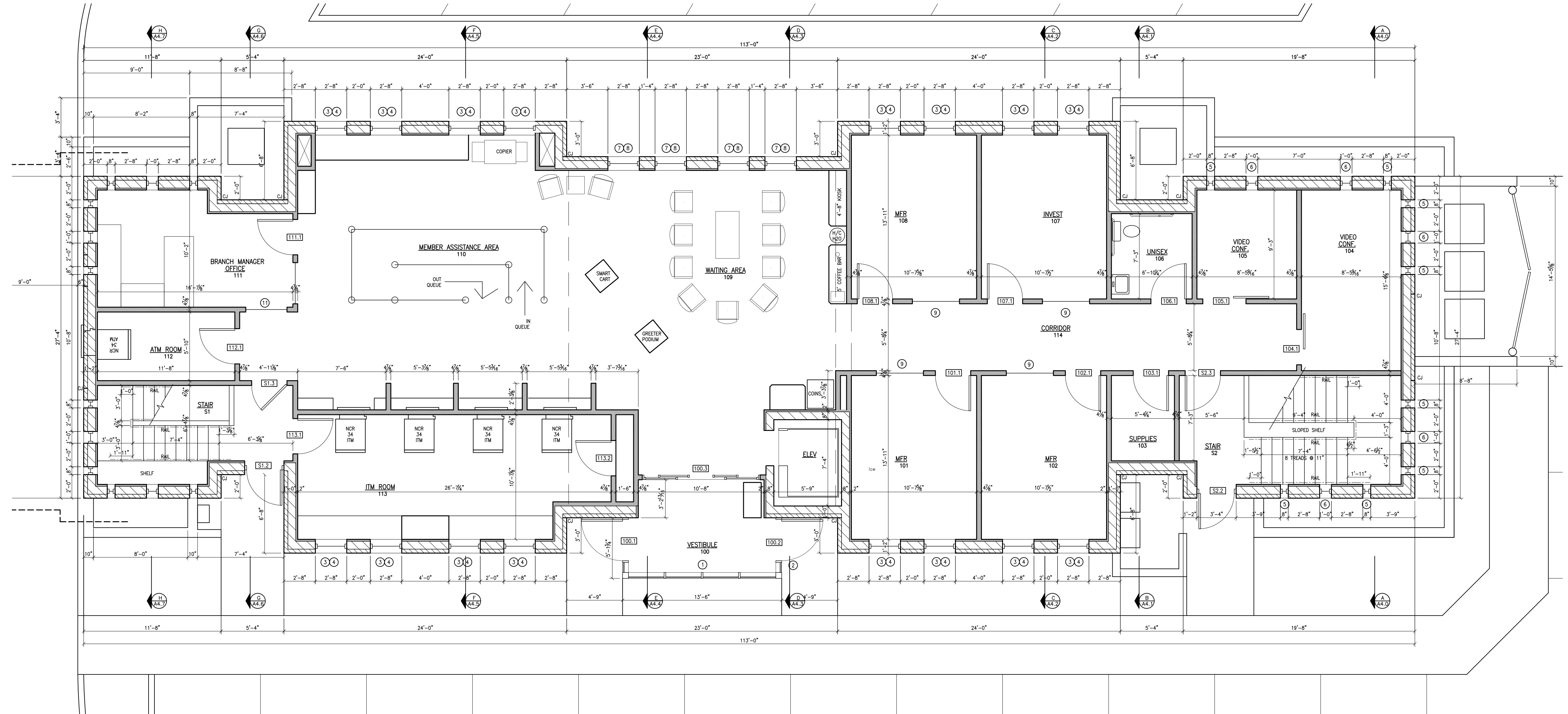
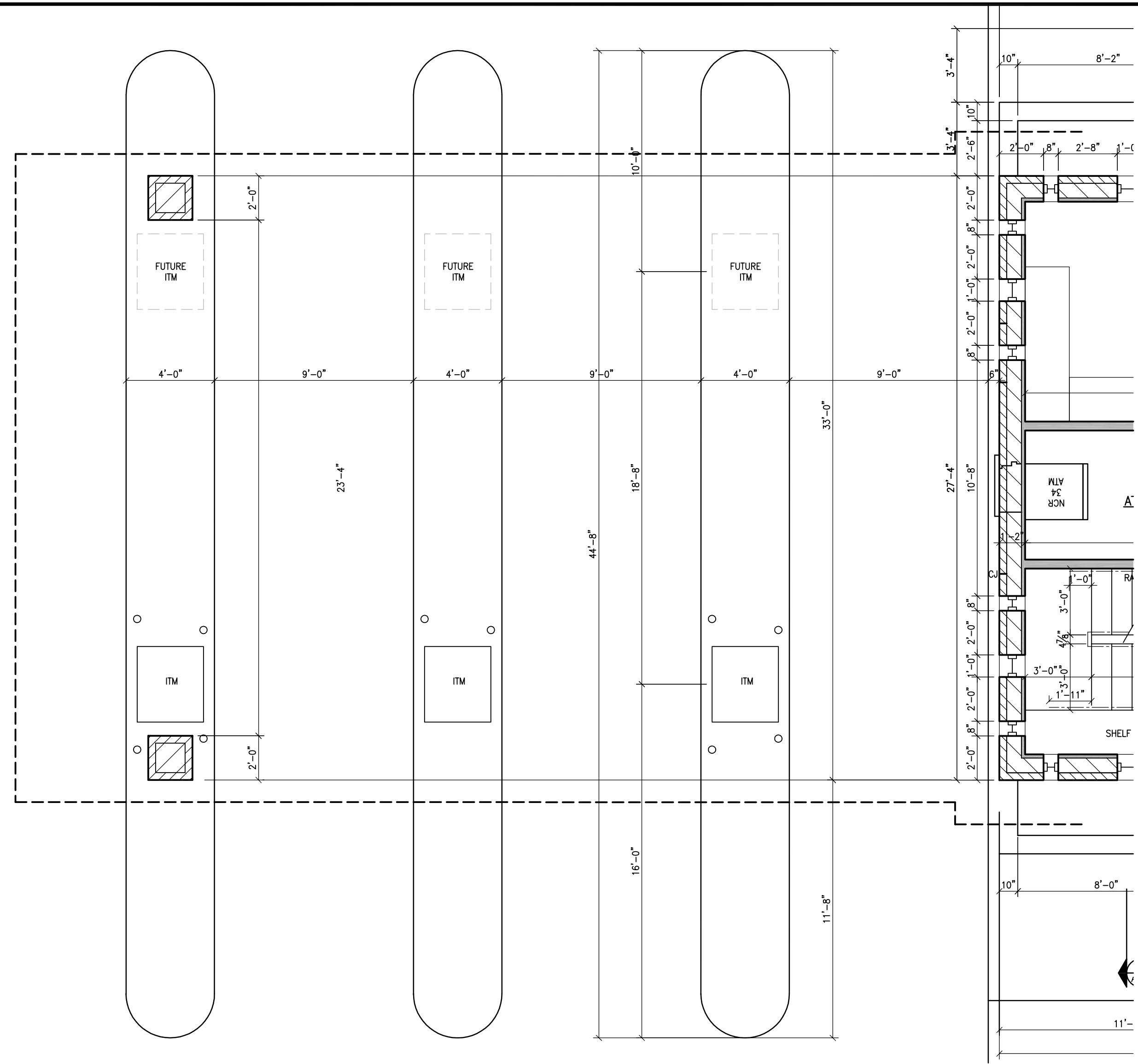
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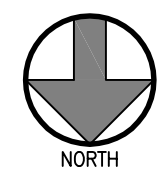
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FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION

LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
9-28-15
PROJECT
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A1.1

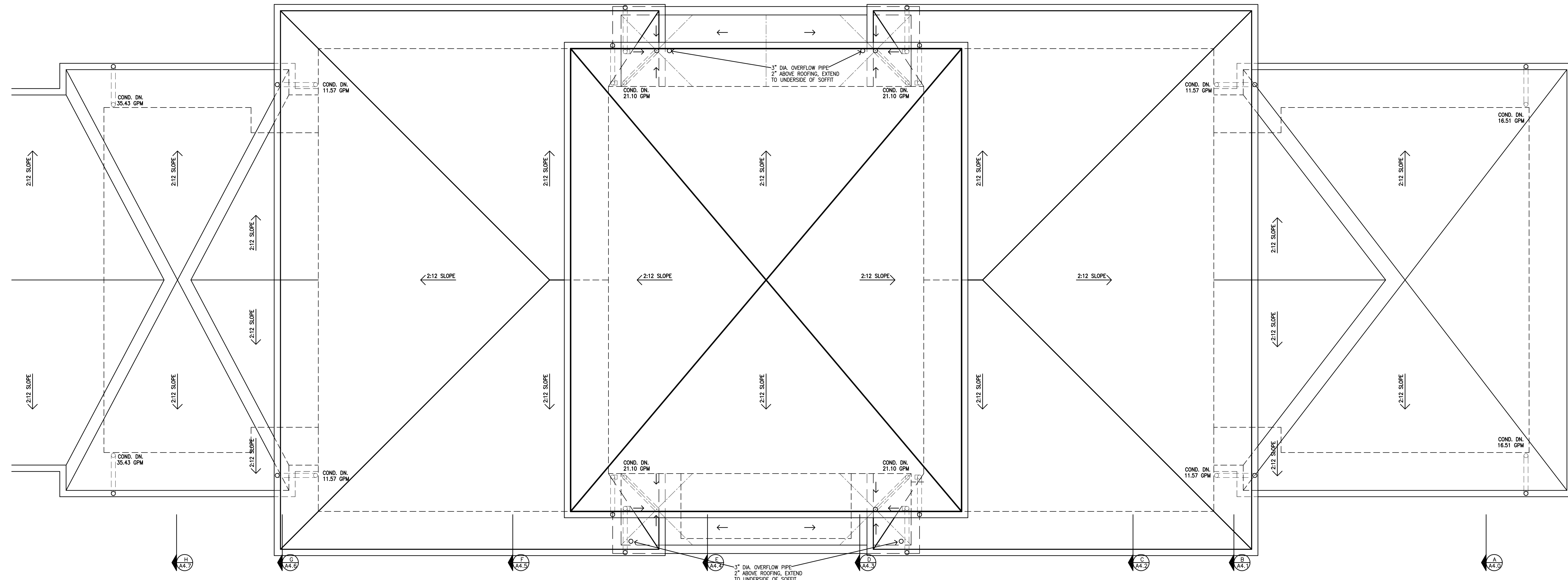
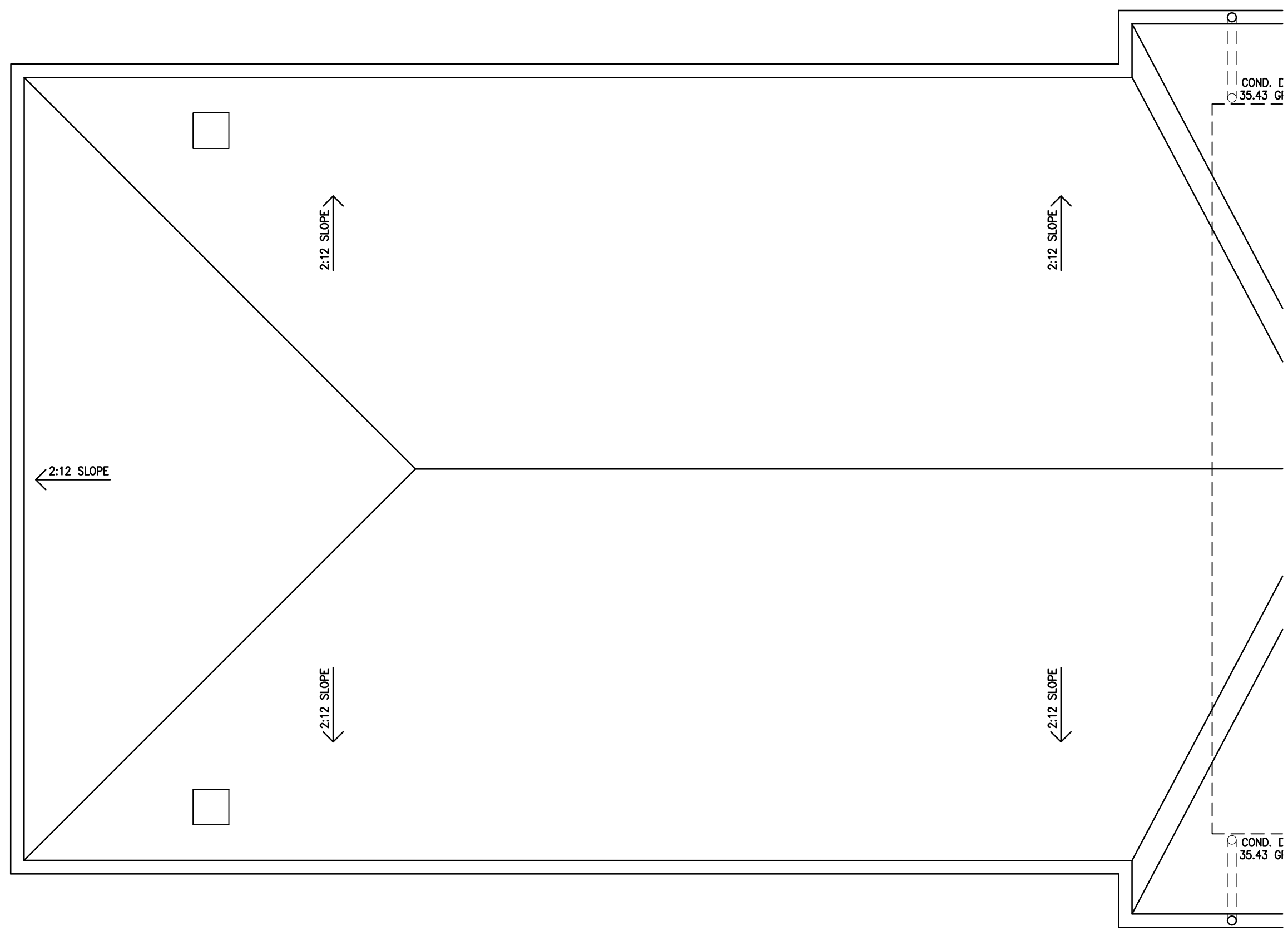
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ROOF PLAN
SCALE: 1/4"=1'-0"

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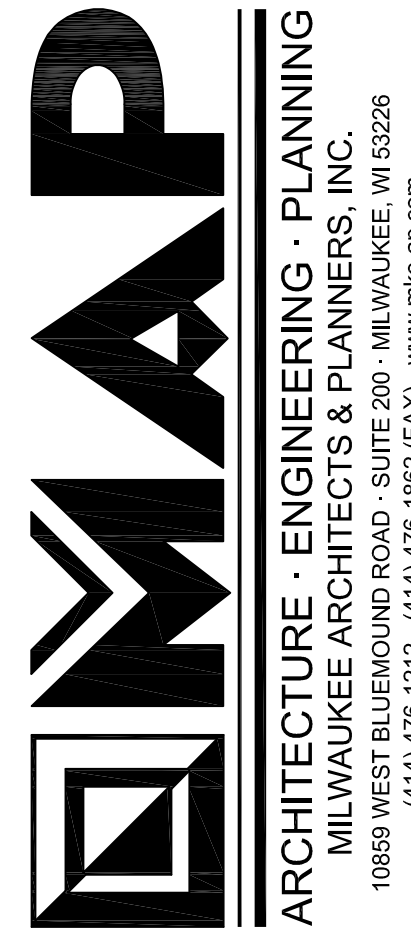
**LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN**

DATE
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PROJECT
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A1.2

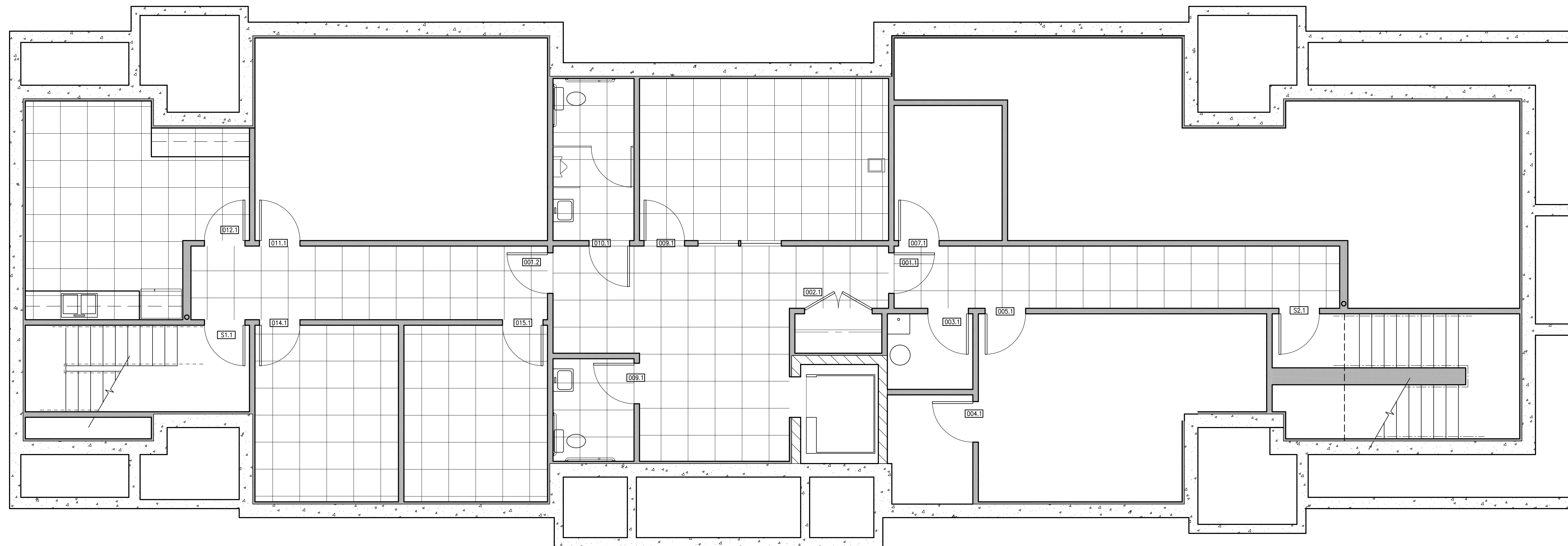
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BASEMENT FLOOR REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"

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A2.0

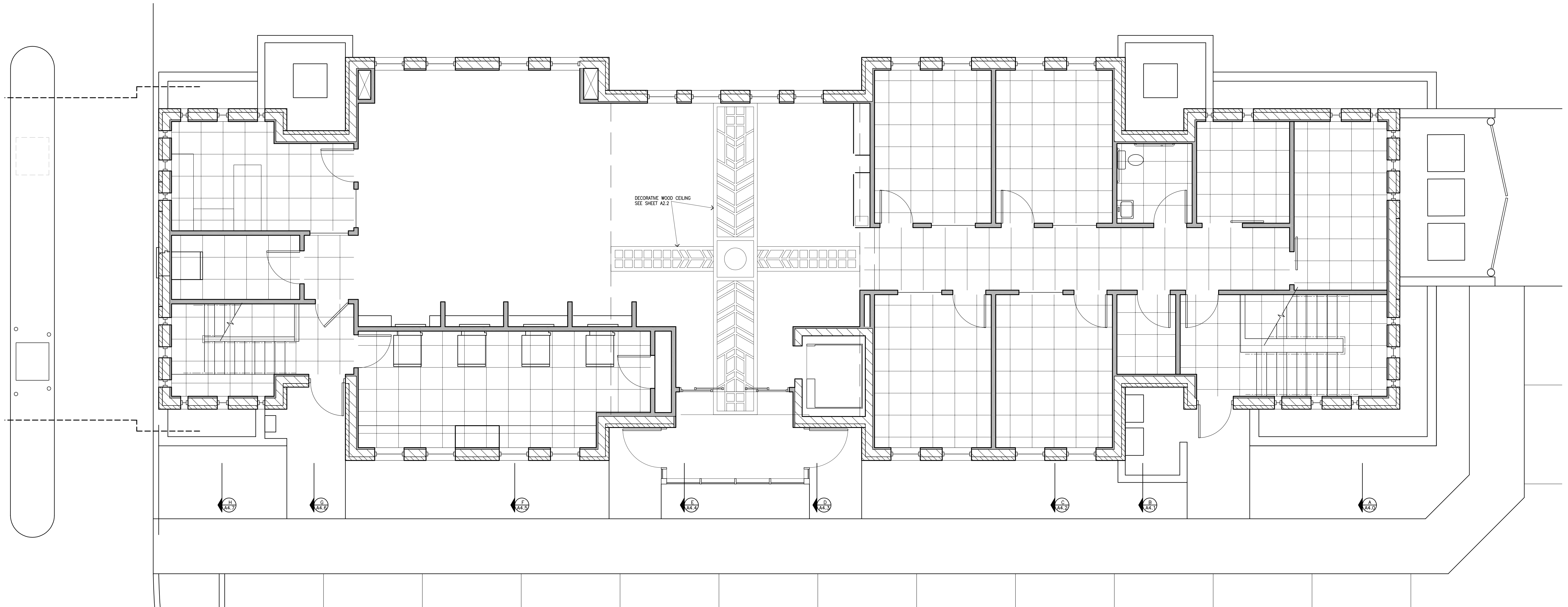
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FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"

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PLEASANT PRAIRIE, WISCONSIN

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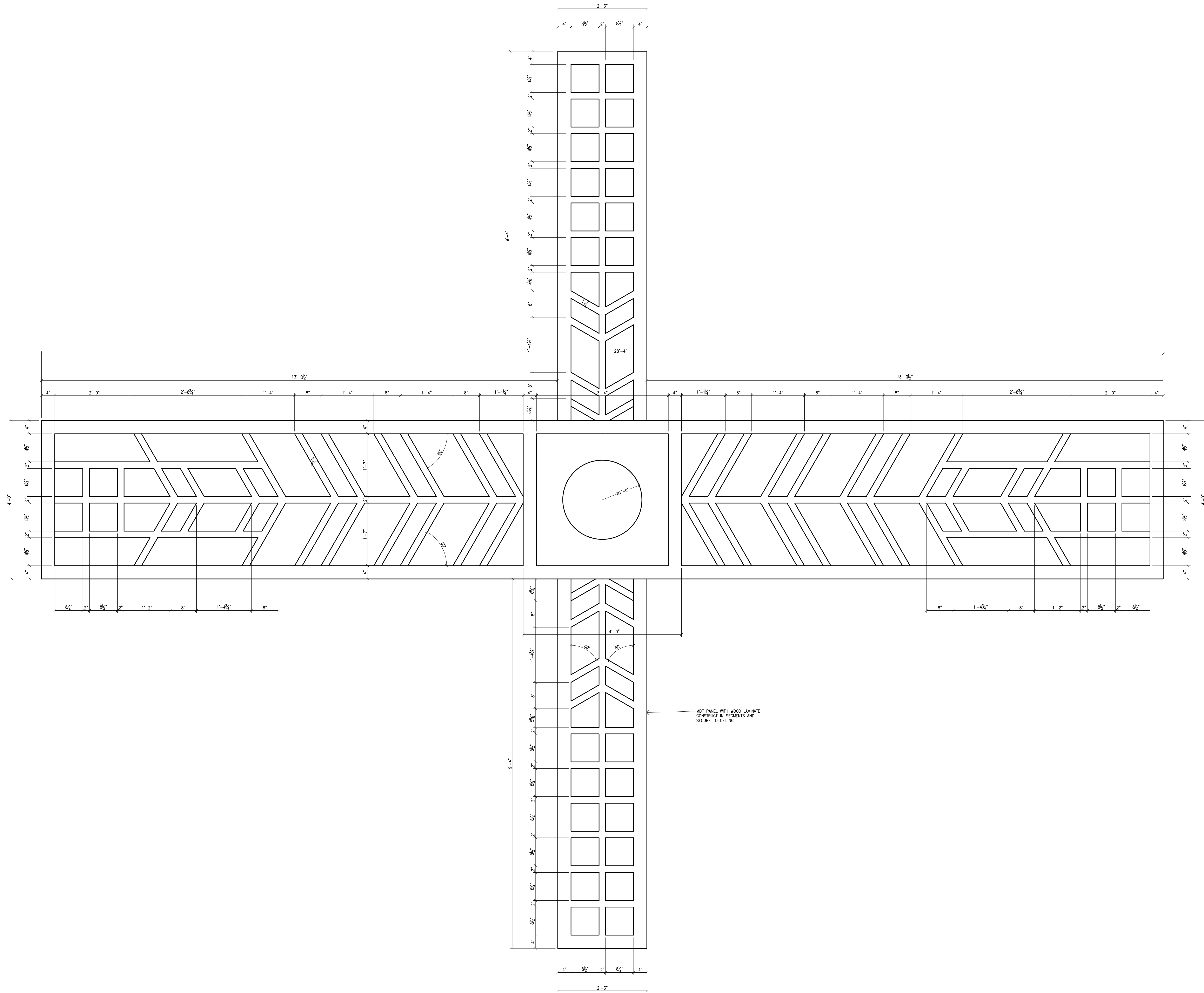
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FIRST FLOOR CEILING DECOR PLAN

SCALE: 1"=1'-0"

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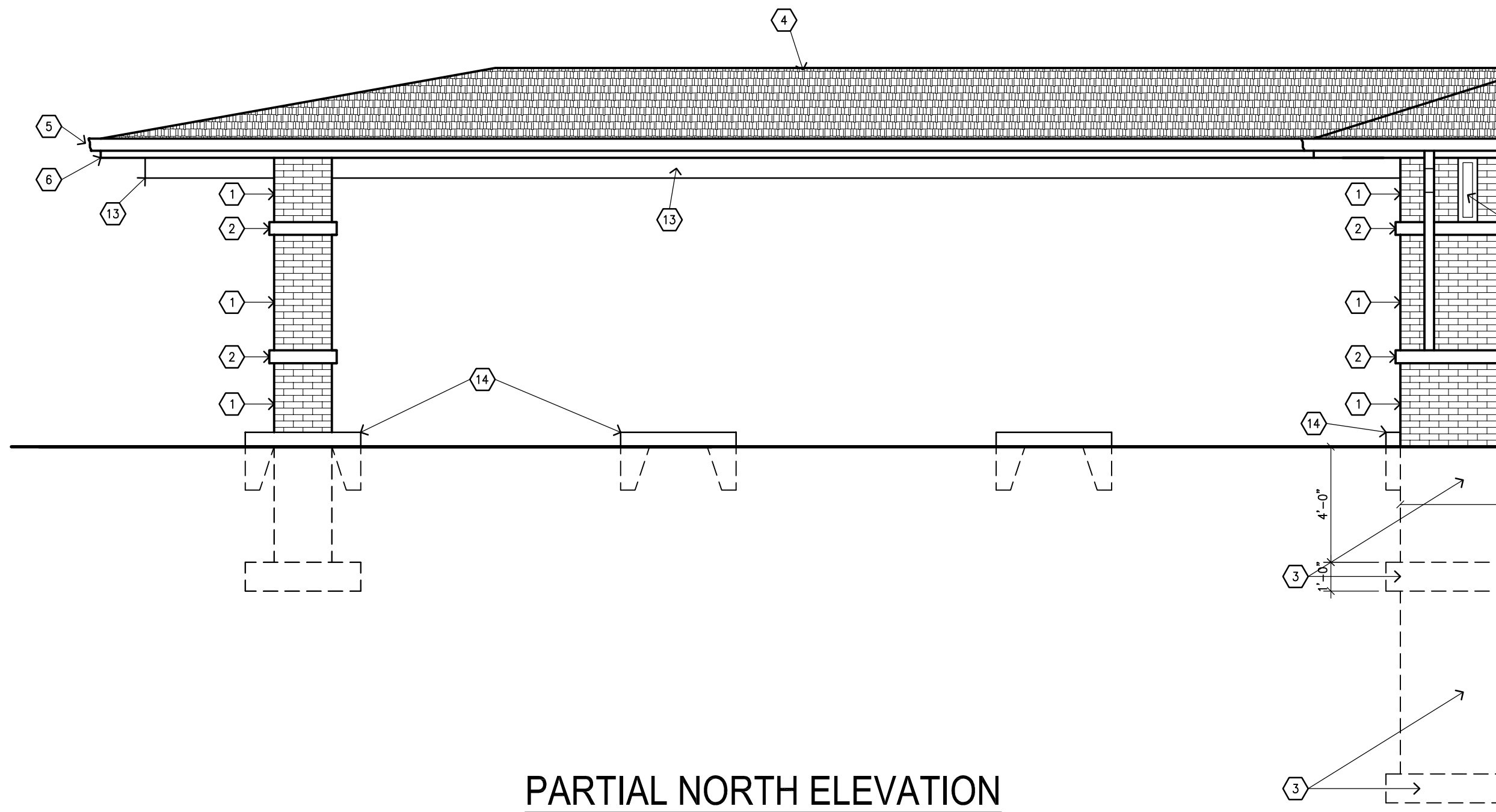
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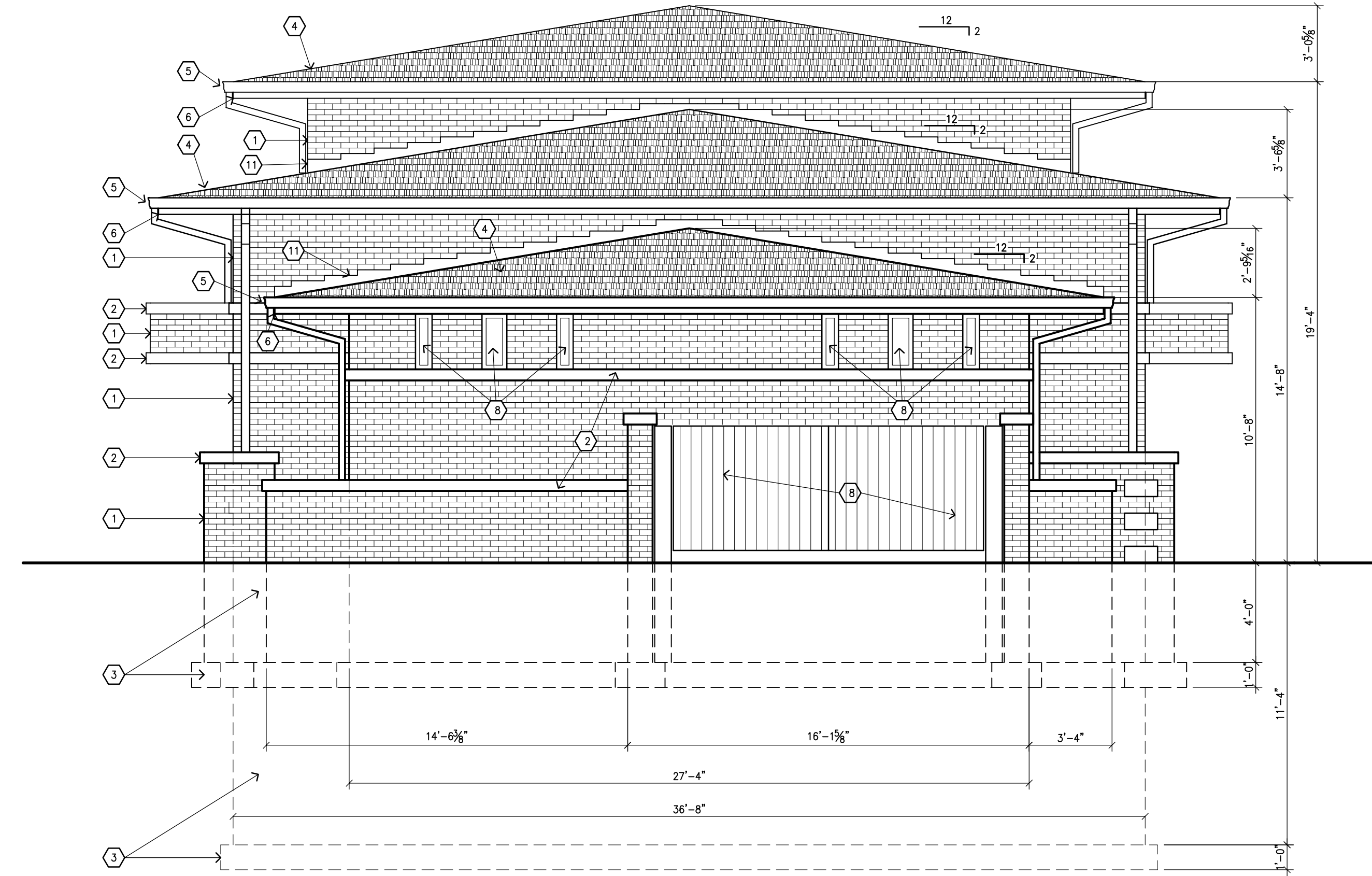
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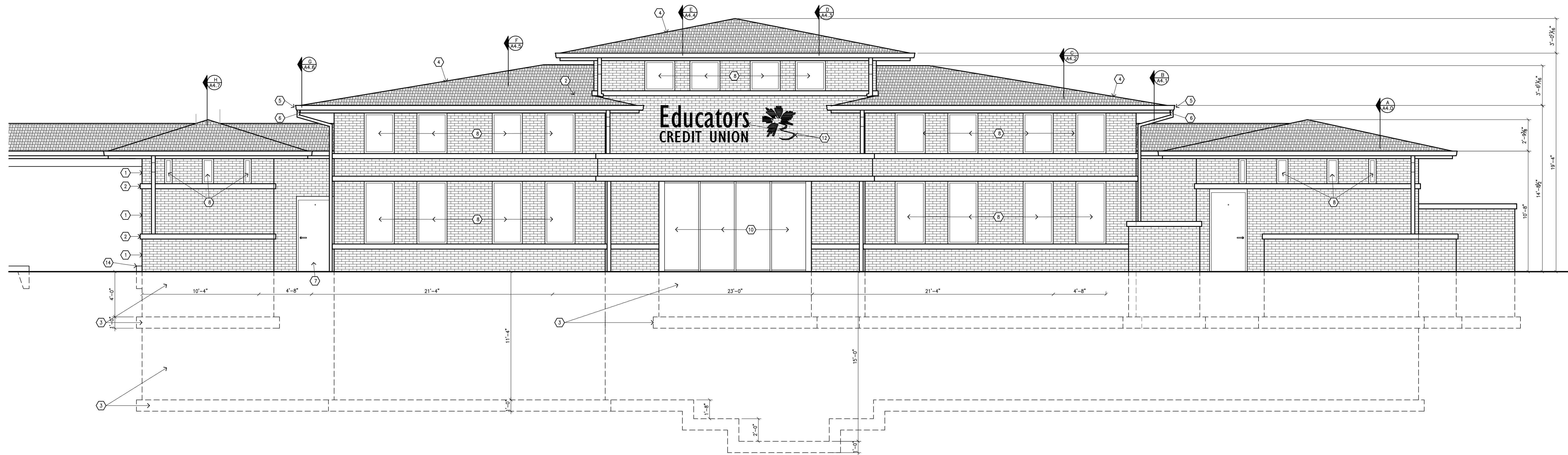
PARTIAL NORTH ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1 FACE BRICK VENEER OVER CMU BACKUP
- 2 ARCHITECTURAL PRECAST CONCRETE
- 3 CONCRETE FOUNDATION AND FOOTING
- 4 DIMENSIONAL SHINGLES
- 5 PREFINISHED SHEET METAL GUTTER AND DOWNSPOUTS
- 6 PREFINISHED SHEET METAL FASCIA
- 7 INSULATED W.M. DOOR AND FRAME
- 8 1" INSULATING GLASS IN ALUMINUM FRAMING
- 9 PERFORATED BRICK WALL AT CONDENSER ENCLOSURE
- 10 INSULATING GLASS IN ALUMINUM STOREFRONT FRAMING
- 11 COPPER STEPPED FLASHING
- 12 PREFINISHED METAL SIGNAGE
- 13 PREFINISHED METAL FASCIA & SOFFIT
- 14 CONCRETE ISLAND / CURB



WEST ELEVATION
SCALE: 1/4"=1'-0"



PARTIAL NORTH ELEVATION
SCALE: 1/4"=1'-0"

DATE

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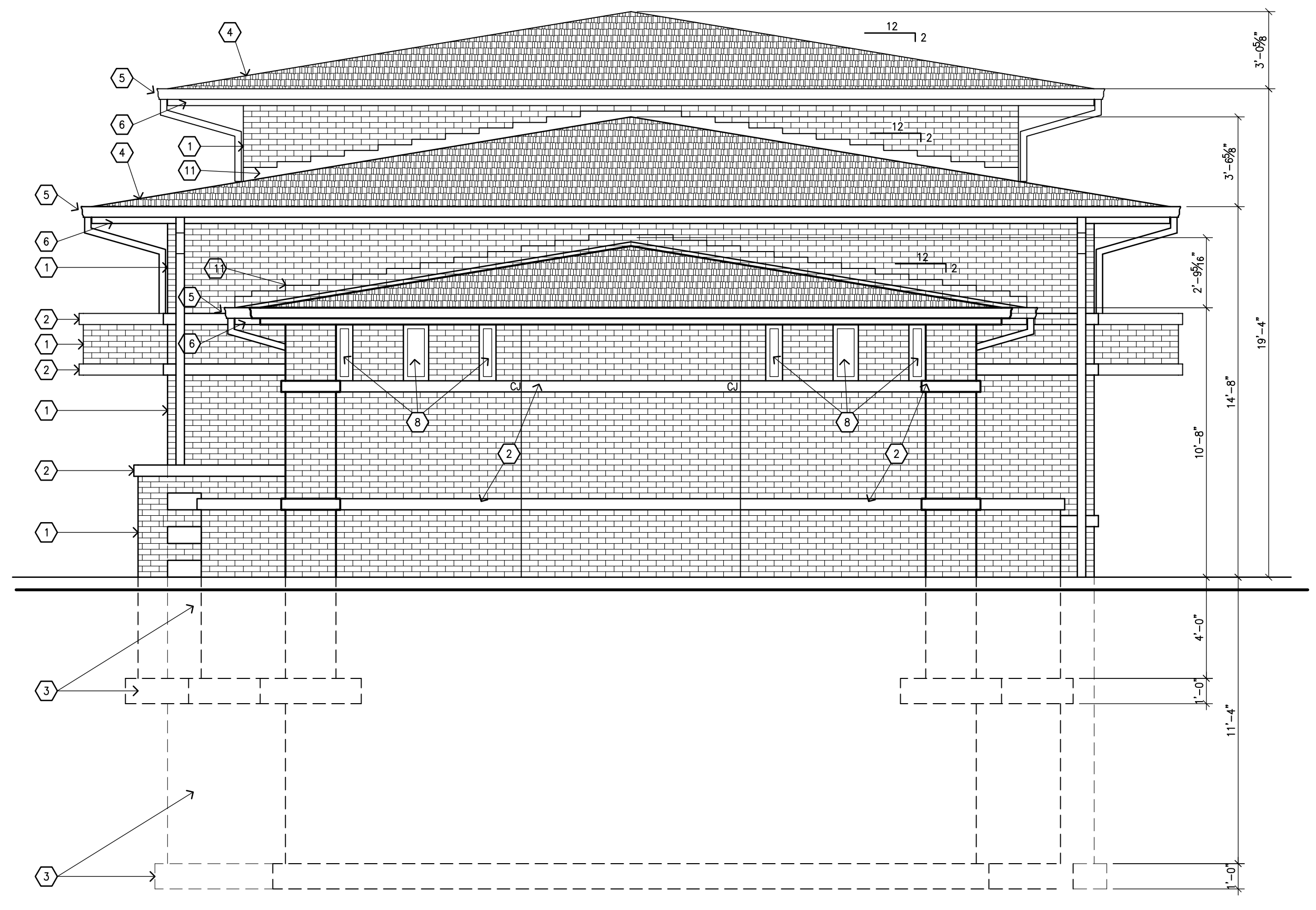
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NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION

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 PLEASANT PRAIRIE, WISCONSIN

DATE
9-28-15
 PROJECT
1501
 SHEET
A3.0

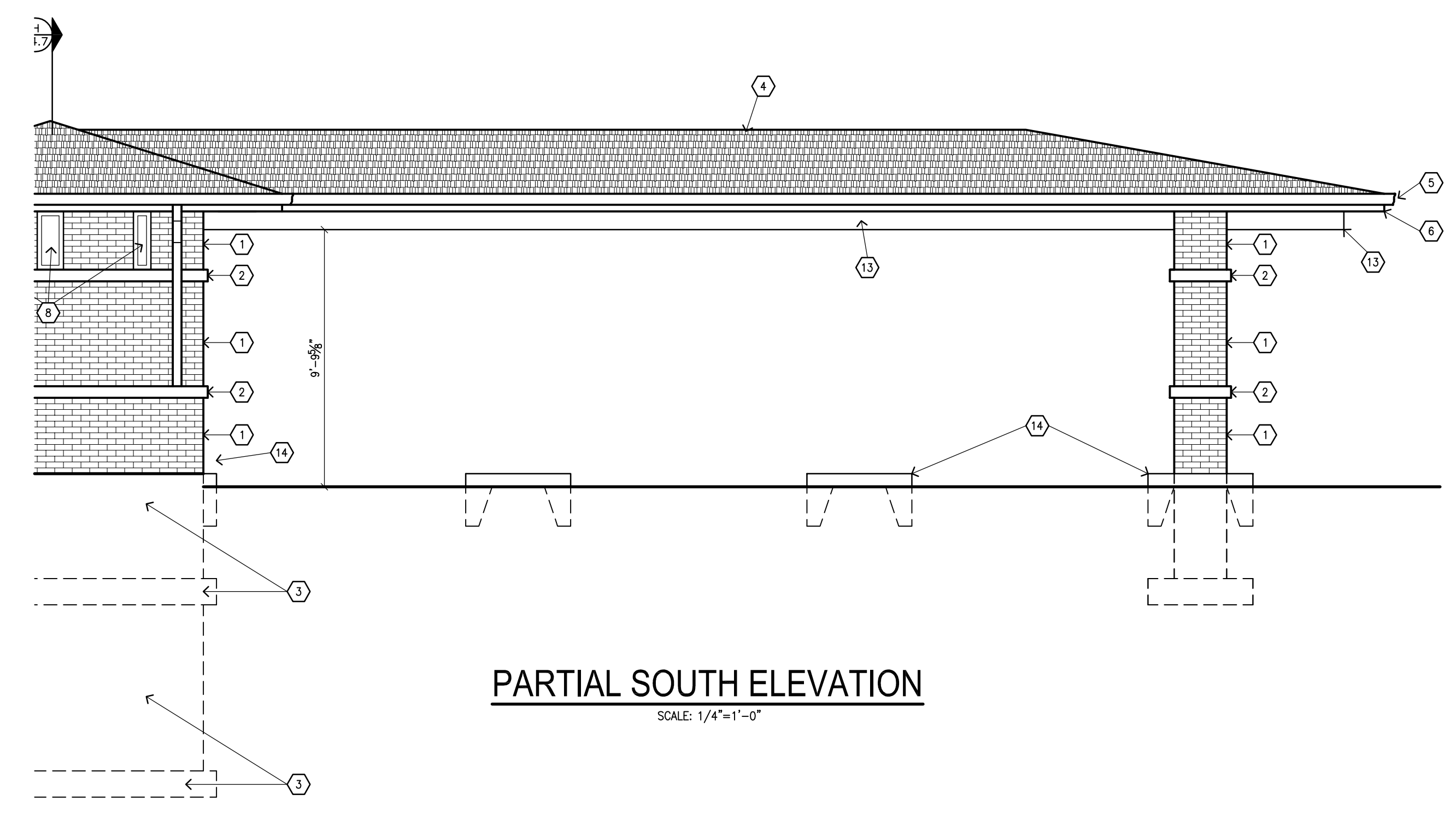
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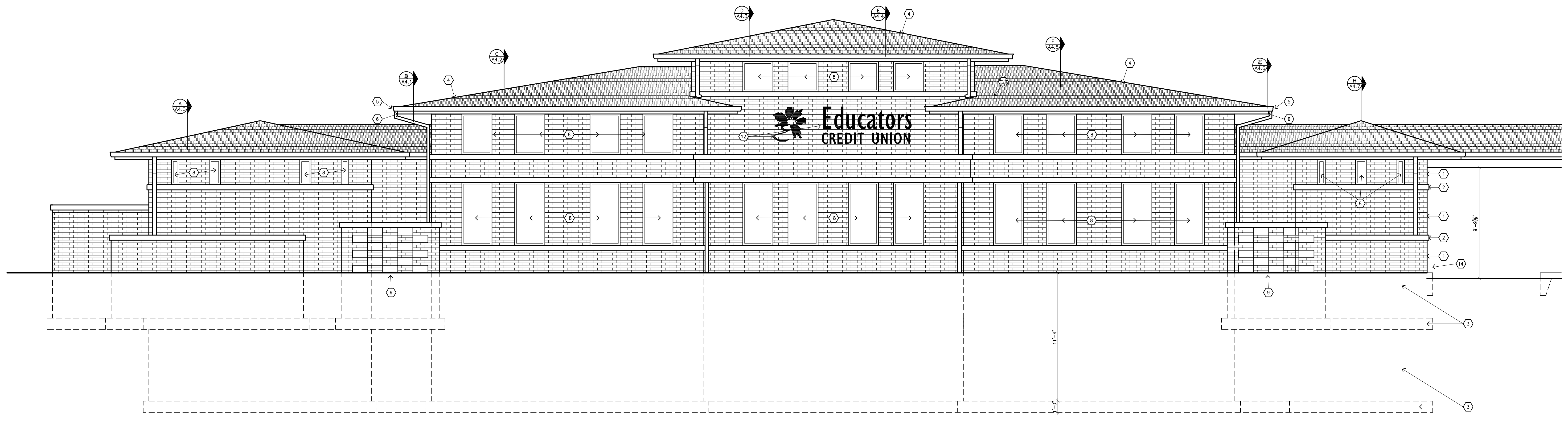
WEST ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1 FACE BRICK VENEER OVER CMU BACKUP
- 2 ARCHITECTURAL PRECAST CONCRETE
- 3 CONCRETE FOUNDATION AND FOOTING
- 4 DIMENSIONAL SHINGLES
- 5 PREFINISHED SHEET METAL GLUTTER AND DOWNSPOUTS
- 6 PREFINISHED SHEET METAL FASCIA
- 7 INSULATED H.M. DOOR AND FRAME
- 8 1" INSULATING GLASS IN ALUMINUM FRAMING
- 9 PERFORATED BRICK WALL AT CONDENSER ENCLOSURE
- 10 INSULATING GLASS IN ALUMINUM STOREFRONT FRAMING
- 11 COPPER STEPPED FLASHING
- 12 PREFINISHED METAL SIGNAGE
- 13 PREFINISHED METAL FASCIA & SOFFIT
- 14 CONCRETE ISLAND / CURB



PARTIAL SOUTH ELEVATION
SCALE: 1/4"=1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS	DATE
NO.	DESCRIPTION

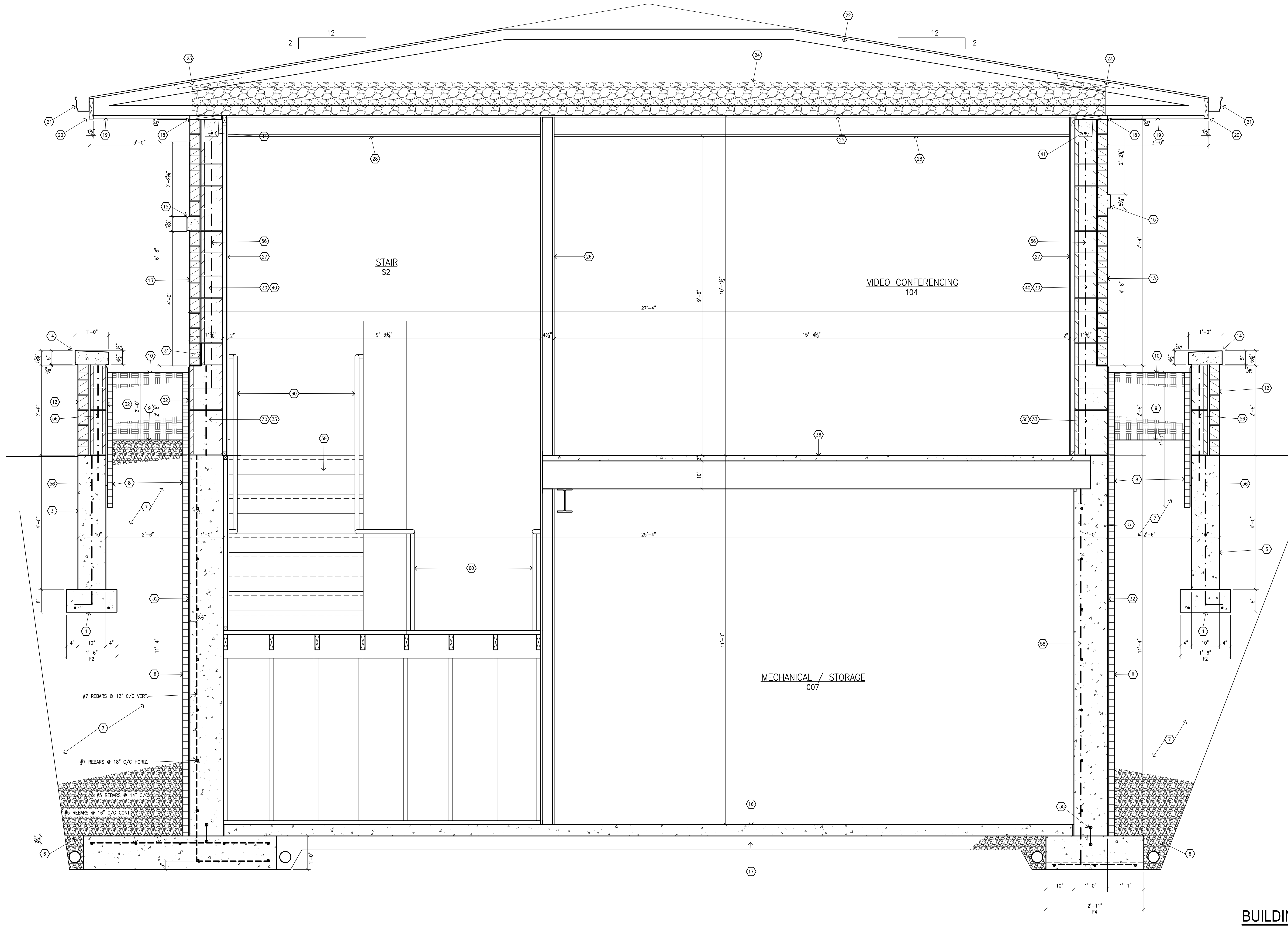
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BUILDING SECTION A
SCALE: 3/4"=1'-0"

CONSTRUCTION NOTES

- 1 8" CONCRETE FOOTING - SEE SHEET S1.0
- 2 12" CONCRETE FOOTING - SEE SHEET S1.0
- 3 8" CONCRETE FOUNDATION WALL - UNREINFORCED
- 4 12" CONCRETE FOUNDATION WALL - UNREINFORCED
- 5 12" CONCRETE FOUNDATION WALL w/ #7 BARS @ 18" C/C E.W.
- 6 12" MIN. COMPACTED STONE FILL OVER 4" SOCKED DRAIN TILE
- 7 COMPACTED GRAVEL BACKFILL
- 8 2" THICK RIGID INSULATION
- 9 GEOTEXTILE FILTER FABRIC
- 10 24" TOPSOIL BACKFILL
- 11 EARTH BACKFILL
- 12 FACE BRICK & 4" CMU BACKUP w/ JOINT REINF @ 8" C/C
- 13 FACE BRICK & 8" CMU BACKUP w/ JOINT REINF @ 16" C/C
PARGE FACE OF CMU BACKUP & PROVIDE OPEN AIR SPACE
- 14 ARCHITECTURAL PRECAST CONCRETE SILL OR COPING
- 15 ARCHITECTURAL PRECAST CONCRETE ACCENT BAND
- 16 4" CONCRETE SLAB w/ 6x6-W1.4/W1.4 W/M OVER 6 MIL V.B.
(ALT: STEEL FIBER & FIBERMESH REINFORCEMENT)
- 17 5" COMPACTED GRAVEL OR STONE BASE
- 18 PREFINISHED SHEET METAL OVER 2"x12" P.P.T. WOOD SILL PLATE
(MATCH SOFFIT PANEL COLOR) ANCHOR PLATE TO CMU WALL w/
1/2" DIA. BOLTS @ 24" C/C STAGGERED
- 19 1" NOM. PREFINISHED SHEET METAL SOFFIT PANELS (VENTED)
- 20 PREFINISHED SHEET METAL FASCIA COVER OVER CONT. 2"x8"
- 21 PREFINISHED SHEET METAL GUTTER SYSTEM
- 22 FIBERGLASS / ASPHALT DIMENSIONAL SHINGLES OVER CONTINUOUS LAYER
OF SELF ADHESIVE MODIFIED BITUMEN ICE/WATER BARRIER (EXTEND BARRIER
UP WALLS AT STEPPED FLASHING CONDITIONS) OVER 3/8" APA RATED STRUCTURAL
SHEATHING OVER WOOD TRUSSES @ 24" C/C
- 23 FOAM VENTILATION CHUTES @ 24" C/C BETWEEN ROOF TRUSSES
- 24 R 40 BLOWN IN INSULATION
- 25 5/8" DRYWALL
- 26 5/8" DRYWALL EACH FACE OF 3/8" STEEL STUDS @ 24" C/C
- 27 1/2" DRYWALL ON 1/2" FURRING (WOOD OR METAL) @ 16" C/C w/ 1/2" RIGID
INSULATION AND 4 MIL POLYETHYLENE VAPOR BARRIER
- 28 LAY-IN ACOUSTICAL CEILING
- 29 MILLWORK - SEE ENLARGED DETAILS
- 30 CORE-FILL 500 OR EQUAL FOAM INSULATION IN HOLLOW CORES OF CMU
- 31 IN-WALL MASONRY FLASHING, PROVIDE WEEP HOLES @ 32" C/C - EXTEND
FLASHING OVER DIMPLED FOUNDATION MEMBRANE
- 32 "SUPERSAL" DIMPLED FOUNDATION MEMBRANE FASTENED TO CMU/CONC WALL
- 33 12" CMU w/ JOINT REINF @ 16" C/C
- 34 R 13 BATT INSULATION w/ ATTACHED V.B. SECURED TO CMU WALL WITH IMPALERS
- 35 WATERSTOP
- 36 2" BONDED STRUCTURAL CONCRETE TOPPING OVER 10" PRECAST CONCRETE PLANK
- 37 4" PRECAST CONCRETE PLANK w/ GROUTED JOINTS
- 38 SOUND BATT INSULATION
- 39 ELEVATOR INSTALLATION BEAM - VERIFY REQUIREMENTS w/ ELEV CONTR.
- 40 8" CMU w/ JOINT REINF @ 16" C/C
- 41 8" CMU BOND BEAM w/1 - #5 BAR CONT.
- 42 45 MIL EPDM MEMBRANE ROOFING ADHERED TO TAPERED INSULATION
(1" MIN. THICKNESS) OVER 1/2" TYPE B METAL DECK ON STEEL FRAMING
- 43 PREFINISHED SHEET METAL SOFFIT PANELS ON GALV. HAT CHANNELS
ON 3/8" GALV. STEEL STUD FRAMING @ 24" C/C
- 44 COPPER FLASHING
- 45 1" LOW 'E' INSULATING GLASS IN BRONZE ANODIZED ALUMINUM FRAMING
- 46 1" SPANDREL GLASS IN BRONZE ANODIZED ALUMINUM FRAMING
- 47 3/4"x3/4" WOOD TRIM
- 48 PLASTIC LAMINATE STOOL
- 49 2"x10" P.P.T. WOOD SILL
- 50 8" CONCRETE FOUNDATION WALL w/ #5 BARS @ 12" C/C E.W.
- 51 L3x3x3/4" FRAME AROUND CONDENSING UNIT, BOLTED TO SLAB
- 52 SOLID SURFACE COUNTER AND SKIRT
- 53 MDF FASCIA OVER WOOD BLOCKING (PAINTED TO MATCH SOFFIT COLOR)
- 54 WOOD FRAMED STAIR w/ 1/2" THICK TREADS & 3/4" THICK RISERS
- 55 STAIR LANDING - (2) LAYERS OF 3/4" PLYWOOD
- 56 #4 REBARS @ 16" C/C (9" MIN BAR LAPS)
- 57 (2) #4 REBARS CONT.
- 58 #7 REBARS @ 18" C/C EACH WAY (16" MIN BAR LAP)

DATE _____

REVISIONS NO. DESCRIPTION

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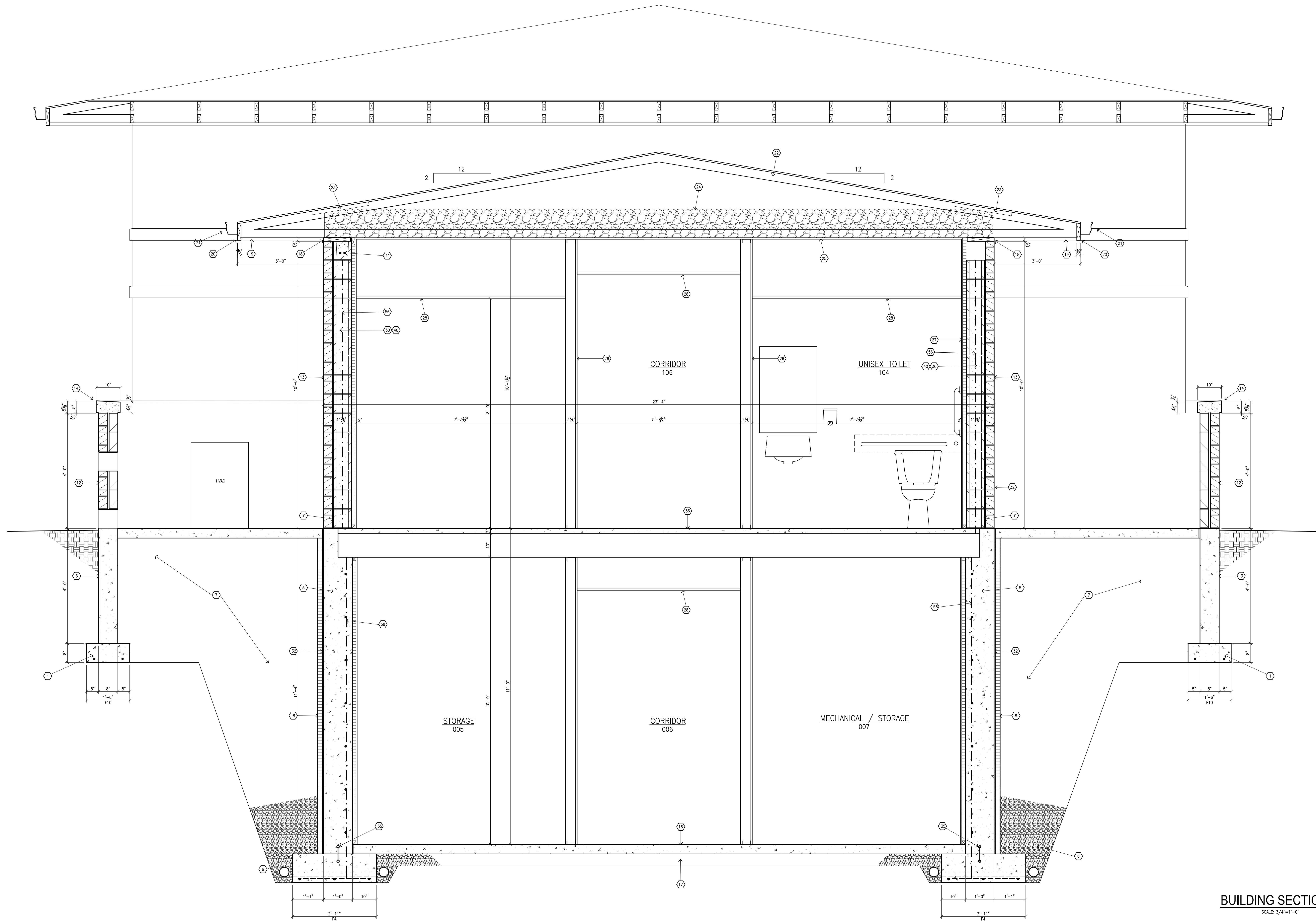
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DATE
9-28-15

PROJECT
1501

SHEET
A4.0

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BUILDING SECTION B
SCALE: 3/4"=1'-0"

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A4.1

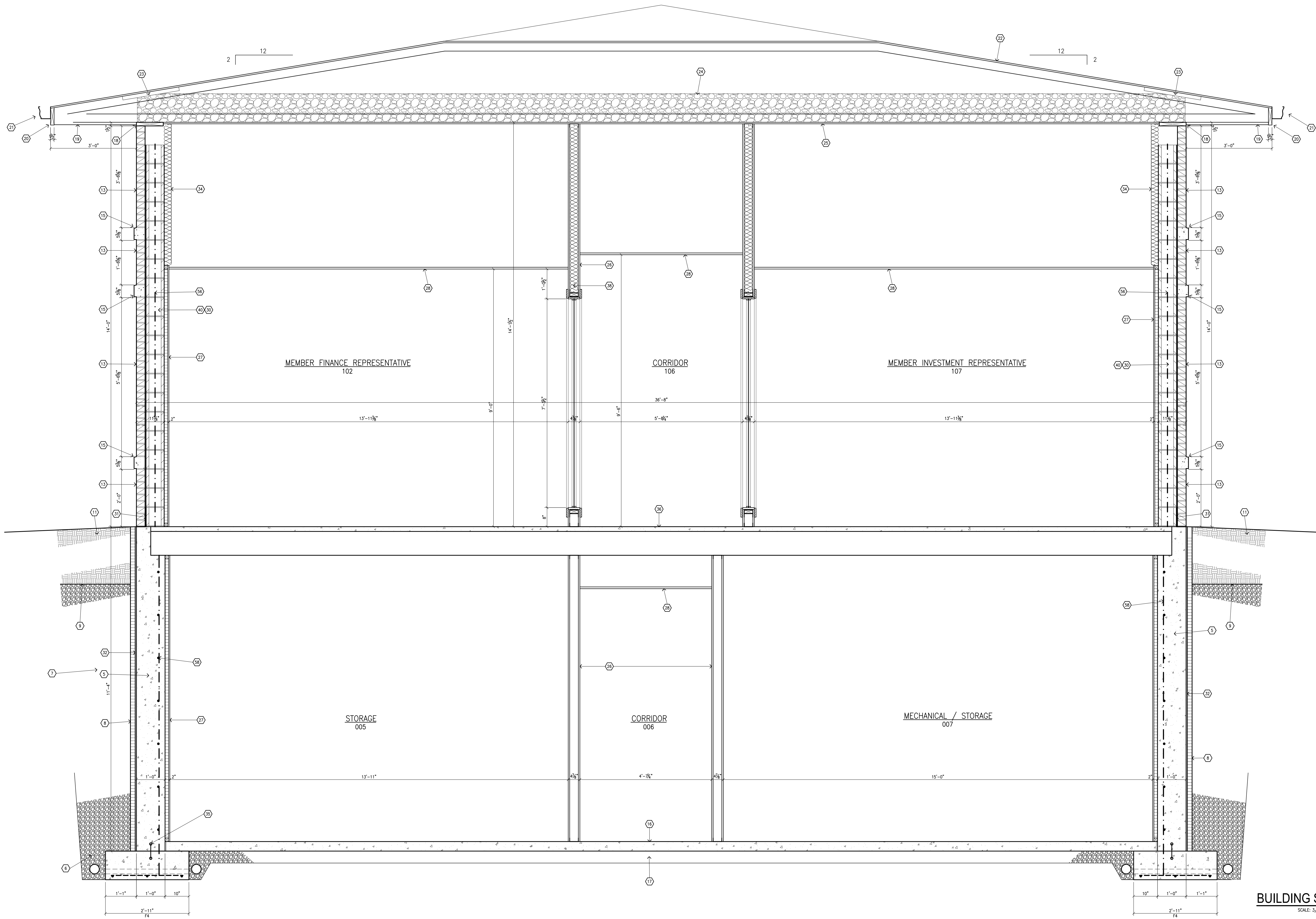
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BUILDING SECTION C
SCALE: 3/4"=1'-0"

NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION

**LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN**

MAP
ARCHITECTURE · ENGINEERING · PLANNING
MILWAUKEE ARCHITECTS & PLANNERS, INC.
10859 WEST BLUEMOUND ROAD · SUITE 200 · MILWAUKEE, WI 53226
(414) 476-1212 · (414) 476-1862 (FAX) · www.mapep.com

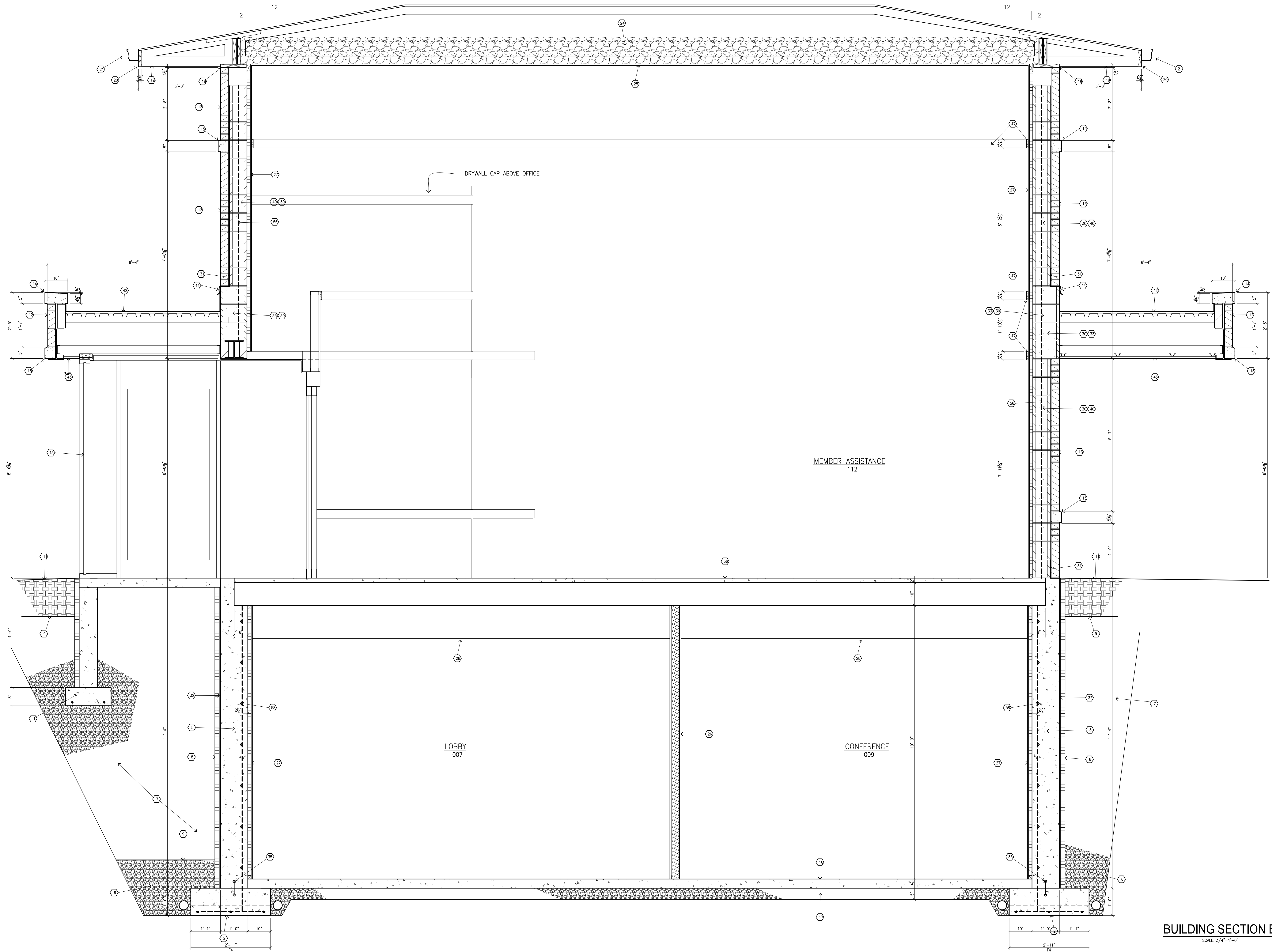
CONSULTANTS

REVISIONS
NO. DESCRIPTION

DATE

DATE
9-28-15
PROJECT
1501
SHEET
A4.2

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BUILDING SECTION E
SCALE: 3/4"=1'-0"

NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
9-28-15
PROJECT
1501
SHEET
A4.4

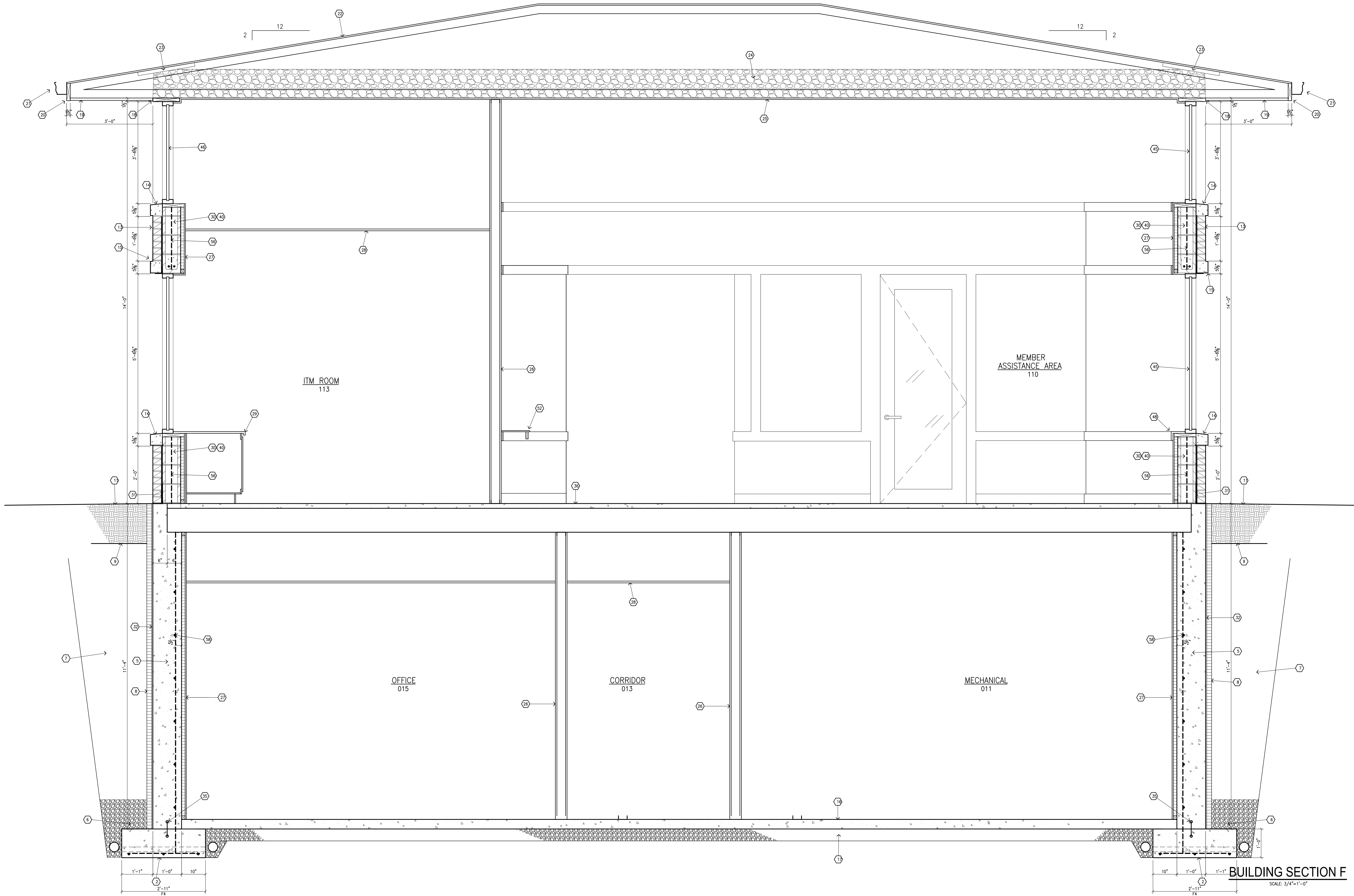
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BUILDING SECTION F
SCALE: 3/4"=1'-0"

REVISIONS NO.	DESCRIPTION	DATE

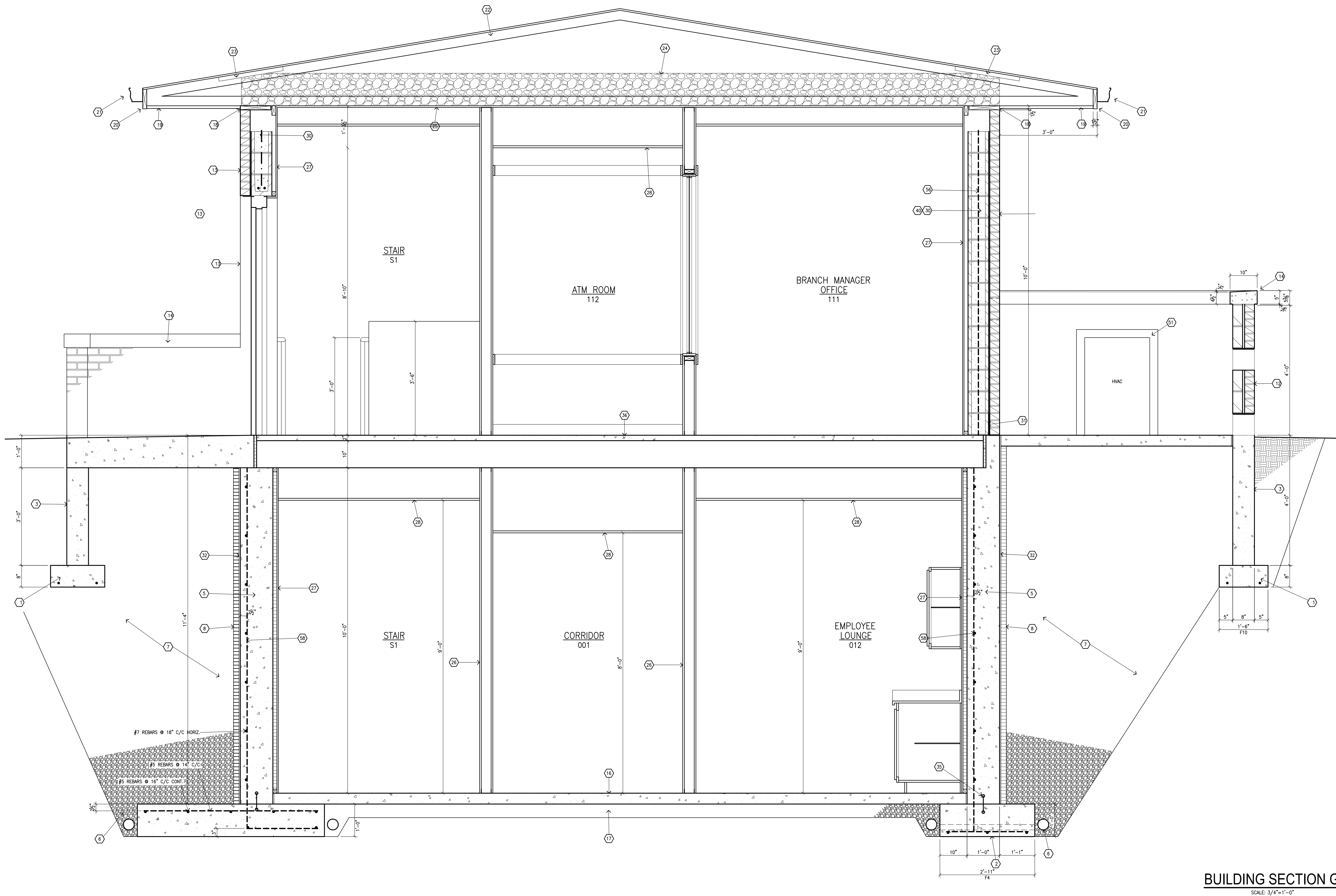
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NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION
 LOT 21, WESTFIELD HEIGHTS SUBDIVISION
 PLEASANT PRAIRIE, WISCONSIN

DATE	9-28-15
PROJECT	1501
SHEET	A4.5

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BUILDING SECTION G
SCALE: 3/4"=1'-0"

CONSTRUCTION NOTES

- 1 8" CONCRETE FOOTING - SEE SHEET S1.0
- 2 12" CONCRETE FOOTING - SEE SHEET S1.0
- 3 8" CONCRETE FOUNDATION WALL - UNREINFORCED
- 4 12" CONCRETE FOUNDATION WALL - UNREINFORCED
- 5 12" CONCRETE FOUNDATION WALL w/ #7 BARS @ 18" C/C E.W.
- 6 12" MIN. COMPACTED STONE FILL OVER 4" SOCKED DRAIN TILE
- 7 COMPACTED GRAVEL BACKFILL
- 8 2" THICK RIGID INSULATION
- 9 GEOTEXTILE FILTER FABRIC
- 10 24" TOPSOIL BACKFILL
- 11 EARTH BACKFILL
- 12 FACE BRICK & 4" CMU BACKUP w/ JOINT REINF @ 8" C/C
- 13 FACE BRICK & 8" CMU BACKUP w/ JOINT REINF @ 16" C/C
PARGE FACE OF CMU BACKUP & PROVIDE OPEN AIR SPACE
- 14 ARCHITECTURAL PRECAST CONCRETE SILL OR COPING
- 15 ARCHITECTURAL PRECAST CONCRETE ACCENT BAND
- 16 4" CONCRETE SLAB w/ 6#5-W1.4/W1.4 W/M OVER 6 MIL V.B.
(ALT. STEEL FIBER & FIBERMESH REINFORCEMENT)
- 17 5" COMPACTED GRAVEL OR STONE BASE
- 18 PREFINISHED SHEET METAL OVER 2"x12" P.P.T. WOOD SILL PLATE
(MATCH SOFFIT PANEL COLOR) ANCHOR PLATE TO CMU WALL w/
1/2" DIA. BOLTS @ 24" C/C STAGGERED
- 19 1" NOM. PREFINISHED SHEET METAL SOFFIT PANELS (VENTED)
- 20 PREFINISHED SHEET METAL FASCIA COVER OVER CONT. 2"x8"
- 21 PREFINISHED SHEET METAL GUTTER SYSTEM
- 22 FIBERGLASS / ASPHALT DIMENSIONAL SHINGLES OVER CONTINUOUS LAYER
OF SELF-ADHESIVE MODIFIED BITUMEN ICE/WATER BARRIER (EXTEND BARRIER
UP WALLS AT STEPPED FLASHING CONDITIONS) OVER 5/8" APA RATED STRUCTURAL
SHEATHING OVER WOOD TRUSSES @ 24" C/C
- 23 FOAM VENTILATION CHUTES @ 24" C/C BETWEEN ROOF TRUSSES
- 24 R 40 BLOWN IN INSULATION
- 25 5/8" DRYWALL
- 26 5/8" DRYWALL EACH FACE OF 3/8" STEEL STUDS @ 24" C/C
- 27 1/2" DRYWALL ON 1/2" FURRING (WOOD OR METAL) @ 16" C/C w/ 1/2" RIGID
INSULATION AND 4 MIL POLYETHYLENE VAPOR BARRIER
- 28 LAY-IN ACOUSTICAL CEILING
- 29 MILLWORK - SEE ENLARGED DETAILS
- 30 CORE-FILL 500 OR EQUAL FOAM INSULATION IN HOLLOW CORES OF CMU
- 31 IN-WALL MASONRY FLASHING. PROVIDE WEEP HOLES @ 32" C/C - EXTEND
FLASHING OVER DIMPLED FOUNDATION MEMBRANE
- 32 "SUPERSEAL" DIMPLED FOUNDATION MEMBRANE FASTENED TO CMU/CONC WALL
- 33 12" CMU w/ JOINT REINF @ 16" C/C
- 34 R 13 BATT INSULATION w/ ATTACHED V.B. SECURED TO CMU WALL WITH IMPALERS
- 35 WATERSTOP
- 36 2" BONDED STRUCTURAL CONCRETE TOPPING OVER 10" PRECAST CONCRETE PLANK
- 37 4" PRECAST CONCRETE PLANK w/ GROUTED JOINTS
- 38 SOUND BATT INSULATION
- 39 ELEVATOR INSTALLATION BEAM - VERIFY REQUIREMENTS w/ ELEV. CONTR.
- 40 8" CMU w/ JOINT REINF @ 16" C/C
- 41 8" CMU BOND BEAM w/1 - #5 BAR CONT.
- 42 45 MIL EPDM MEMBRANE ROOFING ADHERED TO TAPERED INSULATION
(1" MIN. THICKNESS) OVER 1/2" TYPE B METAL DECK ON STEEL FRAMING
- 43 PREFINISHED SHEET METAL SOFFIT PANELS ON GALV. HAT CHANNELS
ON 3/8" GALV. STEEL STUD FRAMING @ 24" C/C
- 44 COPPER FLASHING
- 45 1" LOW "E" INSULATING GLASS IN BRONZE ANODIZED ALUMINUM FRAMING
- 46 1" SPANDREL GLASS IN BRONZE ANODIZED ALUMINUM FRAMING
- 47 3/4"x3 3/4" WOOD TRIM
- 48 PLASTIC LAMINATE STOOL
- 49 2"x10" P.P.T. WOOD SILL
- 50 8" CONCRETE FOUNDATION WALL w/ #5 BARS @ 12" C/C E.W.
- 51 L3x3 3/4" FRAME AROUND CONDENSING UNIT, BOLTED TO SLAB
- 52 SOLID SURFACE COUNTER AND SKIRT
- 53 MDF FASCIA OVER WOOD BLOCKING (PAINTED TO MATCH SOFFIT COLOR)
- 54 WOOD FRAMED STAIR w/ 1/2" THICK TREADS & 3/4" THICK RISERS
- 55 STAIR LANDING - (2) LAYERS OF 3/4" PLYWOOD
- 56 #4 REBARS @ 16" C/C (9" MIN BAR LAPS)
- 57 (2) #4 REBARS CONT.
- 58 #7 REBARS @ 18" C/C EACH WAY (16" MIN BAR LAP)
- 59 WOOD FRAMED STAIR
- 60 1 1/2" STD. STEEL PIPE HANDRAIL (PAINTED)

DATE

REVISIONS
NO. DESCRIPTION

CONSULTANTS

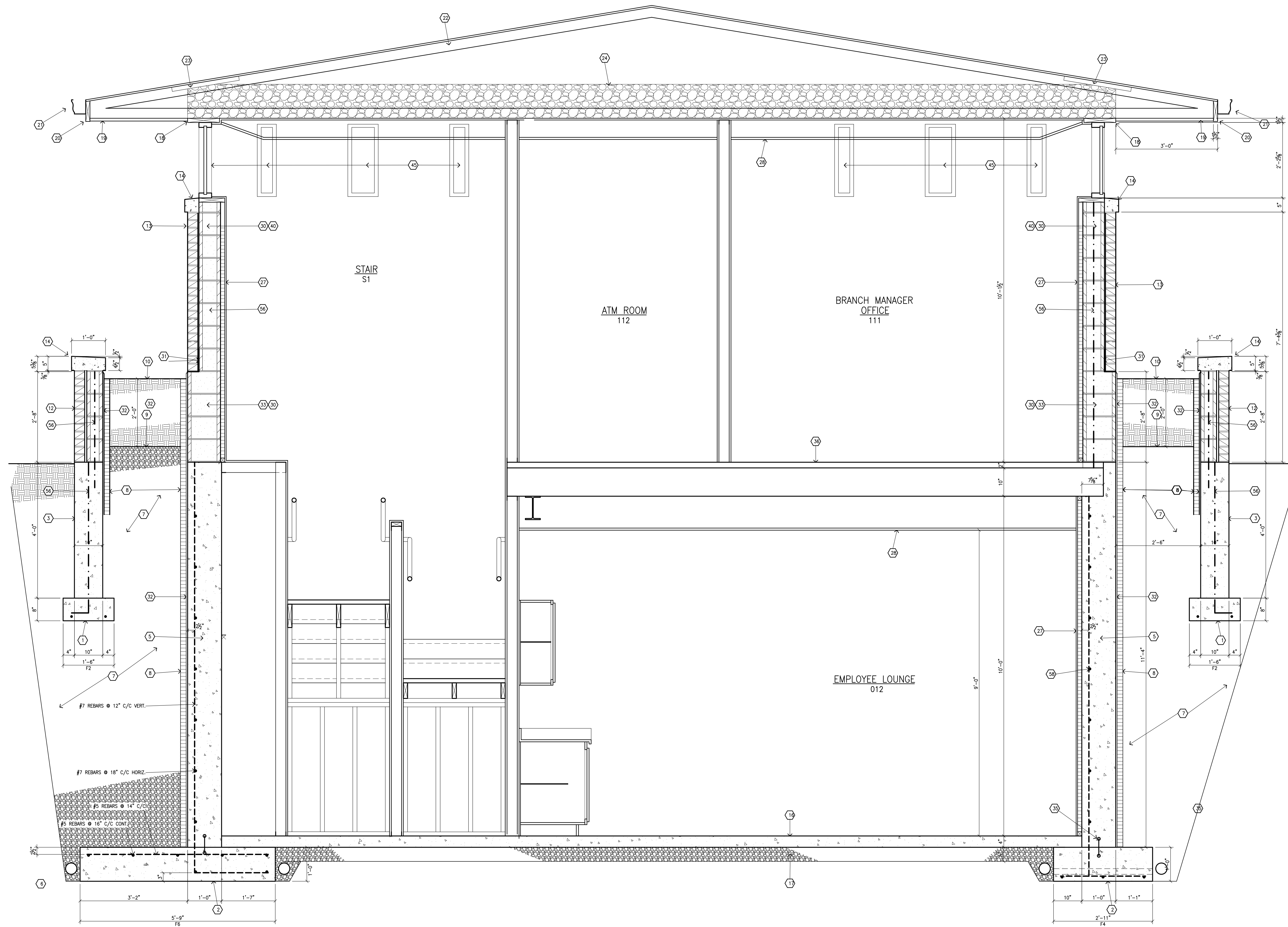


NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION

**LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN**

DATE
9-28-15
PROJECT
1501
SHEET
A4.6

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BUILDING SECTION H
SCALE: 3/4"=1'-0"

NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

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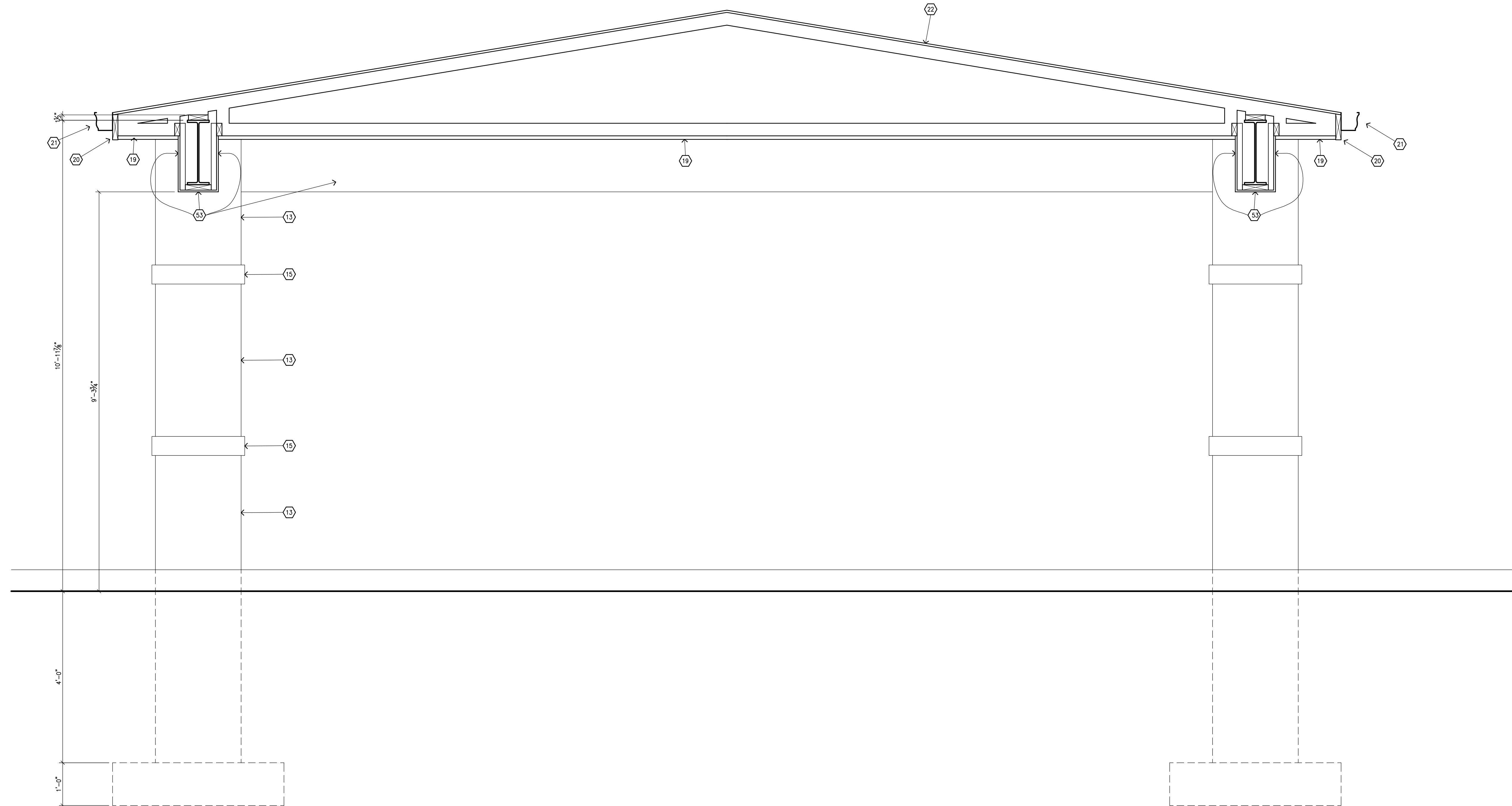
REVISIONS NO.	DESCRIPTION

CONSULTANTS

DATE

DATE	9-28-15
PROJECT	1501
SHEET	A4.7

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BUILDING SECTION I
SCALE: 3/4"=1'-0"

NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
9-28-15
PROJECT
1501
SHEET
A4.8

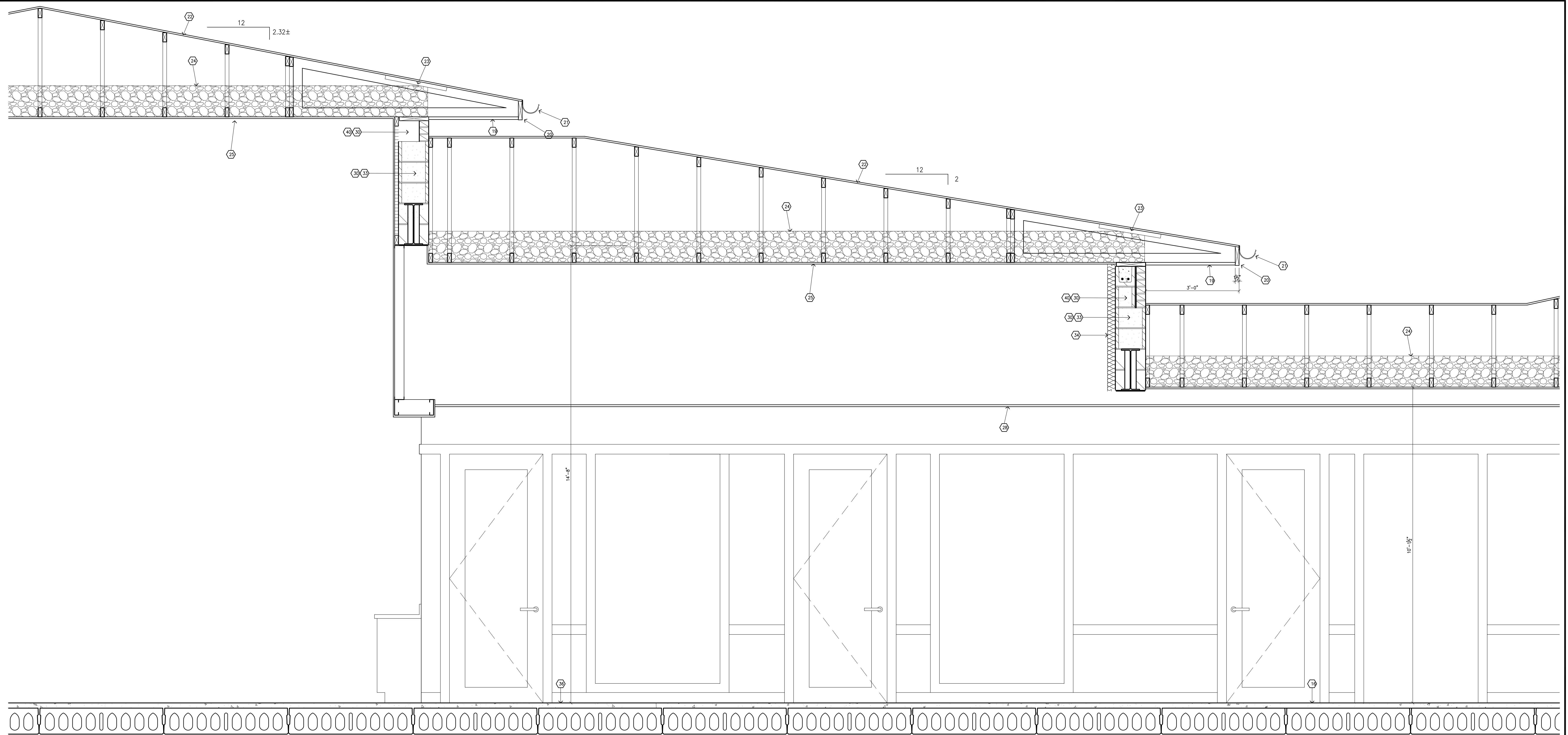
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BUILDING SECTION K
SCALE: 3/4"=1'-0"

NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
9-28-15
PROJECT
1501
SHEET
A4.9

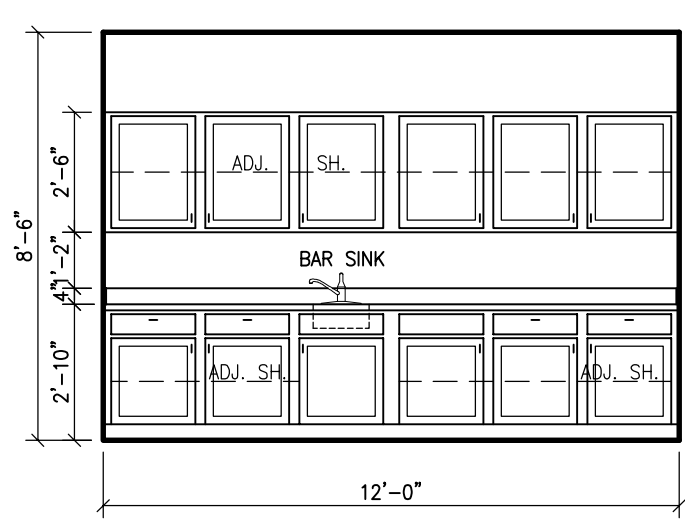
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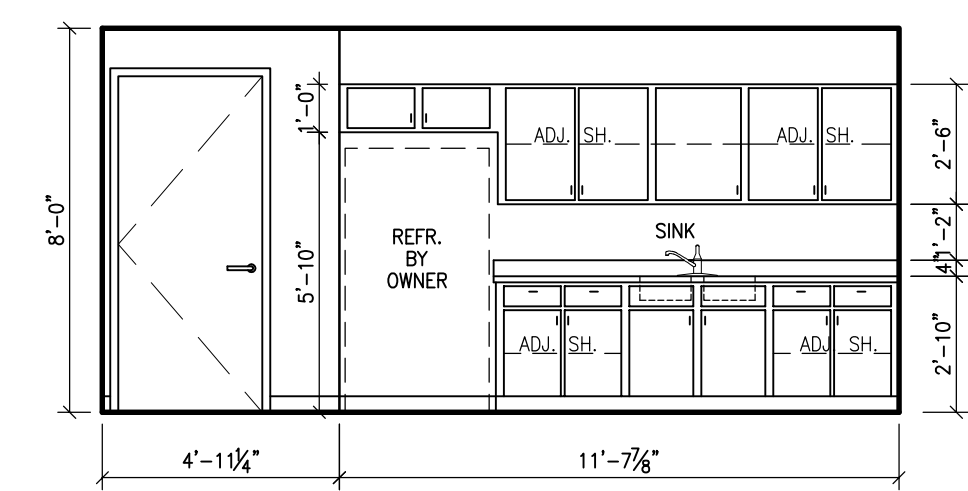
REVISIONS
NO. DESCRIPTION

DATE

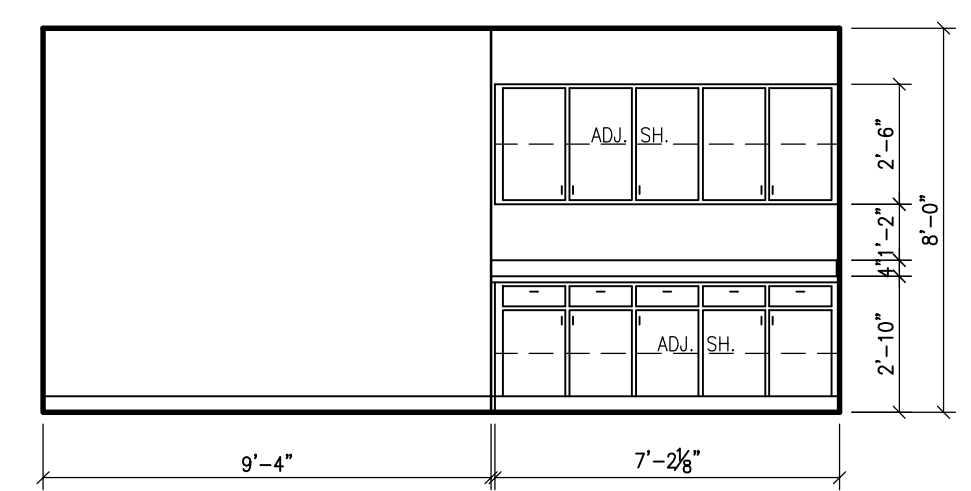
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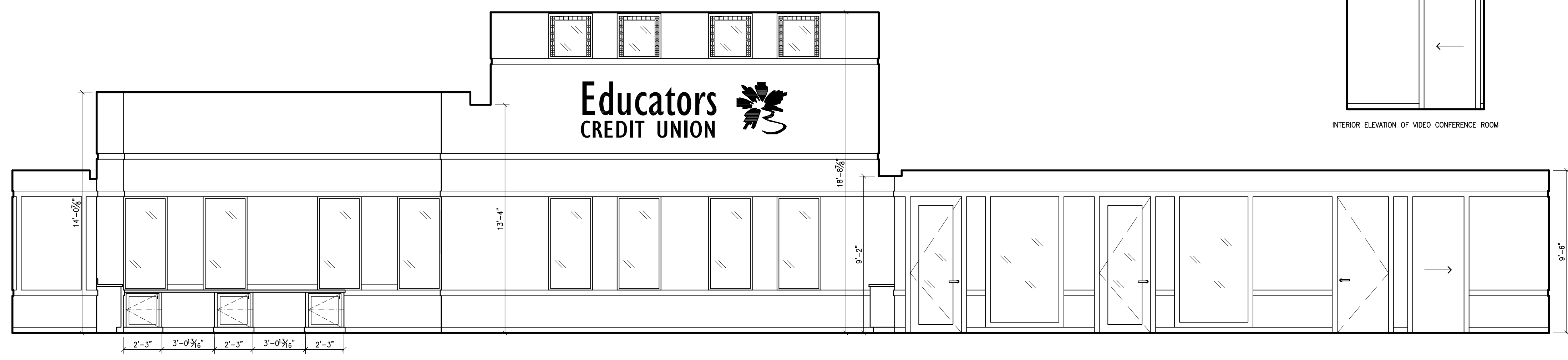
CONFERENCE WET BAR
SCALE: 1/4"=1'-0"
6
A5.0



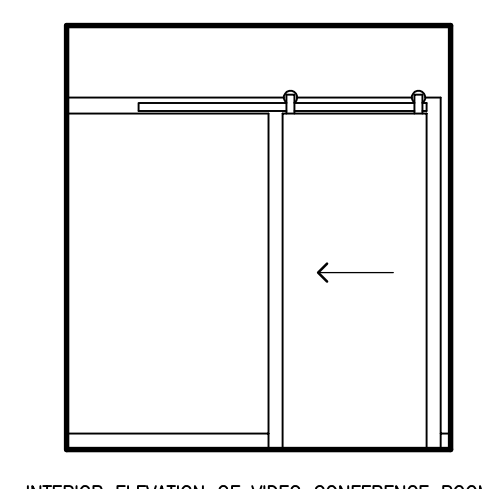
KITCHEN ELEVATION
SCALE: 1/4"=1'-0"
7
A5.0



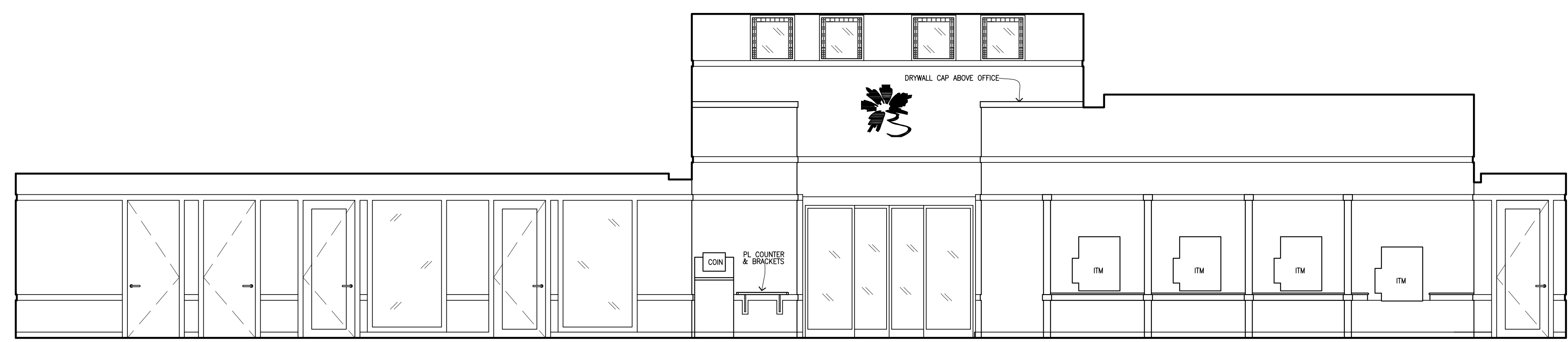
KITCHEN ELEVATION
SCALE: 1/4"=1'-0"
8
A5.0



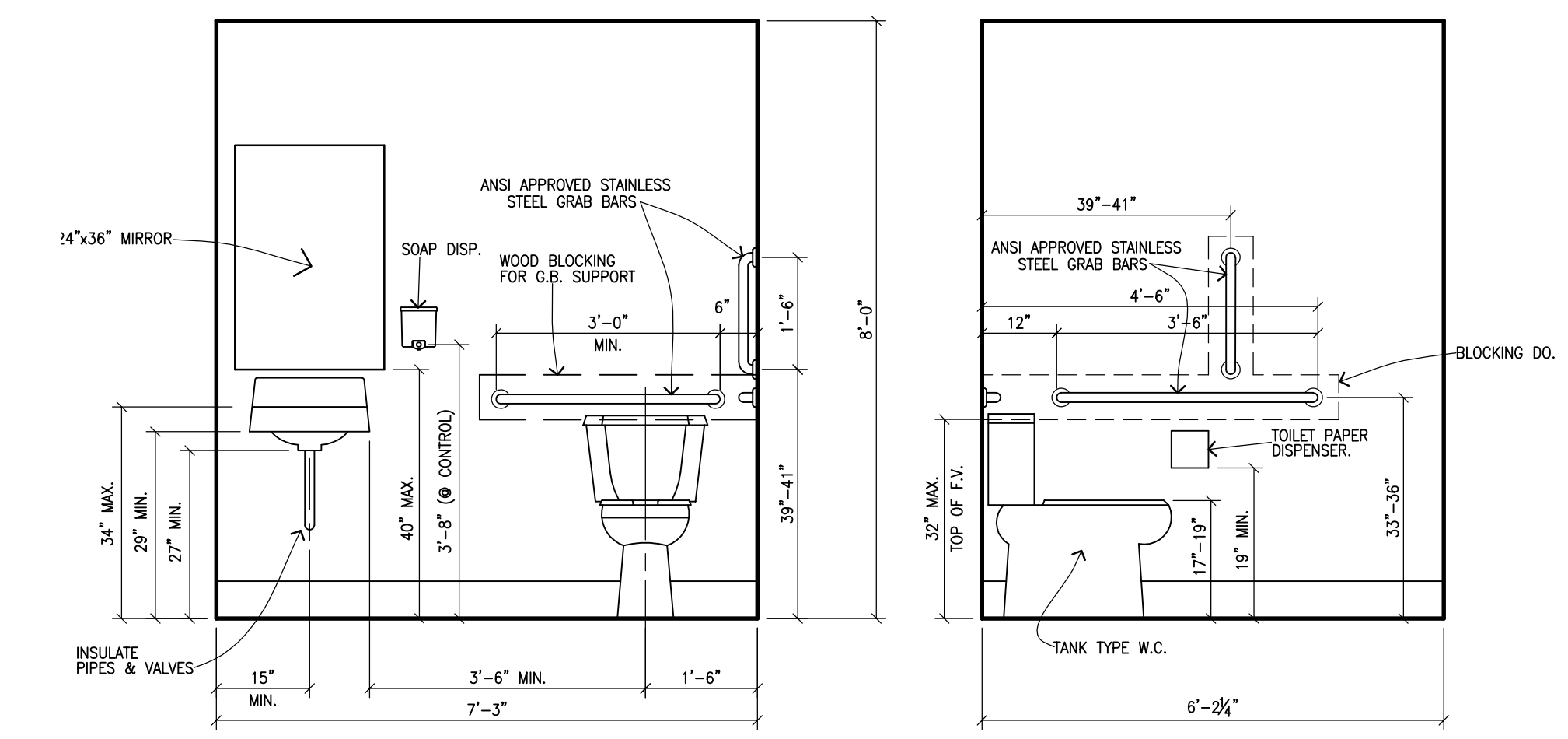
INTERIOR ELEVATION
SCALE: 1/4"=1'-0"
2
A5.0



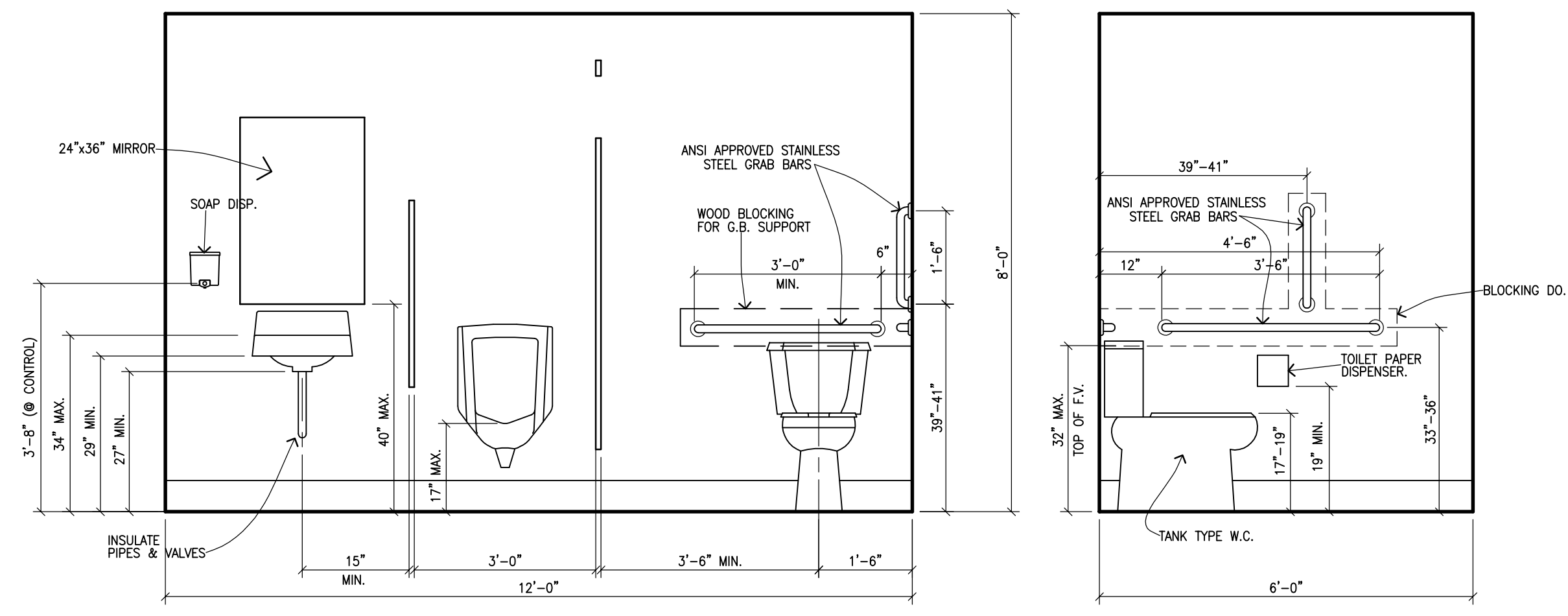
INTERIOR ELEVATION OF VIDEO CONFERENCE ROOM



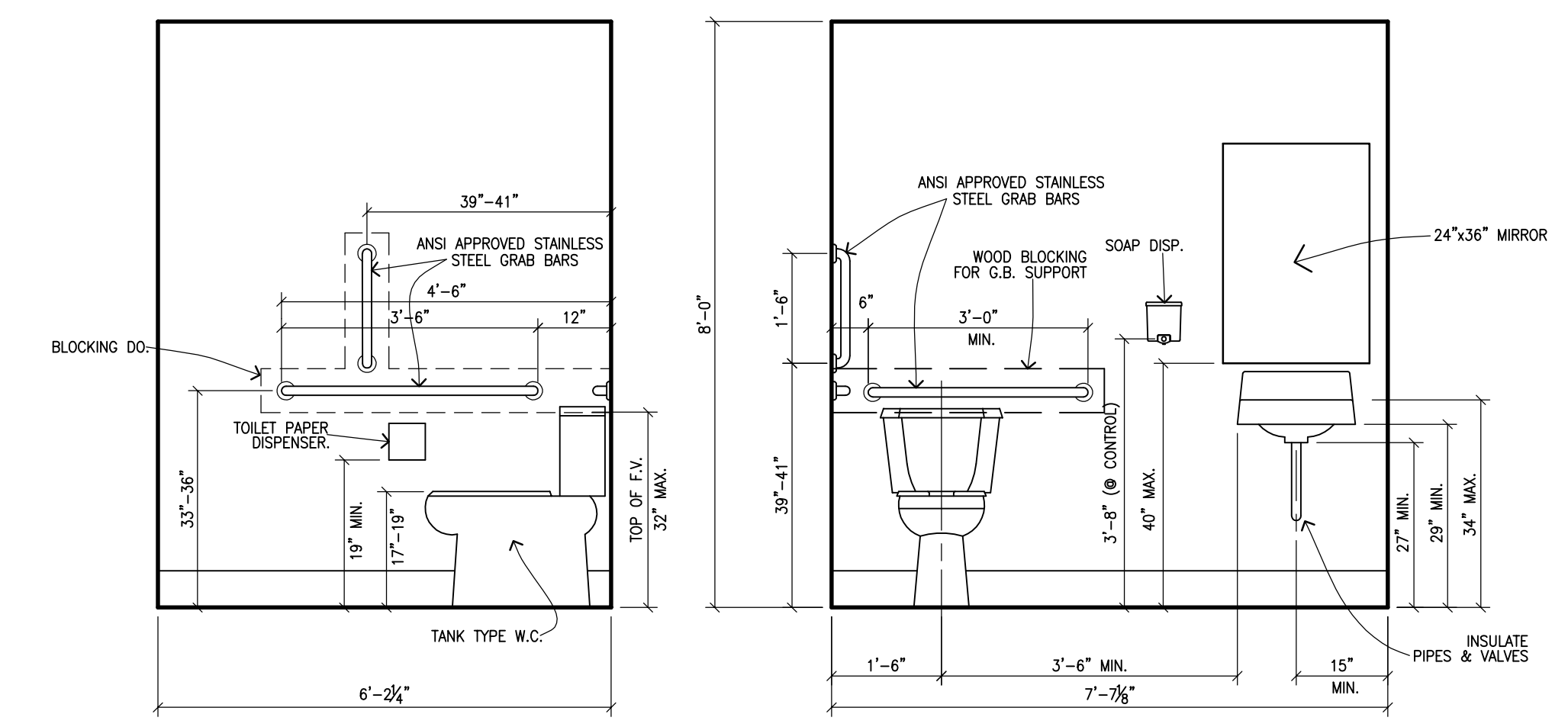
INTERIOR ELEVATION
SCALE: 1/4"=1'-0"
1
A5.0



UNISEX TOILET ROOM 106
SCALE: 1/2"=1'-0"
5
A5.0



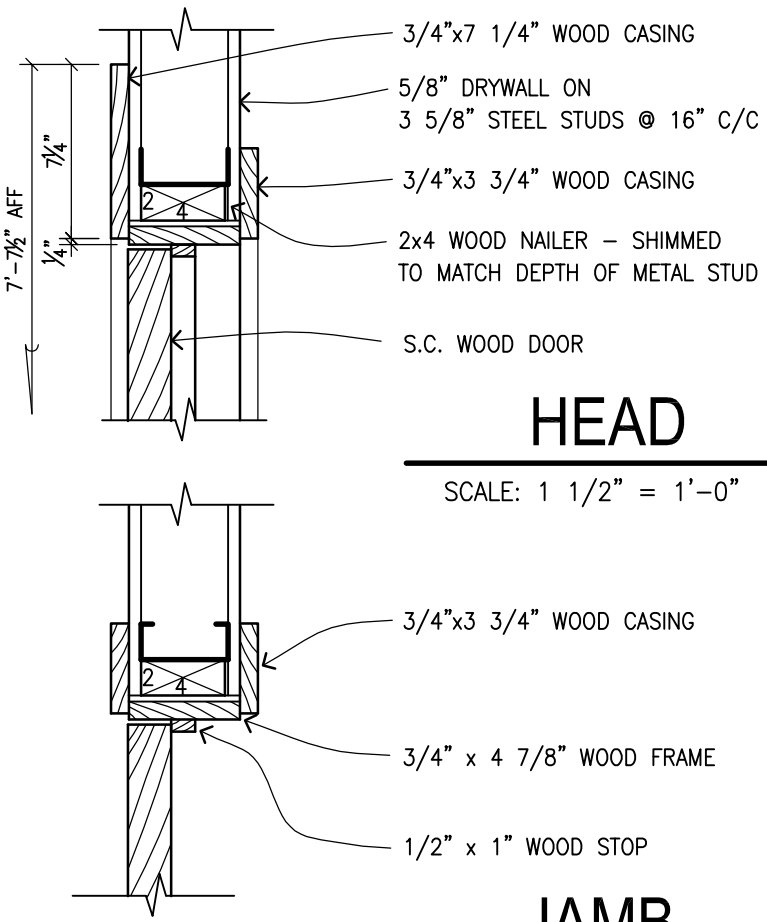
MEN'S TOILET ROOM 010
SCALE: 1/2"=1'-0"
4
A5.0



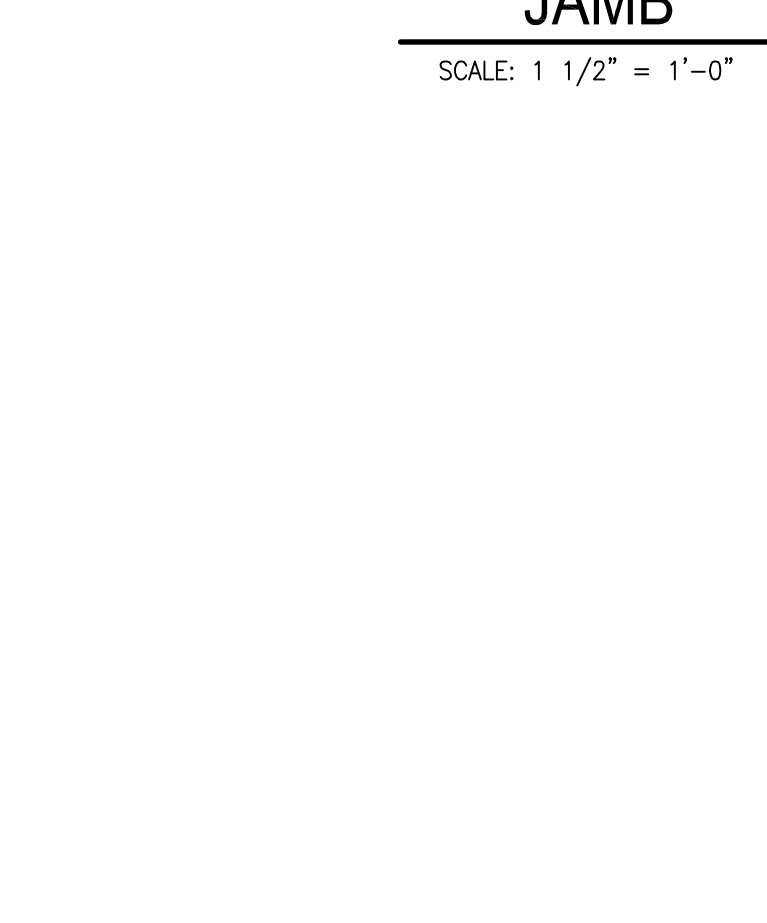
WOMEN'S TOILET ROOM 016
SCALE: 1/2"=1'-0"
3
A5.0

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NEW CREDIT UNION BUILDING FOR: EDUCATORS CREDIT UNION LOT 21, WESTFIELD HEIGHTS SUBDIVISION PLEASANT PRAIRIE, WISCONSIN	
DATE	
9-28-15	
PROJECT	
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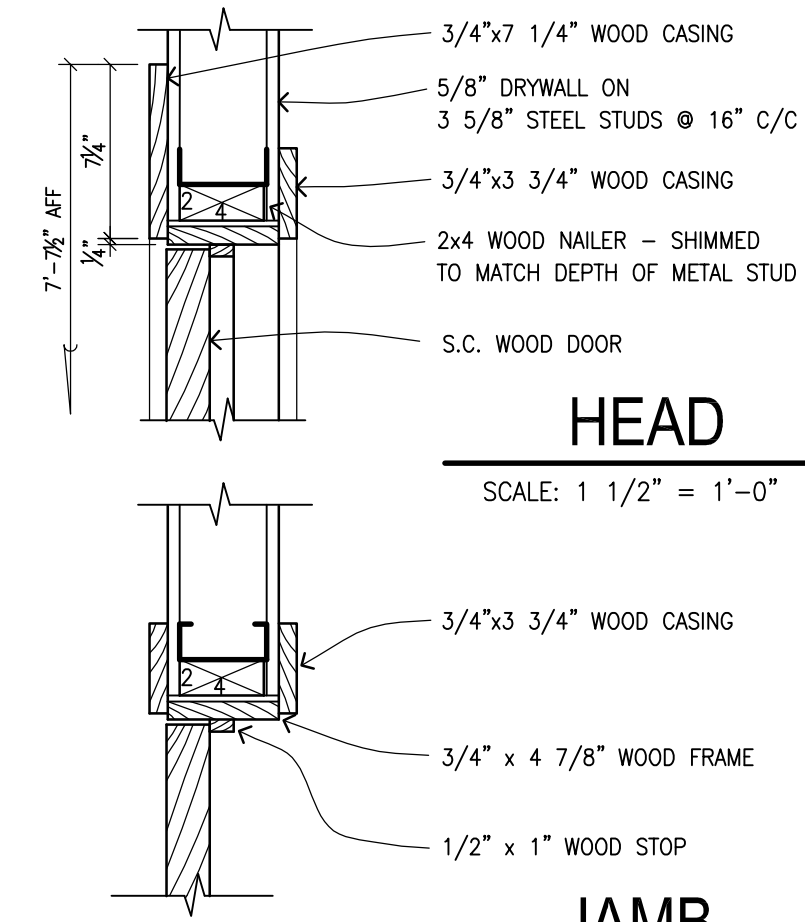
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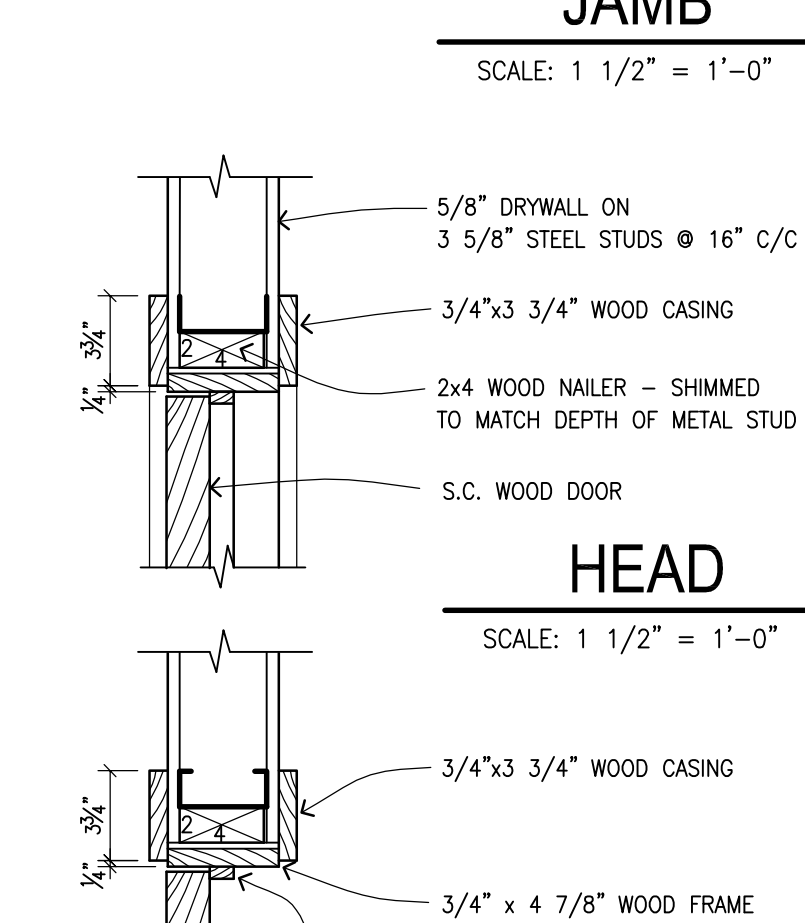
HEAD
SCALE: 1 1/2" = 1'-0" (A7.0)



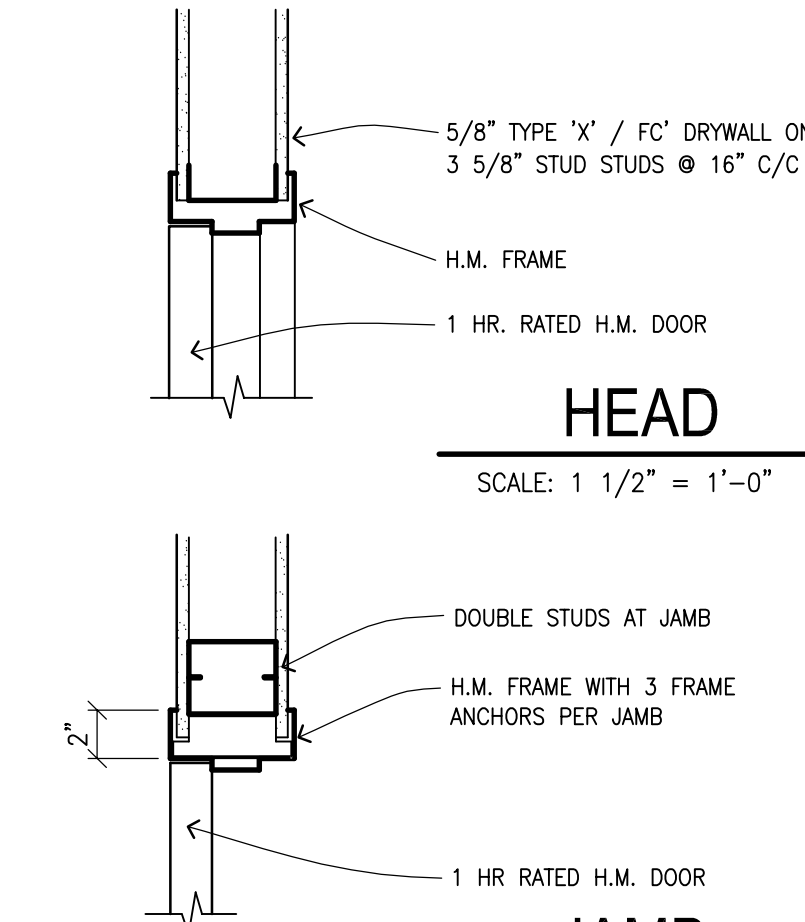
JAMB
SCALE: 1 1/2" = 1'-0" (A7.0)



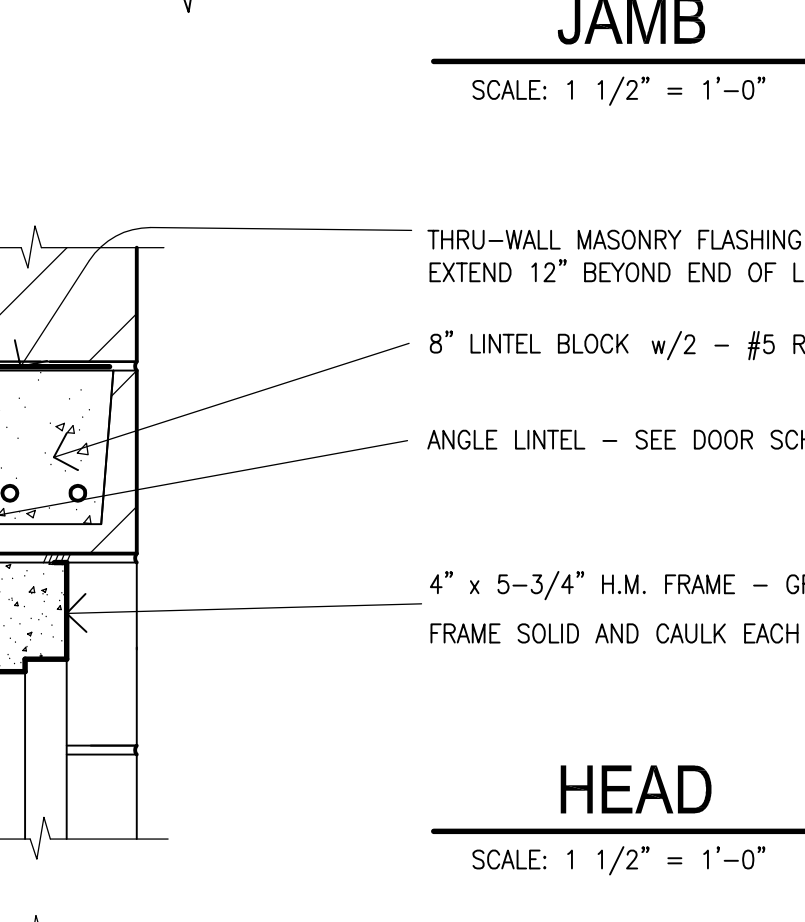
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SCALE: 1 1/2" = 1'-0" (A7.0)



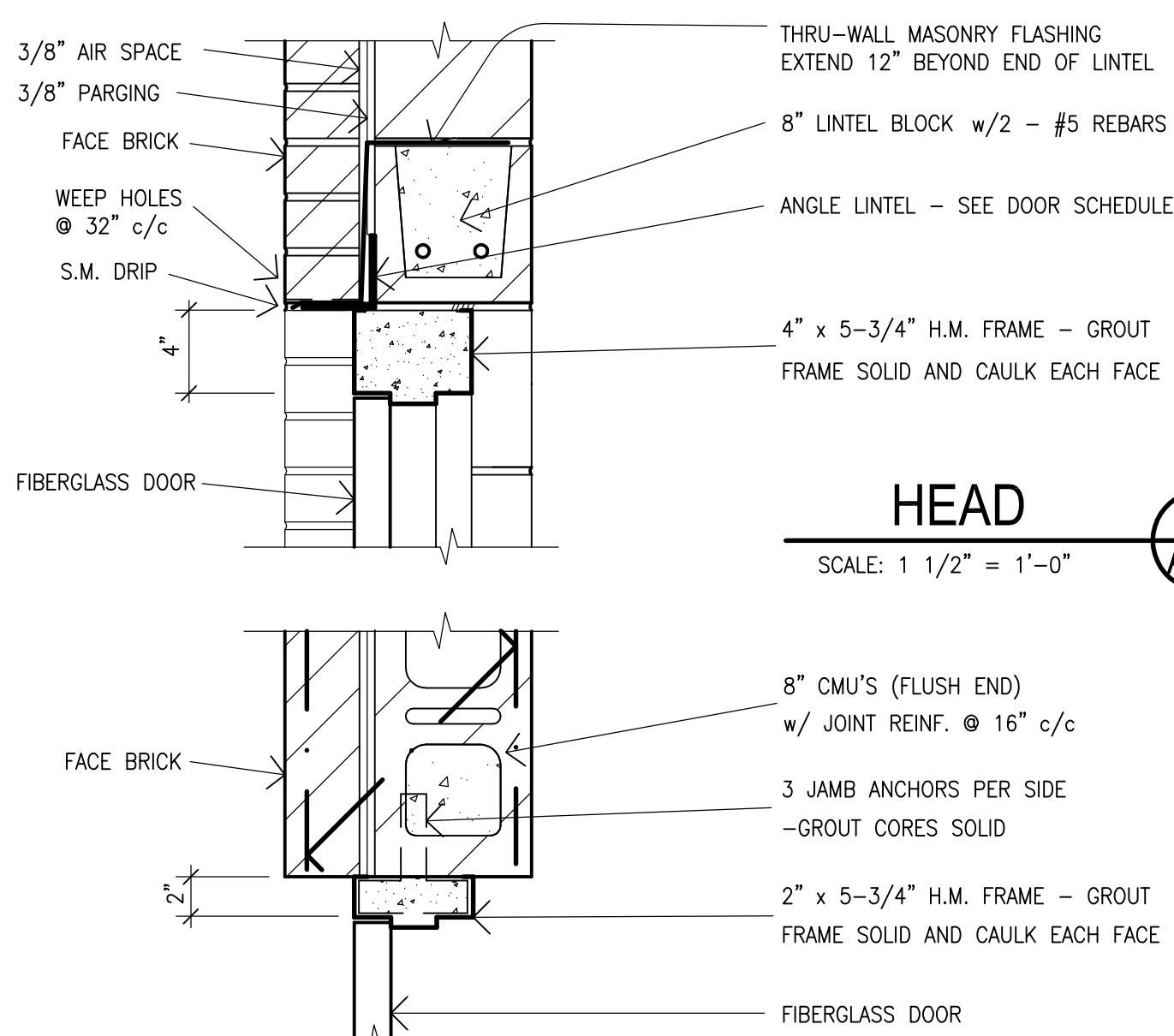
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SCALE: 1 1/2" = 1'-0" (A7.0)



HEAD
SCALE: 1 1/2" = 1'-0" (A7.0)



JAMB
SCALE: 1 1/2" = 1'-0" (A7.0)



HEAD
SCALE: 1 1/2" = 1'-0" (A7.0)



JAMB
SCALE: 1 1/2" = 1'-0" (A7.0)

HARDWARE

- LEVER HANDLE LATCHSETS / LOCKSETS TYPICAL (NATIONAL GUARD NO. 1029A & 199A)
- A - 1 1/2 PAIR BUTTS / LEAF, PLAN BEARING
- B - 1 1/2 PAIR BUTTS / LEAF, BALL BEARING
- C - DOOR STOP (KNOB BUMPER TYPE WHERE SUITABLE)
- D - ADA COMPLIANT SIGN, AS APPLICABLE ("MEN", "WOMEN", "UNSEX", "♂", "♀")
- E - PUSH/PULL PLATES, (2) KICK PLATES
- F - CLOSERS
- G - NON-REMOVABLE PINS
- H - WEATHERSTRIPPING AND BOTTOM SEAL (NATIONAL GUARD NO. 1029A & 199A)
- J - THRESHOLD
- K - LATCH GUARD
- L - ELECTRIC OPERATORS, SEE SPEC.
- M - BOLTS, TOP & BOTTOM FOR INACTIVE LEAF
- N - ADAMS RITE 4510/4590 DEAD LATCH w/ PADLOCK
- O - PUSH/PULL (STYLE 'L'), NORTON CLOSER, OFFSET PINS WEATHERSTRIPPING AND THRESHOLD
- P - AUTOMATIC ENTRANCE HARDWARE - COMPLETE
- Q - SLIDING DOOR HARDWARE - COMPLETE

FINISHES

- 1 - VINYL COMPOSITION TILE: REFER TO INTERIOR DESIGN PLANS
- 2 - CERAMIC TILE: REFER TO INTERIOR DESIGN PLANS
- 3 - EXPOSED CONCRETE: REFER TO INTERIOR DESIGN PLANS
- 4 - CARPET: REFER TO INTERIOR DESIGN PLANS
- 5 - BASE: 4" VINYL COVE. REFER TO INTERIOR DESIGN PLANS
- 6 - BASE: 6" CERAMIC COVE. REFER TO INTERIOR DESIGN PLANS
- 7 - WALL PAINT: REFER TO INTERIOR DESIGN PLANS
- 8 - VINYL WALL COVERING: REFER TO INTERIOR DESIGN PLANS
- 9 - EXTERIOR / INTERIOR METAL (NOT FACTORY PRIMED): (1) COAT ENAMEL PAINT.
- 10 - EXTERIOR / INTERIOR METAL (NOT FACTORY PRIMED): (1) COAT PRIMER, (1) COAT ENAMEL PAINT.
- 11 - INTERIOR WOOD (DOORS, CABINETS, TRIM, ETC.): (1) COAT STAIN, FILLER, SANDING SEALER, VARNISH. MATCH EXISTING LAY-IN PANEL STYLE.
- 12 - ACoustICAL CeILINGS: 2x2' WHITE LAY-IN PANELS IN WHITE SUSPENDED GRID. MATCH EXISTING LAY-IN PANEL STYLE.
- 13 - DRYWALL CeILING - PAINT REFER TO INTERIOR DESIGN PLANS

ROOM FINISH SCHEDULE

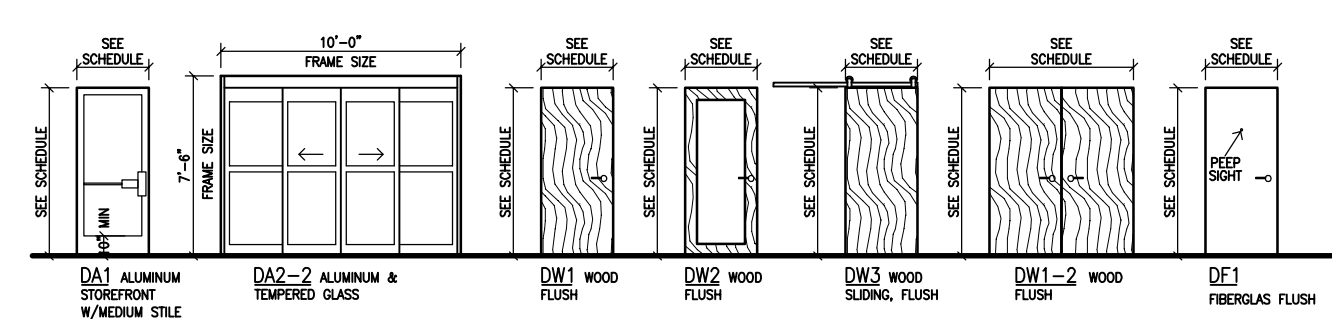
MK	ROOM NAME	FLOOR Material	fin	BASE Material	fin	WALLS Material	fin	CeILING Material	fin	ht	TRIM Material	fin	REMARKS / NOTES
001	LOBBY	V.C.T.	4	CARPET	14	DRYWALL	7	ACoustICAL	12	8'-6"			
002	COAT CLOSET	CARPET	1	4" VINYL	5	DRYWALL	7	ACoustICAL	12	8'-0"			
003	JANITOR'S CLOSET	V.C.T.	1	4" VINYL	5	DRYWALL	7	ACoustICAL	12	8'-0"			
004	ELEVATOR EQUIPMENT	CONCRETE	3	4" VINYL	5	DRYWALL	7	PRECAST CONCRETE	3	10'-2"			
005	STORAGE	CONCRETE	3	4" VINYL	5	DRYWALL	7	PRECAST CONCRETE	3	10'-2"			
006	CORRIDOR	V.C.T.	1	4" VINYL	5	DRYWALL	7	ACoustICAL	12	8'-0"			
007	MECHANICAL / STORAGE	CONCRETE	3	4" VINYL	5	DRYWALL	7	PRECAST CONCRETE	3	10'-2"			
008	IT AREA	CONCRETE	3	4" VINYL	5	DRYWALL	7	PRECAST CONCRETE	3	10'-2"			
009	CONFERENCE ROOM	CARPET	4	CARPET	14	DRYWALL	8	ACoustICAL	12	8'-6"			
010	MEN'S TOILET	CERAMIC TILE	2	CERAMIC TILE	6	DRYWALL	7	ACoustICAL	12	8'-0"			
011	MECHANICAL	CONCRETE	3	4" VINYL	5	DRYWALL	7	PRECAST CONCRETE	3	10'-2"			
012	EMPLOYEE LOUNGE	V.C.T.	1	4" VINYL	5	DRYWALL	8	ACoustICAL	12	8'-0"			
013	CORRIDOR	V.C.T.	1	4" VINYL	5	DRYWALL	7	ACoustICAL	12	8'-0"			
014	OFFICE	CARPET	4	CARPET	14	DRYWALL	8	ACoustICAL	12	8'-6"			
015	OFFICE	CARPET	4	CARPET	14	DRYWALL	8	ACoustICAL	12	8'-6"			
016	WOMEN'S TOILET	CERAMIC TILE	2	CERAMIC TILE	6	DRYWALL	7	ACoustICAL	12	8'-0"			
100	VESTIBULE	CERAMIC TILE	2	-	-	ALUM/GLASS/BRICK	-	DRYWALL	7	8'-0"			
101	MFR OFFICE	CARPET	4	CARPET	14	DRYWALL	8	ACoustICAL	12	9'-0"			
102	MFR OFFICE	CARPET	4	CARPET	14	DRYWALL	8	ACoustICAL	12	9'-0"			
103	SUPPLIES	CARPET	4	CARPET	14	DRYWALL	7	ACoustICAL	12	8'-0"			
104	VIDEO CONFERENCE	CARPET	4	CARPET	14	DRYWALL	7	ACoustICAL	12	8'-0"			
105	VIDEO CONFERENCE	CARPET	4	CARPET	14	DRYWALL	7	ACoustICAL	12	8'-0"			
106	UNISEX TOILET	CERAMIC TILE	2	CERAMIC TILE	6	DRYWALL	2/8	ACoustICAL	12	8'-0"			
107	INVESTMENT OFFICE	CARPET	4	CARPET	14	DRYWALL	7/8	ACoustICAL	12	9'-0"			
108	MFR OFFICE	CARPET	4	CARPET	14	DRYWALL	7/8	ACoustICAL	12	9'-0"			
109	WAITING AREA	CARPET	4	CARPET	14	DRYWALL	7/8	DRYWALL	7	18'-0 7/8"			
110	MEMBER ASSISTANCE AREA	CARPET / C.T.	4/2	CARPET	14/6	DRYWALL	7/8	DRYWALL	7	13'-4 7/8"			
111	BRANCH MANAGER OFFICE	CARPET	4	CARPET	14	DRYWALL	7/8	ACoustICAL	12	9'-0"			
112	ATM ROOM	V.C.T.	1	4" VINYL	5	DRYWALL	7	ACoustICAL	12	8'-10"			
113	ITM ROOM	V.C.T.	1	4" VINYL	5	DRYWALL	7	ACoustICAL	12	8'-10"			
114	CORRIDOR	CARPET	4	CARPET	14	DRYWALL	7	ACoustICAL	12	8'-10"			
S1	STAIRWAY	V.C.T.	1	VINYL WALL STRINGER	5	DRYWALL	7	ACoustICAL	12	VARIES			
S2	STAIRWAY	V.C.T.	1	VINYL WALL STRINGER	5	DRYWALL	7	ACoustICAL	12	VARIES			

WINDOW SCHEDULE

MK	WINDOW size	material/ system	fin	GLAZING	TINT	MISC.	DETAILS	LinTEL material	length	REMARKS / NOTES
1	SEE PLAN	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	E/A4.4	-	-	CENTER GLAZED FRAMING
2	SEE PLAN	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	E/A4.4 (SIM)	-	-	
3	32" x 66 5/8"	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	F/A4.5	BOND BEAM + L 3.5x3.5x2.5	-	
4	32" x 43 1/8"	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	F/A4.5	WOOD FRAMING	-	
5	8" x 26 5/8"	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	H/A4.7	WOOD FRAMING	-	
6	12" x 26 5/8"	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	H/A4.7	WOOD FRAMING	-	
7	32" x 66 5/8"	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	D/A4.3	WOOD FRAMING	-	
8	32" x 32"	KAWNEER ENCORE 1 3/4"x4 1/2"	1	1" INSULATING	EVERGREEN	SOLAR-E	D/A4.3	WOOD FRAMING	-	
9	48" x 80"	WOOD FRAME, STOPS, & TRIM		1/4" TEMPERED	CLEAR	-	3/A7.0 & 4/A7.0 (SIM)	METAL STUD	-	
10	36" x 76"	WOOD FRAME, STOPS, & TRIM		1/4" TEMPERED	CLEAR	-	3/A7.0 & 4/A7.0 (SIM)	METAL STUD	-	
11	42" x 65 5/8"	WOOD FRAME, STOPS, & TRIM		1/4" TEMPERED	CLEAR	-	3/A7.0 & 4/A7.0 (SIM)	METAL STUD	-	

DOOR SCHEDULE

MK	type	size	DOOR material	fin	FRAME material	fin	head	jamb	LOCK/LATCH	HARDWARE	LinTEL material	length	REMARKS / NOTES
001.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	KEYPAD LOCKSET	B,F	METAL STUD	-	
001.2	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	KEYPAD LOCKSET	B,F	METAL STUD	-	
002.1	DW1-2	PR. 2'-6"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	PASSAGE	B,C,M	METAL STUD	-	
003.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	STOREROOM	A,C	METAL STUD	-	
004.1	DW1	3'-6"x7'-0"x1 3/4"	H.M.	10	H.M.	10	5/A7.0	6/A7.0	STOREROOM	B,F,J	METAL STUD	-	1 HR. FIRE RATED DOOR, FRAME & HARDWARE
005.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	STOREROOM	A,C	METAL STUD	-	
007.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	STOREROOM	B,F	METAL STUD	-	
008.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	STOREROOM	B,F	METAL STUD	-	
009.1	DW2	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	PASSAGE	B,C	METAL STUD	-	
010.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	PASSAGE	B,C,D	METAL STUD	-	
011.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	STOREROOM	B,C	METAL STUD	-	
012.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	PASSAGE	B,C	METAL STUD	-	
014.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	OFFICE	A,C	METAL STUD	-	
015.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	OFFICE	A,C	METAL STUD	-	
016.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	PRIVACY	B,C,D	METAL STUD	-	
100.1	DA1	3'-0"x7'-0"x1 3/4"	ALUMINUM	14	ALUMINUM	14	-	-	BY MFR.	J,N,O	-	-	
100.2	DA1	3'-0"x7'-0"x1 3/4"	ALUMINUM	14	ALUMINUM	14	-	-	BY MFR.	J,N,O	-	-	
100.3	DA2-2	4'-0"x7'-0"	ALUMINUM	14	ALUMINUM	14	-	-	BY MFR.	P	METAL STUD	-	
101.1	DW2	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	OFFICE	A,C	METAL STUD	-	
102.1	DW2	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	OFFICE	A,C	METAL STUD	-	
103.1	DW1	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	STOREROOM	A,C	METAL STUD	-	
104.1	DW3	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	-	Q	METAL STUD	-	
105.1	DW3	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	-	Q	METAL STUD	-	
106.1	DW1	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	PRIVACY	B,C,D	METAL STUD	-	
107.1	DW2	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	OFFICE	A,C	METAL STUD	-	
108.1	DW2	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	OFFICE	A,C	METAL STUD	-	
111.1	DW2	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	OFFICE	A,C	METAL STUD	-	
112.1	DW1	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	KEYPAD LOCKSET	A,C	METAL STUD	-	
113.1	DW1	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	KEYPAD LOCKSET	B,F	METAL STUD	-	
113.2	DW1	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	KEYPAD LOCKSET	A,C	METAL STUD	-	
114.1	DW1	3'-0"x7'-11 1/2"x1 3/4"	FIBERGLASS	14	H.M.	10	-	-	EXIT DEVICE	B,F,G,H	METAL STUD	-	ALARMED EXIT DEVICE
115.1	DW2	3'-0"x7'-11 1/2"x1 3/4"	FIBERGLASS	14	WOOD	11	1/A7.0	2/A7.0	OFFICE	A,C	METAL STUD	-	
115.2	DW1	3'-0"x8'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	PASSAGE	A,C	METAL STUD	-	
S1.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	PASSAGE	B,F	METAL STUD	-	
S1.2	DW1	3'-0"x7'-0"x1 3/4"	FIBERGLASS	14	H.M.	10	-	-	EXIT DEVICE	B,F,G,H	METAL STUD	-	ALARMED EXIT DEVICE
S1.3	DW1	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	KEYPAD LOCKSET	B,F	METAL STUD	-	
S2.1	DW1	3'-0"x7'-0"x1 3/4"	WOOD S.C.	11	WOOD	11	3/A7.0	4/A7.0	PASSAGE	B,F	METAL STUD	-	
S2.2	DW1	3'-0"x7'-0"x1 3/4"	FIBERGLASS	14	H.M.	10	-	-	EXIT DEVICE	B,F,G,H	METAL STUD	-	ALARMED EXIT DEVICE
S2.3	DW1	3'-0"x7'-11 1/2"x1 3/4"	WOOD S.C.	11	WOOD	11	1/A7.0	2/A7.0	KEYPAD LOCKSET	B,F	METAL STUD	-	



DOOR TYPES

DATE: 9-28-15
PROJECT: 1501
SHEET: A7.0

CONSULTANTS: MAP ARCHITECTURE · ENGINEERING · PLANNING MILWAUKEE ARCHITECTS & PLANNERS, INC. 10859 WEST BLUEMOUND ROAD - SUITE 200 - MILWAUKEE, WI 53226 (414) 476-1212 · (414) 476-1862 (FAX) · www.mps-eb.com

NEW CREDIT UNION BUILDING FOR: EDUCATORS CREDIT UNION LOT 21, WESTFIELD HEIGHTS SUBDIVISION PLEASANT PRAIRIE, WISCONSIN

STRUCTURAL NOTES

1.0 GENERAL

- 1.1 THE FOLLOWING GENERAL AND SPECIFIC NOTES APPLY EQUALLY TO ALL CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS ENGAGED IN THE WORK SHOWN ON THESE PLANS. THESE NOTES SUPPLEMENT AND ARE MADE A PART OF THE CONTRACT DOCUMENTS.
- 1.2 ALL CONSTRUCTION SHALL BE EXECUTED IN CONFORMANCE WITH THE FOLLOWING:
 - PLANS AND SPECIFICATIONS
 - STATE OF WISCONSIN BUILDING AND SAFETY CODES
 - GOVERNING FEDERAL, LOCAL AND MUNICIPAL ORDINANCES
- 1.3 SHOP DRAWINGS: SHOP DRAWINGS SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO FABRICATION. GENERAL CONTRACTOR SHALL REVIEW AND APPROVE SHOP DRAWINGS AND SUBMITALS PRIOR TO SUBMITTING TO ARCHITECT/ENGINEER. APPROVAL OF SHOP DRAWINGS BY THE ARCHITECT/ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR CORRECTNESS AND PROPER FIT.
- 1.4 EXISTING CONDITIONS: INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE, THE ACTUAL EXISTING FIELD CONDITIONS. MILWAUKEE ARCHITECTS & PLANNERS MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTORS AND/OR SUBCONTRACTORS SHALL FIELD MEASURE AND/OR VERIFY EXISTING CONDITIONS THAT AFFECT NEW WORK PRIOR TO FABRICATION AND/OR CONSTRUCTION. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO MILWAUKEE ARCHITECTS & PLANNERS FOR REVIEW. ANY WORK PERFORMED PRIOR TO A RESOLUTION OF DISCREPANCIES BY MILWAUKEE ARCHITECTS & PLANNERS IS AT THE CONTRACTOR'S RISK.
- 1.5 THE ROOF FRAMING SYSTEM SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR CODE SPECIFIED, UNIFORMLY DISTRIBUTED ROOF DEAD AND SNOW LOADS, NON-UNIFORM SNOW DRIFT LOADS (WHERE APPLICABLE), AND A UNIFORMLY DISTRIBUTED LOAD OF 4 PSF TO ACCOUNT FOR ELECTRICS, LIGHTING, AND OCCASIONAL PIPING SMALLER THAN 2" DIAMETER. IN ADDITION, SPECIAL LOADS HAVE BEEN TAKEN INTO ACCOUNT WHERE SHOWN ON THE PLANS. ANY CONTRACTOR WISHING TO SUPPORT EQUIPMENT, OR OTHER ITEMS THAT WILL SUBJECT THE ROOF STRUCTURE TO CONCENTRATED LOADS SHALL SUBMIT SHOP DRAWINGS SHOWING WEIGHTS AND PROPOSED SUPPORT LOCATIONS TO THE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. ANY CONTRACTOR WHO INSTALLS EQUIPMENT WITHOUT OBTAINING APPROVAL FROM THE ARCHITECT/ENGINEER SHALL EITHER REMOVE THE EQUIPMENT AND SUBMIT SHOP DRAWINGS FOR APPROVAL, OR SHALL PAY FOR THE COST OF REPAIRING THE ROOF MEMBERS TO RESIST THE ADDITIONAL LOADS.
- 1.6 DESIGN LOADS (IBC/WEBCB 1607): (SEE STRUCTURAL CALCULATIONS)

ROOF LOADS	25.5 PSF
DEAD LOAD	7.5 PSF
FLOOR LOADS	76 PSF
PLANK WEIGHT	10 PSF
S/L DEAD LOAD	100 PSF
LOBBIES	100 PSF
OFFICES	100 PSF
MECHANICAL ROOM	100 PSF
- 1.7 SNOW LOAD DESIGN CRITERIA (IBC/WEBCB 1609): (SEE STRUCTURAL CALCULATIONS)

GROUND SNOW LOAD (P _s)	35.0 PSF
IMPORTANCE FACTOR (I)	1.0
SNOW EXPOSURE FACTOR (C _e)	1.0 (EXPOSURE B)
SNOW THERMAL FACTOR (C _t)	1.0
ROOF SLOPE FACTOR (C _d)	1.0 (2:12 PITCH)
DESIGN ROOF SNOW PRESSURE (P _s)	24.5 (PLUS APPLICABLE DRIFT)
- 1.8 WIND LOAD DESIGN CRITERIA (IBC/WEBCB 1609): (SEE STRUCTURAL CALCULATIONS)

BASE WIND SPEED (V)	90 MPH
IMPORTANCE FACTOR (I _w)	1.0
EXPOSURE CATEGORY	B

 DESIGN WIND PRESSURES (COMPONENTS AND CLADDING) - SEE DIAGRAM IN STRUCTURAL CALCULATIONS
- 1.9 SEISMIC DATA (IBC/WEBCB 1609): (SEE STRUCTURAL CALCULATIONS)

SEISMIC USE GROUP CATEGORY	II
IMPORTANCE FACTOR (I _s)	1.0
SPECTRAL RESPONSE COEFFICIENT, S _s	1.139
SPECTRAL RESPONSE COEFFICIENT, S ₁	0.709
SITE CLASS	D

 SEISMIC DESIGN CATEGORY: ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE ANALYSIS
 FORCE RESISTING SYSTEM: MASONRY SHEAR WALLS

2.0 SUBSURFACE PREPARATION

- 2.1 THESE SUBSURFACE PREPARATION NOTES DO NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. REFERENCE THE PROJECT MANUAL FOR MORE INFORMATION. CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH THE SUBSURFACE CONDITIONS PRIOR TO COMMENCING WITH SITE WORK.
- 2.2 FOUNDATIONS HAVE BEEN DESIGNED USING A VERIFIED SAFE NET SOIL BEARING CAPACITY OF 3,500 PSF. IF ON-SITE GEOTECHNICAL INVESTIGATIONS SHOULD REVEAL SAFE BEARING CAPACITIES LESS THAN THIS, CONTACT MILWAUKEE ARCHITECTS & PLANNERS IMMEDIATELY TO RE-EVALUATE THE FOUNDATION DESIGN.
- 2.3 NO HOLES, TRENCHES OR DISTURBANCES OF THE SOIL SHALL BE ALLOWED WITHIN THE VOLUME DESCRIBED BY A 45° SLOPE FROM THE BOTTOM EDGE OF THE FOOTING. IF SUCH ARE REQUIRED, THE FOOTING MUST BE LOWERED. CONTACT MILWAUKEE ARCHITECTS & PLANNERS IMMEDIATELY TO DISCUSS REVISIONS TO THE FOUNDATION PLAN.
- 2.4 NO PIPING, CONDUIT, OR OTHER UTILITIES SHALL BE ALLOWED TO PASS BENEATH FOOTINGS. IF SUCH ARE PRESENT OR REQUIRED, THE FOOTING MUST BE LOWERED. CONTACT MILWAUKEE ARCHITECTS & PLANNERS IMMEDIATELY TO DISCUSS REVISIONS TO THE FOUNDATION PLAN.
- 2.5 ALL NON-COHESIVE SOILS SHALL BE THOROUGHLY COMPACTED PER THE INSTRUCTIONS OF THE ON-SITE GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF FOOTINGS.
- 2.6 PRIOR TO THE CONSTRUCTION OF THE FLOOR SLAB OR PLACEMENT OF ENGINEERED FILL, REMOVE ANY REMAINING SURFICIAL TOPSOIL, VEGETATION, FROZEN OR WET SOIL. THE EXPOSED SUBGRADE SHALL THEN BE INSPECTED BY THE GEOTECHNICAL ENGINEER. THE EXPOSED SUBGRADE SHALL BE PROOF-ROLLED WITH A HEAVY ROLLER OR FULLY LOADED DUMP TRUCK TO CHECK FOR POCKETS OF WEAK MATERIAL AT SHALLOW DEPTHS. ALL UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIALS PER THE SPECIFICATION.

3.1 REINFORCED CONCRETE

- 3.1.1 REINFORCED CONCRETE SHALL BE DESIGNED, MANUFACTURED AND CAST IN CONFORMANCE WITH THE FOLLOWING STANDARDS:
 - ACI 318 SPECIFICATIONS OF STRUCTURAL CONCRETE FOR BUILDINGS
 - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 - ACI 117 SPECIFICATIONS AND TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS
 - ACI 315 MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES
- 3.1.2 MINIMUM CONCRETE COMPRESSIVE STRENGTHS (F_c) AT 28 DAYS:

FOOTINGS	3,000 PSI
WALLS, PIERS	4,000 PSI
INTERIOR SLABS ON GRADE	4,000 PSI
INTERIOR PRECAST PLANK TOPPING	4,000 PSI
EXTERIOR SLABS ON GRADE	3,500 PSI
- 3.1.3 CONCRETE EXPOSED TO EARTH OR WEATHER SHALL BE AIR ENTRAINED.
- 3.1.4 REINFORCING STEEL FOR CONCRETE AND MASONRY SHALL CONFORM TO ASTM A615, GRADE 60.
- 3.1.5 SPLICES: ALL REINFORCING SHALL BE LAPPED IN ACCORDANCE WITH ACI 318 REQUIREMENTS SET FORTH IN CHAPTER 12.
- 3.1.6 CONCRETE REINFORCING PROTECTION (COVER):

CONCRETE CAST AGAINST EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER	2"
#5 THROUGH #8 BARS	1 1/2"
#3 AND SMALLER BARS	1"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER	1 1/2"
SLABS, WALLS, JOISTS WITH #11 AND SMALLER BARS 3/4" BEAMS, COLUMNS (3 HR. RATING)	2"
BEAMS, COLUMNS (3 HR. RATING)	2"
- 3.1.7 ALL SLABS ON GRADE SHALL BE REINFORCED WITH 6#-W2.9W2.9 WELDED WIRE FABRIC UNLESS OTHERWISE NOTED ON THE PLAN. LAP WIRE FABRIC 8" MINIMUM. PLACE REINFORCING MESH ONE-THIRD OF THE SLAB THICKNESS BELOW THE TOP SURFACE OF THE SLAB, WITH A MINIMUM COVER OF 1 1/2".
- 3.1.8 CONTROL JOINTS SHALL BE SAWCUT AS SOON AS THE SLAB IS FIRM ENOUGH SO THAT THE CONCRETE IS NOT TORN OR DAMAGED BY THE SLAB OF THE SAW. APPROXIMATELY 4-12 HOURS AFTER FINISHING. JOINTS SHALL BE CUT NO LATER THAN 12 HOURS AFTER FINISHING. ALTERNATE "SOFT-CUT" JOINTS APPROXIMATELY 1-4 HOURS AFTER FINISHING.

- 3.1.9 CONCRETE CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST 24 HOURS PRIOR TO CASTING CONCRETE.
- 3.1.10 DO NOT CUT HOLES IN ANY STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER. PIPES AND CONDUIT EMBEDDED IN OR PASSING THROUGH CONCRETE MEMBERS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
- 3.1.11 PIPES, CONDUIT, ETC. EMBEDDED IN OR PASSING THROUGH STRUCTURAL CONCRETE MEMBERS SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL BY THE STRUCTURAL ENGINEER. CONCRETE CONTRACTOR TO PROVIDE AND COORDINATE WITH ALL OTHER TRADES FOR SIZE AND LOCATION OF ANY AND ALL OPENING, SLEEVES ETC. OCCURRING IN WALLS, FOOTINGS, FLOORS, ETC.
- 3.1.12 PROVIDE BOND BREAKER MATERIAL WHERE SLABS ABUT WALLS, COLUMNS AND OTHER VERTICAL SURFACES.
- 3.1.13 HOT WEATHER CONCRETING: CONTRACTOR TO FOLLOW PROCEDURES SET FORTH BY ACI 305 "HOT WEATHER CONCRETING" WHEN THE MAXIMUM DAILY TEMPERATURE EXCEEDS 85°F OR WHEN RAPID DRYING/EVAPORATION CONDITIONS EXIST.
- 3.1.14 COLD WEATHER CONCRETING: CONTRACTOR TO FOLLOW PROCEDURES SET FORTH BY ACI 306 "COLD WEATHER CONCRETING" WHEN FREEZING CONDITIONS EXIST OR WHEN THE AVERAGE DAILY TEMPERATURE IS BELOW 40°F.

3.2 PRECAST CONCRETE

- 3.2.1 PRECAST CONCRETE SHALL BE DESIGNED, MANUFACTURED AND CAST IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE AND PRECAST CONCRETE INSTITUTE STANDARDS.
- 3.2.2 PRECAST MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL BY MILWAUKEE ARCHITECTS & PLANNERS. PRECAST CONCRETE SHOP DRAWINGS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF WISCONSIN. SHOP DRAWINGS SHALL CLEARLY SHOW DESIGN LOADS, CAMBER, SIZE/SPACING OF PLANK AND OTHER PRECAST ELEMENTS, REINFORCING, SEALING, AND ANY SPECIAL CONDITIONS.
- 3.2.3 ANY FABRICATION PRIOR TO THE RETURN OF SHOP DRAWINGS REVIEWED BY MILWAUKEE ARCHITECTS & PLANNERS SHALL BE AT THE RISK OF THE PRECAST CONCRETE FABRICATOR.
- 3.2.4 PRECAST PLANK SHALL HAVE A MINIMUM BEARING OF 1 1/2" ON STEEL, 3" ON CONCRETE, AND 4" ON CONCRETE MASONRY, UNLESS OTHERWISE NOTED.
- 3.2.5 PRECAST DESIGNER AND RETAILER SHALL REVIEW MECHANICAL PLANS FOR EQUIPMENT LOADS AND PENETRATIONS NOT SHOWN ON STRUCTURAL PLANS.
- 3.2.6 PRECAST FABRICATOR SHALL PROVIDE AND INSTALL ALL HANGERS, CLIPS, PLATES, MASONRY ANCHORS, ETC. WHICH MUST BE EMBEDDED IN THE PLANK, UNLESS NOTED OTHERWISE.
- 3.2.7 AT 2" THICK BONDED STRUCTURAL TOPPING, PROVIDE 6#-W14W14 WELDED WIRE FABRIC (L.I.N.O.)

4.0 CONCRETE MASONRY

- 4.1 CONCRETE MASONRY SHALL BE DESIGNED, MANUFACTURED AND ERECTED IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE PUBLICATIONS 530 AND 530.1, AND NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS.
- 4.2 MORTAR SHALL BE DESIGNED IN CONFORMANCE WITH ASTM C270, TYPE M OR S. MORTAR SHALL CONTAIN PORTLAND CEMENT AND LIME. MASONRY CEMENT IS NOT ALLOWED.
- 4.3 HOLLOW CONCRETE MASONRY UNITS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM C90.
- 4.4 MASONRY & GROUT MATERIAL STRENGTHS: ALL GROUT SHALL BE NON-SHRINK, CONFORMING TO ASTM C476, F_m=2,800 PSI COMPRESSIVE STRENGTH AS DETERMINED BY ASTM C1019. CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F_m) OF 2,800 PSI. CONCRETE MASONRY NET ASSEMBLY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F_m) OF 2,000 PSI.
- 4.5 CONCRETE MASONRY SHALL BE LAD IN RUNNING (COMMON) BOND, UNLESS OTHERWISE NOTED.
- 4.6 BOND BEAMS ARE TO BE OPEN TYPE BLOCKS. DO NOT USE THROUGH TYPE BLOCKS.

- 4.7 VERTICAL REINFORCING IN MASONRY WALLS SHALL BE POSITIONED PER PLANS AND DETAILS. MAINTAIN POSITION FULL HEIGHT OF WALL OR AS SPECIFIED ON THE PLANS. GROUT CORES FULL HEIGHT.
- 4.8 JOINT REINFORCEMENT: PROVIDE LARGER TYPE REINFORCEMENT FABRICATED OF 9 GA. MINIMUM WIRE DIAMETER AT EVERY SECOND BLOCK COURSE, 16" C/C VERTICALLY, IN ALL WALLS U.N.O. INSTALL REINFORCEMENT IN THE FIRST AND SECOND BED JOINTS, 8" C/C IMMEDIATELY ABOVE AND BELOW OPENINGS. EXTEND THE REINFORCEMENT 2'-0" BEYOND JAMES, MIN.
- 4.9 PROVIDE 3/8" FULL MORTAR BED BENEATH FIRST COURSE OF MASONRY UNITS.
- 4.10 WHEAT STEEL BEAMS BEAR IN CONCRETE MASONRY. PROVIDE (2) #5 BARS VERTICAL FROM FOUNDATION TO BEAM BEARING AND GROUT CORES, UNLESS OTHERWISE NOTED. PROVIDE BEARING PL 1/2" x 7 1/2" x 8" w/ (2) 3/4" HGA. UNLESS NOTED OTHERWISE.
- 4.11 REINFORCED PLIERS SHALL HAVE #2 TIES @ 16" C/C VERTICAL.
- 4.12 MINIMUM REINFORCING BAR DEVELOPMENT IN MASONRY (SEE SCHEDULES).

5.1 STRUCTURAL STEEL

- 5.1.1 STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN CONFORMANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION CODE OF STANDARD PRACTICE.
- 5.1.2 STRUCTURAL STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY MILWAUKEE ARCHITECTS & PLANNERS. ANY FABRICATION PRIOR TO THE RETURN OF SHOP DRAWINGS REVIEWED BY MILWAUKEE ARCHITECTS & PLANNERS SHALL BE AT THE RISK OF THE STRUCTURAL STEEL FABRICATOR.
- 5.1.3 CONNECTIONS THAT ARE NOT FULLY DETAILED OR DETAILED ON THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE STEEL FABRICATOR. SHOP DRAWINGS SHALL INCLUDE CALCULATIONS, SEALED AND SIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF WISCONSIN. DESIGN FOR THE REACTION GIVEN OR PERCENT OF MAXIMUM WEB SHEAR. CONNECTIONS CAPPING CALCULATED STRESSES, SHALL BE UNLESS TO SUPPORT NOT LESS THAN 8 KIPS.
- 5.1.4 STRUCTURAL STEEL MATERIALS (UNLESS OTHERWISE NOTED):

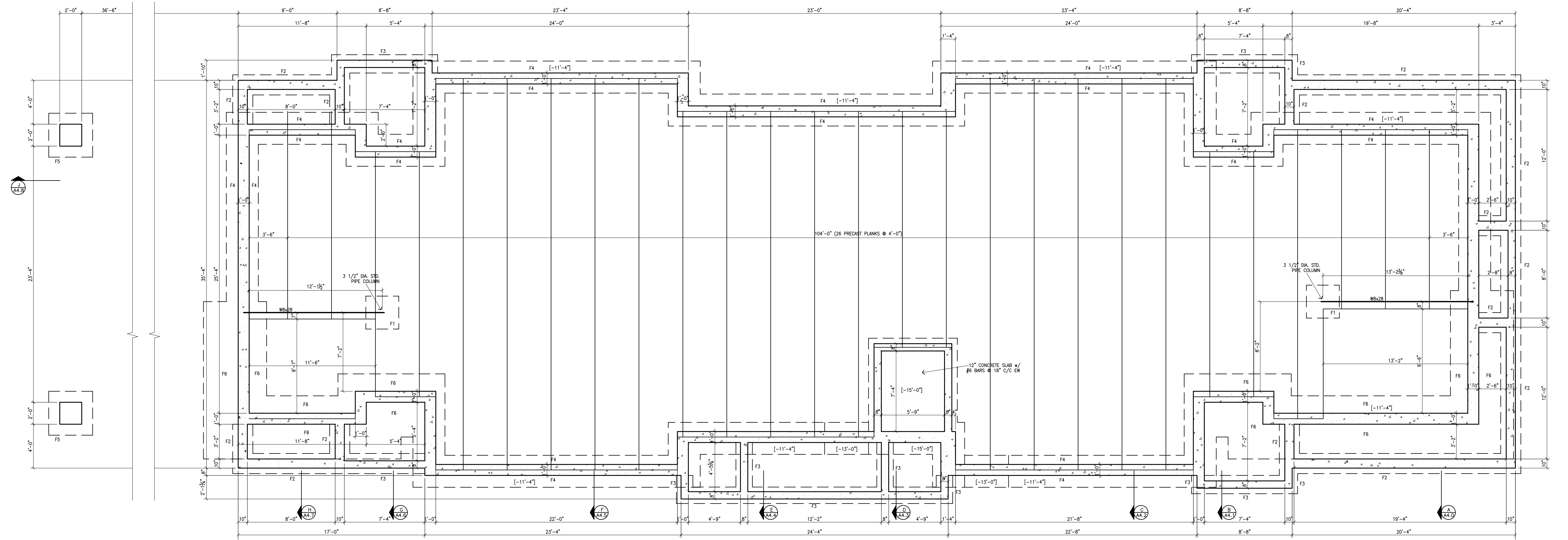
WIDE FLANGE (W) SHAPES	ASTM A992	F _y = 50,000 PSI
SQUARE/RECTANGULAR TUBING (HSS)	ASTM A500 GR. B	F _y = 46,000 PSI
ROUND TUBING (HSS)	ASTM A500 GR. B	F _y = 42,000 PSI
ROUND PIPE	ASTM A53 GR. B	F _y = 35,000 PSI
OTHER STRUCTURAL SHAPES	ASTM A36	F _y = 36,000 PSI
BARS AND PLATE	ASTM A36	F _y = 36,000 PSI
COLUMN ANCHOR RODS	ASTM F1554	F _y = 36,000 PSI
HIGH STRENGTH BOLTS	ASTM A325	TYPE N
WELD EPO ELECTRODE SERIES		
- 5.1.5 USE A MINIMUM OF 2 BOLTS PER CONNECTION.
- 5.1.6 ALL WELDING IS TO BE PERFORMED BY CERTIFIED WELDERS IN CONFORMANCE WITH AMERICAN WELDING SOCIETY AND AMERICAN INSTITUTE OF STEEL CONSTRUCTION STANDARDS.
- 5.1.7 GROUT BENEATH COLUMN SETTING PLATES SHALL REACH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS (L.I.N.O.). GROUT SHALL BE NON-SHRINK. GROUT MAY BE BROKED OR FORMED, BUT IN EITHER CASE SHALL BE PLACED OVER THE FULL AREA BENEATH AND EXTEND 3/4" BEYOND THE EDGE OF THE SETTING PLATE.

WOOD FRAMING AND PREFABRICATED WOOD TRUSSES (IBC/WEBCB CHAPTER 23)

- 6.1 PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED, DETAILED, FABRICATED AND ERECTED IN CONFORMANCE WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION AND TRUSS PLATE INSTITUTE STANDARD SPECIFICATIONS. TRUSSES SHALL MEET THE REQUIREMENTS OF SECTION 2303.4 OF THE INTERNATIONAL BUILDING CODE.
- 6.2 WOOD TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL BY MILWAUKEE ARCHITECTS & PLANNERS. PREFABRICATED WOOD TRUSS SHOP DRAWINGS AND CALCULATIONS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF WISCONSIN. TRUSS SHOP DRAWINGS SHALL MEET THE REQUIREMENTS OF SECTION 2303.4.1 OF THE INTERNATIONAL BUILDING CODE.
- 6.3 WOOD TRUSS SHOP DRAWINGS SHALL SHOW BRIDGING FOR ERECTION AND IN-SERVICE STABILITY.

FOOTING & FOUNDATION & FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"



FOOTING SCHEDULE					
SPREAD FOOTINGS					
MARK	SIZE	EXTERIOR TOE	INTERIOR TOE	REINFORCEMENT	VERTICAL WALL REINFORCEMENT ABOVE
F1	36" x 36" x 12"			LONGITUDINAL	TIES
F2	18" x 8" STRIP	4"	4"	(2) #4 BARS CONT.	#4 BARS @ 16" C/C
F3	18" x 8" STRIP	5"	5"	(2) #4 BARS CONT.	#4 BARS @ 16" C/C
F4	35" x 12" STRIP	13"	10"	(3) #5 BARS CONT.	#7 BARS @ 18" C/C
F5	48" x 48" x 12"			(4) #5 BARS @ 14" C/C EW	(4) #8 BARS
F6	69" x 12" STRIP	38"	19"	(5) #5 BARS CONT. TOP (2) #5 BARS CONT. BOTT. @ INT. TOE	#5 BARS @ 14" C/C TOP #5 BARS @ 12" C/C BOTT.

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DATE
9-28-15

PROJECT
1501

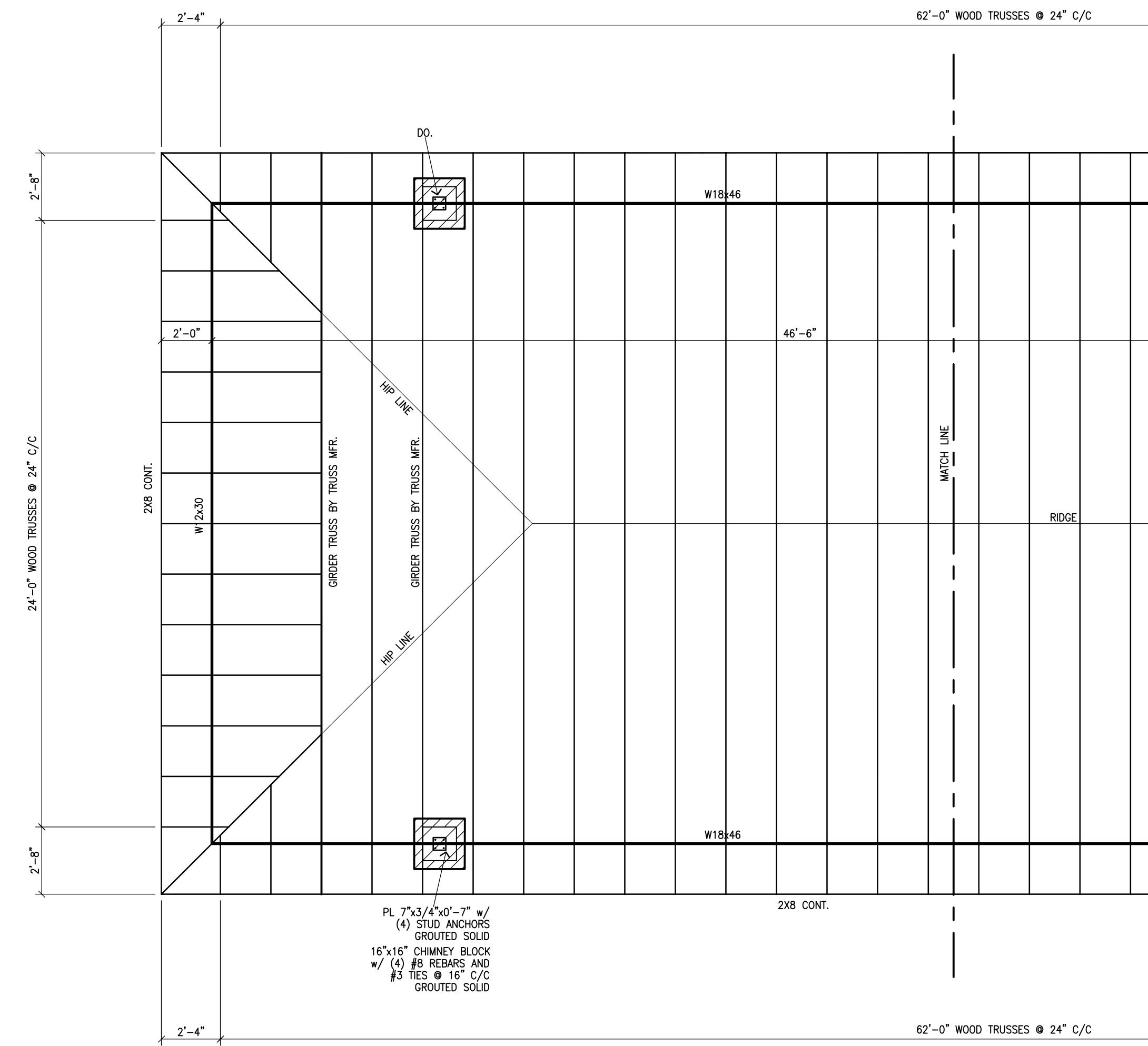
SHEET
S1.0

NEW CREDIT UNION BUILDING FOR:
EDUCATORS CREDIT UNION

MAP
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MILWAUKEE ARCHITECTS & PLANNERS, INC.
10859 WEST BLUEMOUND ROAD - SUITE 200 - MILWAUKEE, WI 53226
(414) 476-1212 · (414) 476-1862 (FAX) · www.mapep.com

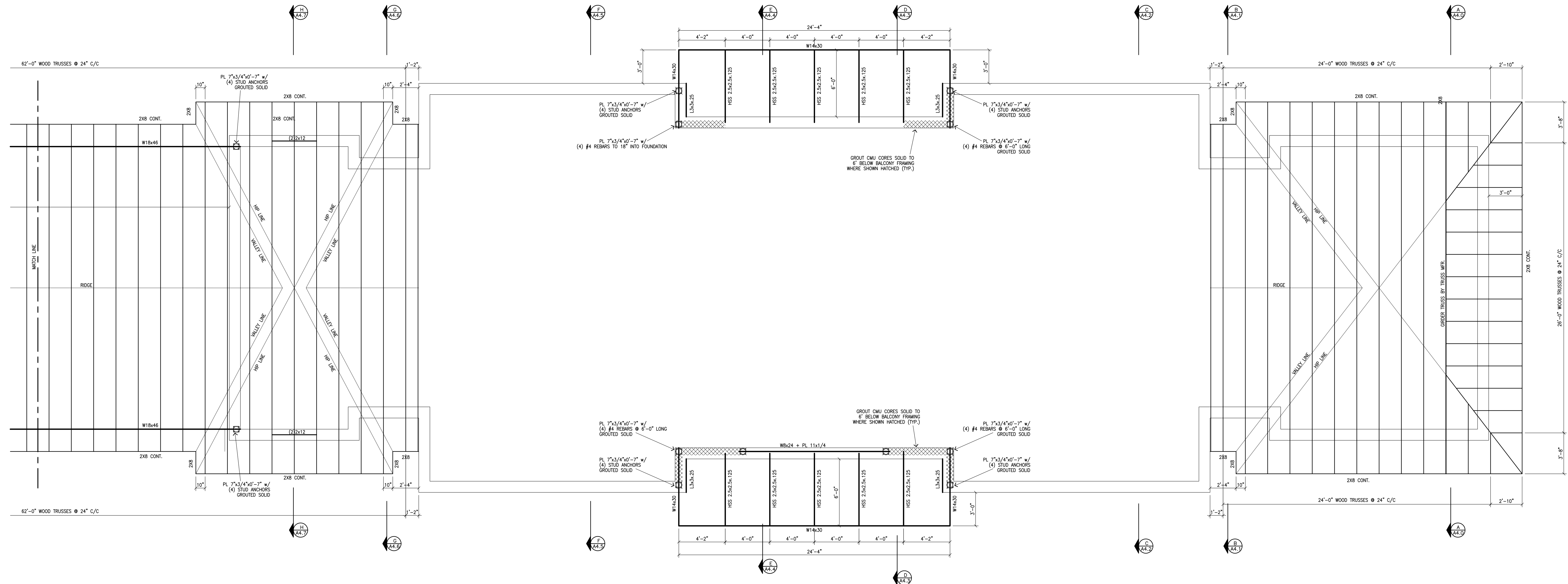
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LOWER LEVEL ROOF FRAMING PLAN - EAST END

SCALE: 1/4"=1'-0"



LOWER LEVEL ROOF FRAMING PLAN - WEST END

SCALE: 1/4"=1'-0"

DATE

REVISIONS
NO. DESCRIPTION

CONSULTANTS



NEW CREDIT UNION BUILDING FOR:
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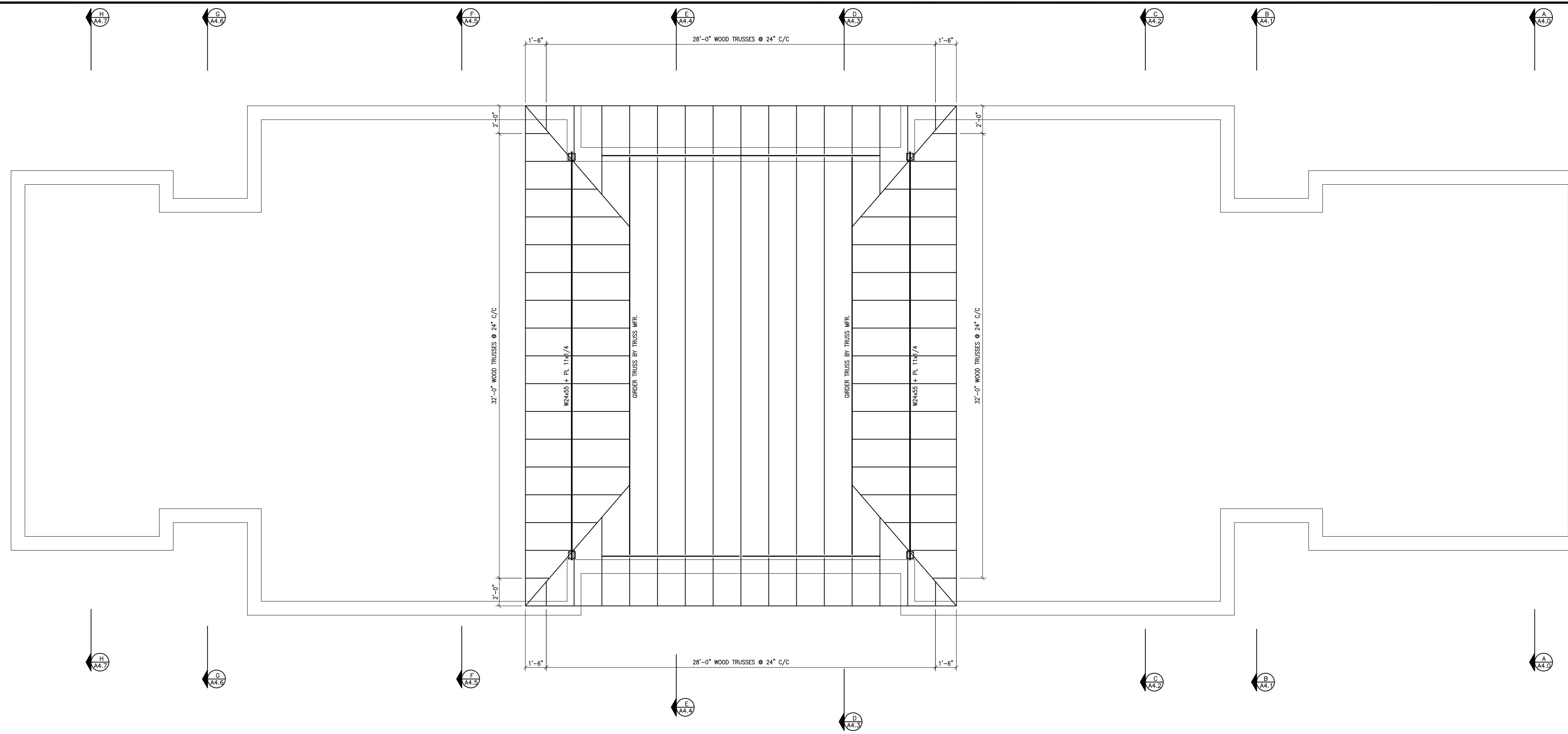
**LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN**

DATE
9-28-15

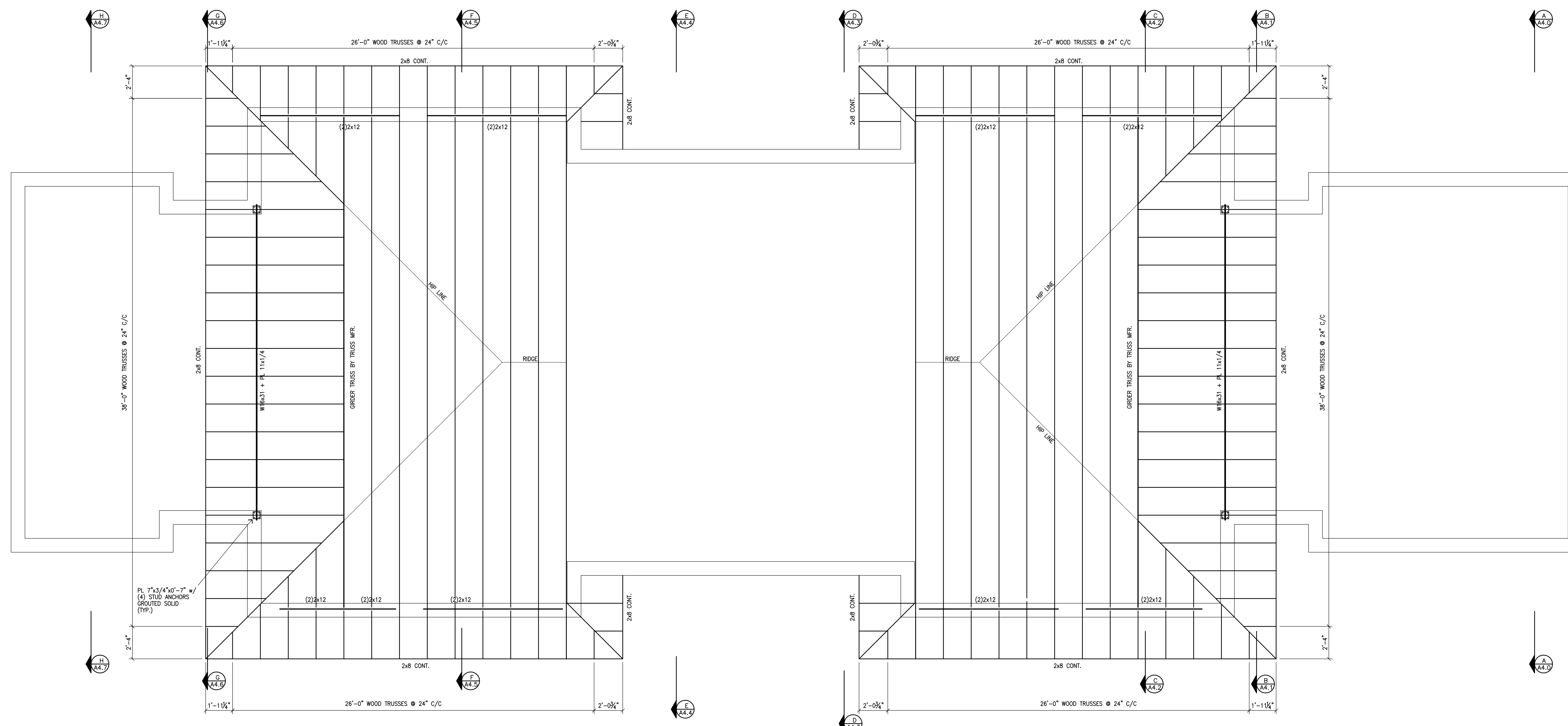
PROJECT
1501

SHEET
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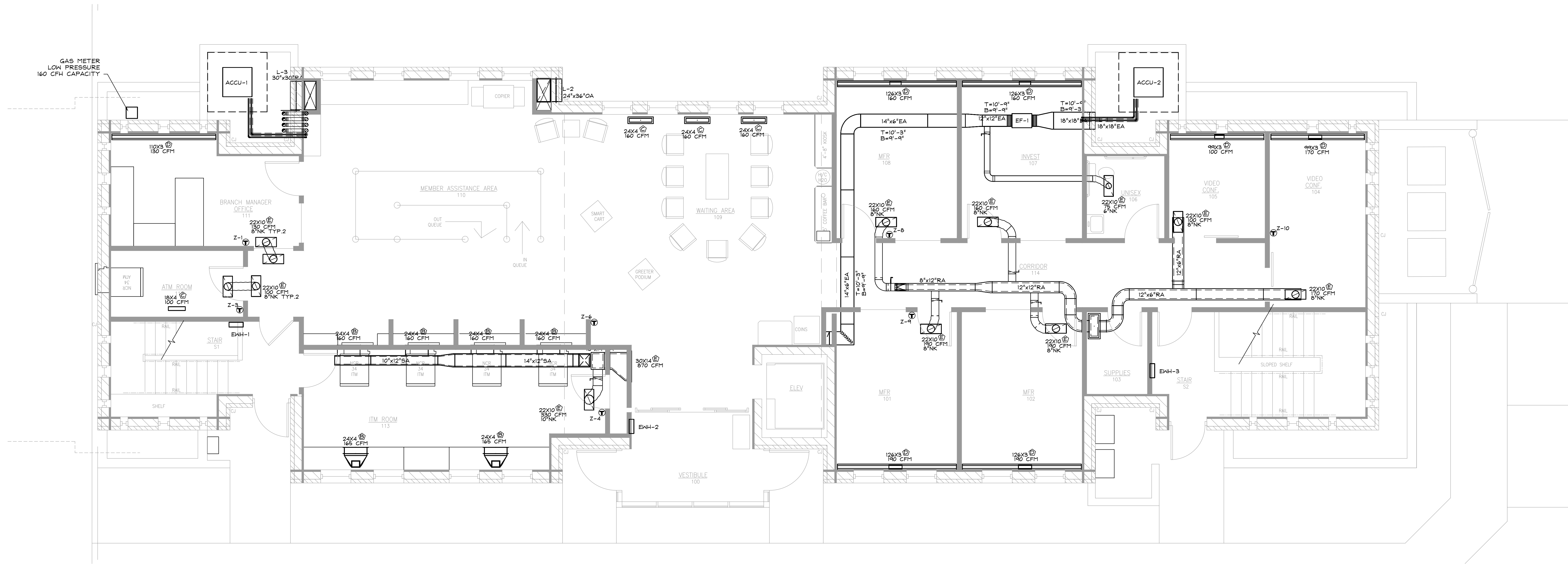


UPPER LEVEL ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



MIDDLE LEVEL ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

<p>NEW CREDIT UNION BUILDING FOR: EDUCATORS CREDIT UNION</p> <p>LOT 21, WESTFIELD HEIGHTS SUBDIVISION PLEASANT PRAIRIE, WISCONSIN</p>	<p>DATE 9-28-15</p> <p>PROJECT 1501</p> <p>SHEET S1.2</p>				
<p>CONSULTANTS</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table> <p>DATE</p>	NO.	DESCRIPTION		
NO.	DESCRIPTION				
<p>MAP ARCHITECTURE · ENGINEERING · PLANNING MILWAUKEE ARCHITECTS & PLANNERS, INC. 10859 WEST BLUEMOUND ROAD - SUITE 200 - MILWAUKEE, WI 53226 (414) 475-1212 · (414) 475-1862 (FAX) · www.mapep.com</p>					



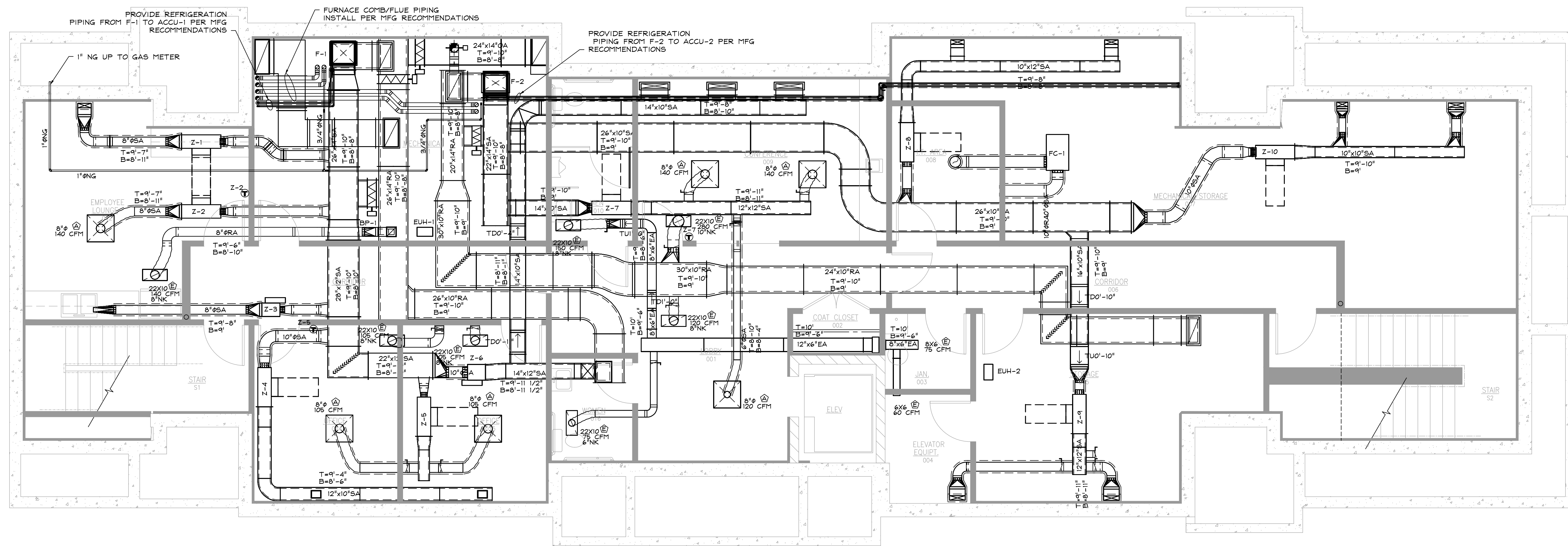
2 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NAME
Educators Credit Union

LOCATION
**Pleasant Prairie,
 Wisconsin**

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION



1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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SHEET TITLE
Mechanical Layout

SHEET NUMBER
M1.0

DRAWN BY: DAY
 CHECKED BY: DAY/GS
 JOB NO.: 2015
 DATE: 15 September, 2015



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SMARTIN PETERSEN COMPANY, INC.

FURNACE SCHEDULE

Table with columns: TAG, TOTAL (CFM), O.A. (CFM), SENSIBLE (T/MBH), TOTAL (T/MBH), ENTERING (DB/MB), LEAVING (DB/MB), E.S.P. (IN), NOMINAL COOLING CAP, HEATING GAS T/MBH INPUT, HEATING GAS T/MBH OUTPUT, V/Ø/HZ, FLA (AMPS), MOTOR HP, FURNACE TYPE, CARRIER FURNACE MODEL, CARRIER INDOOR N-COIL MODEL, NOTES

- 1. DISPOSABLE FILTER
2. FAN POWERED HUMIDIFIER (120V/160)
3. 50FT LINE SET - 3/8L # 3/4S
4. ONE YEAR PARTS WARRANTY

AIR-COOLED CONDENSING UNIT SCHEDULE

Table with columns: TAG, NOMINAL CAPACITY, SUCTION, AMBIENT, V/Ø/HZ, MCA, MOCP, EER*, SEER, MODEL, MAKE, REFR TYPE, NOTES

- * AT ARI 365 CONDITIONS
1. ONE YEAR PARTS WARRANTY

EXHAUST FAN SCHEDULE

Table with columns: TAG, NOMINAL CFM, S.P., TYPE, MOTOR HP, RPM, V/Ø/HZ, MODEL, MFG, NOTES

- NOTES:
1. HANGER ISOLATORS
2. DISCONNECT
3. SPEED CONTROL

ZONE DAMPERS

Table with columns: TAG, UNIT SERVED, CFM, REHEAT, SIZE, REHEAT (KW), STEPS, V/Ø/HZ, MODEL, MFG, ZN VOLUME, CODE A/C, AIR CHANGE

- NOTE: 1. PROVIDE THERMOSTATS, ACTUATORS, TRANSFORMERS, ETC., AS REQUIRED FOR COMPLETE SYSTEM.
2. PRESSURE INDEPENDENT
3. TRANE, CARRIER OR PRE APPROVED EQUAL

ELECTRIC HEATERS

Table with columns: TAG, MAKE, MODEL, MOUNTING, LENGTH, WATTS/FT OR KW, AMPS, V/Ø/HZ, ACCESSORIES

- ACCESSORIES
1. INTEGRAL THERMOSTAT
2. DISCONNECT
3. SEMI RECESSED UNIT
4. WALL BRACKET

SUPPLY AND RETURN GRILLE SCHEDULE

Table with columns: TAG, SIZE, NECK SIZE, MOUNT, TYPE, MATERIAL, MODEL, MFG, PRICE, NOTES

IT ROOM UNIT

Table with columns: TAG, MAKE, MODEL, CFM, TOTAL CAPACITY, SENSIBLE CAPACITY, V/Ø/HZ, MCA, MOCP, ACCESSORIES

- ACCESSORIES
1. WALL MOUNTED THERMOSTAT
2. INTEGRAL AUTO CONDENSATE PUMP

LOUVERS

Table with columns: TAG, SIZE, MATERIAL, MODEL, TYPE, MANUFACTURER, NOTES

- NOTES
1. COLOR BY ARCHITECT

DUCTWORK PRESSURE CLASS AND INSULATION SPECIFICATIONS table with columns: DESCRIPTION, PRESSURE CLASS, INSULATION

NOTE: DUCTWORK DIMENSIONS SHOWN ARE OUTSIDE METAL DIMENSIONS AND INCLUDE ANY SPECIFIED INSULATION

CONTROLS

F-1, F-2, / BOXES (Changeover Bypass System - With Local Heat).

Furnish a changeover bypass central control panel (CCP) with integral touch pad and display. The CCP shall interface with the rooftop, VAV zone dampers and bypass damper to provide a fully functional system.

Provide the ability to designate local heat (VAV Reheat and electric baseboard) or system level heat as the primary heating source the system.

Occupied Mode
The CCP shall index the system to the occupied mode from a time of day schedule. The supply fan shall run continuously and the bypass shall be modulated to maintain the duct static pressure set point.

Local Heat Priority
The zone level controllers shall utilize local heat (VAV heat or baseboard), in conjunction with system level heat, to satisfy zone heating requirements.

When the zone temperature drops below the occupied heating set point, modulate the VAV box to the minimum heating airflow and energize stages of local electric heat to maintain the zone temperature.

After the system heat/cool mode has been established there will be a minimum number of opposite mode callers required to change modes. The number of zones required for changeover shall be an editable parameter.

When changeover occurs and the system is indexed to the occupied heating mode, lock out zone level local heat, modulate the cooling caller zone dampers to minimum position and energize stages of rooftop heat.

When changeover occurs and the system is indexed to the occupied heating mode, modulate the heating caller zone dampers to minimum position and energize stages of cooling or the (dry bulb) (enthalpy) (comparative enthalpy) economizer, when OA air conditions are favorable.

ELECTRIC HEATERS
Units shall have an integral thermostat.

GAS PIPING NOTES

- 1. PIPE GAS PIPE SYSTEM - SCHEDULE 40 BLACK IRON
2. FITTINGS 2" AND UNDER SHALL BE SCREWED SCH. 40
3. VALVES -SHUT OFF VALVES SHALL BE GAS RATED BALL VALVES -PROVIDE GAS PRESSURE REGULATORS AS REQUIRED
4. HANGERS ALL HANGERS SHALL BE CLEVIS TYPE HANGERS HANGER SPACING SHALL CONFORM WITH THE PIPING INDUSTRY STANDARDS.

Unoccupied Mode
The CCP shall index the system to the unoccupied mode from a time of day schedule. De-energize the supply fan close the outside air damper.

When the system is indexed to the unoccupied mode, the system shall operate as a constant volume system. The supply fan shall cycle to maintain the unoccupied temperature set point. When the zone temperature for zone 1 (aditable to any zone) drops above or below the unoccupied zone temperature set point, the supply fan shall be energized, the outside air damper shall remain closed and the VAV zone dampers shall be driven to maximum position.

Furnish a timed override button on each wall sensor to override the zone to the occupied mode. Depressing the button will change the zones to occupied for 60 minutes (adj.).

Supply Air Temperature Limiting
The changeover/bypass system controller shall enforce supply air temperature limits to avoid mechanical problems with the rooftop unit. When the supply air temperature falls outside the normal operating range, cooling and heating stages shall be limited by the changeover/bypass system.

Energy Saver Mode
The operator shall the ability to enable and disable the energy saver mode. When enabled the energy saver mode shall allow damper unit controllers to close below their minimums.

Ventilation Mode
The operator shall the ability to enable and disable the ventilation mode. When enabled this mode shall allow dampers to open for greater ventilation.

No Vote Zones
The operator shall have the ability to eliminate any zone damper from being a heating or cooling caller.

The CCP shall designate a zone as a no vote zone when 2 (adj.) or more zones remain 3 degrees or more from set point for 60 minutes, while receiving the desired supply air temperature.

F-1 PROVIDE ECONOMIZER CONTROLS FOR F-1

EF-1 Interlock operation of EF-1 with the occupied mode of the changeover bypass system.

GENERAL NOTES

- 1. ALL WORK TO BE COMPLETED PER LOCAL & STATE CODES.
2. CONTRACTOR SHALL VISIT SITE BEFORE BIDDING THIS PROJECT TO VERIFY EXISTING CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE FOR ALL LOCAL PERMITS AND ASSOCIATED FEES.
4. MOUNT ALL THERMOSTATS, ETC PER ADA REQUIREMENTS.
5. FRESH AIR INTAKES MUST BE A MINIMUM OF 10'-0" FROM ANY EXHAUST, FLUE, VENT, ETC.
6. THE INSTALLATION OF ALL EQUIPMENT SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS.
7. NO CHANGES IN DESIGN OF MECHANICAL SYSTEM OR OF SPECIFIED EQUIPMENT SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF OWNER & ENGINEER.
8. INSTALL THE PIPES, DUCTS, RISERS, ETC. AS SHOWN ON THE DRAWINGS MAKING ALL NECESSARY CHANGES TO CROSS SECTIONS, OFFSETS, ELBOWS, ETC.
9. SYSTEM SHALL BE TESTED AND BALANCED BY A TABB CERTIFIED CONTRACTOR.
10. THIS CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP IN WRITING FOR THE PERIOD OF ONE (1) YEAR IMMEDIATELY FOLLOWING THE FINAL COMPLETION AND ACCEPTANCE OF ALL WORK.

PROJECT NAME

Educators Credit Union

LOCATION

Pleasant Prairie, Wisconsin

ISSUE RECORD

Table with columns: ISSUE #, DATE, DESCRIPTION

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SHEET TITLE

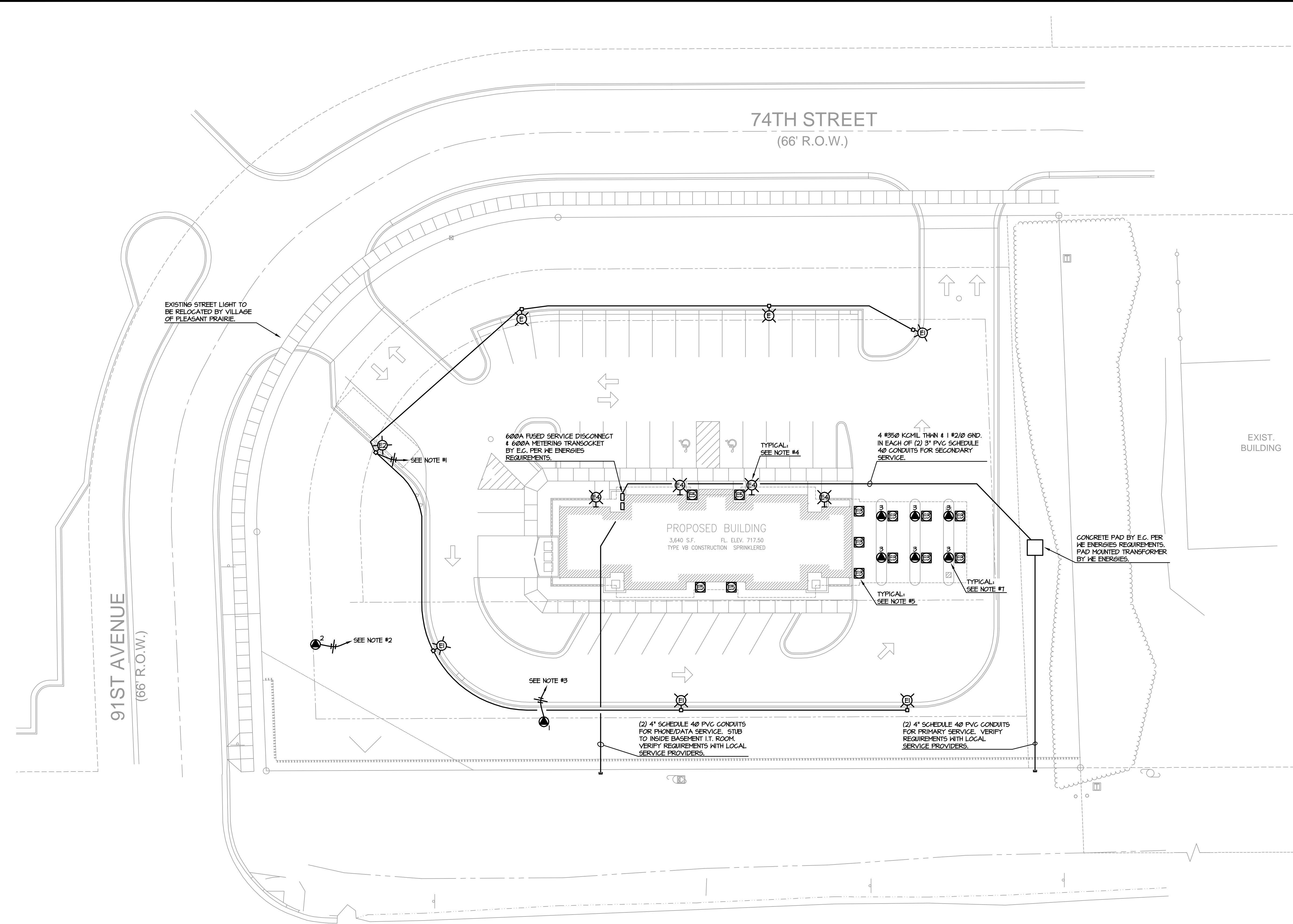
Mechanical Layout

SHEET NUMBER

M2.0

DRAWN BY DAY CHECKED BY DAY/GS

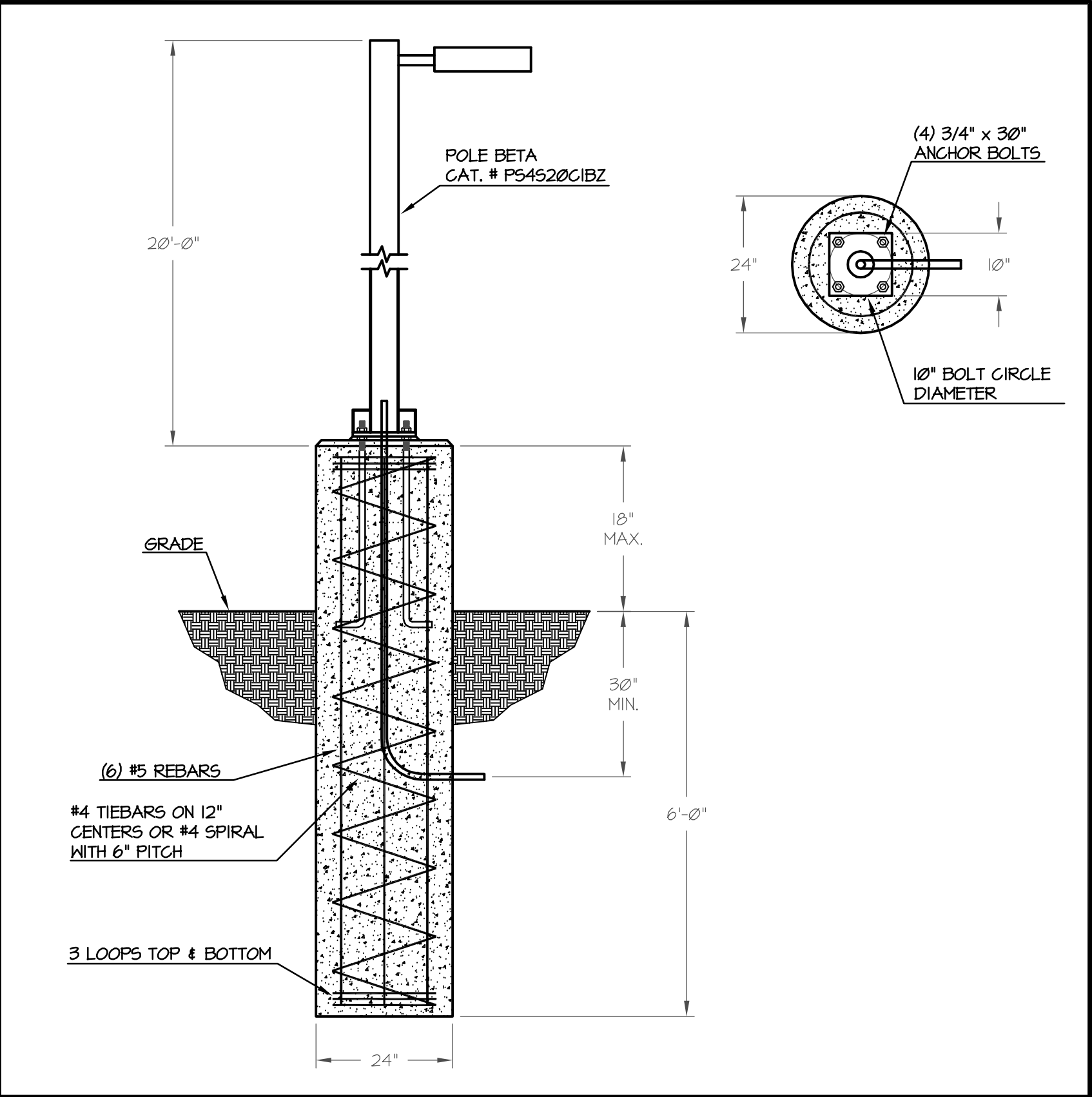
JOB NO. 2015 DATE 15 JUNE, 2015



S.T.H. "50"
75TH STREET
(VARIABLE R.O.W.)

ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"

- NOTES:
- 2 #10 THIN #1 #10 GROUND IN 3/4 IN. CONDUIT TO CIRCUIT A-1 FOR SITE LIGHTING, CONTROL VIA PHOTOCELL ON/TIMELOCK OFF.
 - 2 #10 THIN #1 #10 GROUND IN 3/4 IN. CONDUIT TO CIRCUIT A-51 FOR TENANT SIGN.
 - 2 #10 THIN #1 #10 GROUND IN 3/4 IN. CONDUIT TO CIRCUIT A-55 FOR EDUCATORS CREDIT UNION SIGN.
 - BUILDING MOUNTED FIXTURES INCLUDING MALL SCENES AND EXTERIOR DOWNLIGHTS IN SOFFIT WIRED TO CIRCUIT A-3 VIA PHOTOCELL ON/TIMELOCK OFF.
 - DRIVE-UP CANOPY DOWNLIGHTS WIRED TO CIRCUIT A-5 VIA TIMELOCK ON/OFF.
 - GENERAL: ALL EXTERIOR LIGHTING CONTROLLED VIA PHOTOCELL OR TIMELOCK ON, TIMELOCK OFF. TIMELOCK PER IECG 2009/NI SP5 363 ENERGY CODE. VERIFY CONTROL PROGRAM SCHEDULE WITH OWNER PER BUSINESS HOURS AND VILLAGE REQUIREMENTS.
 - E.C. TO PROVIDE THREE (3) 3/4 IN. CONDUIT AND WIRING/CABLE TO EACH OF SIX (6) INTEGRATED TELLER MACHINE (ITM) LOCATIONS, FOR POWER AND DATA WIRING TO ITM. STUB UP CONDUITS AT ITM LOCATION, AND AT PANEL 'A' LOCATION AND I.T. ROOM INSIDE BUILDING. PROVIDE 30A CIRCUIT WITH TWO (2) #10 THIN, #10 GROUND AND NEUTRAL IN 3/4 IN. CONDUIT FROM PANEL 'A' TO EACH ITM LOCATION. PROVIDE TWO (2) ADDITIONAL 3/4 IN. CONDUIT FROM I.T. ROOM TO EACH ITM, EACH WITH ONE (1) CAT. 6 DATA CABLE AND PULL STRING FOR ADDITIONAL CABLE, FOR ITM DATA/SECURITY WIRING. VERIFY REQUIREMENTS WITH ITM EQUIPMENT PROVIDER AND OWNER AT JOB SITE.
 - GENERAL: E.C. TO PROVIDE WRITTEN DOCUMENTATION OF FINAL EQUIPMENT INSTALLATION LOCATIONS, CONDUIT ROUTES, ETC. TO GENERAL CONTRACTOR FOR RECORD/AS-BUILT DRAWINGS TO BE SUBMITTED TO THE VILLAGE PRIOR TO OCCUPANCY.



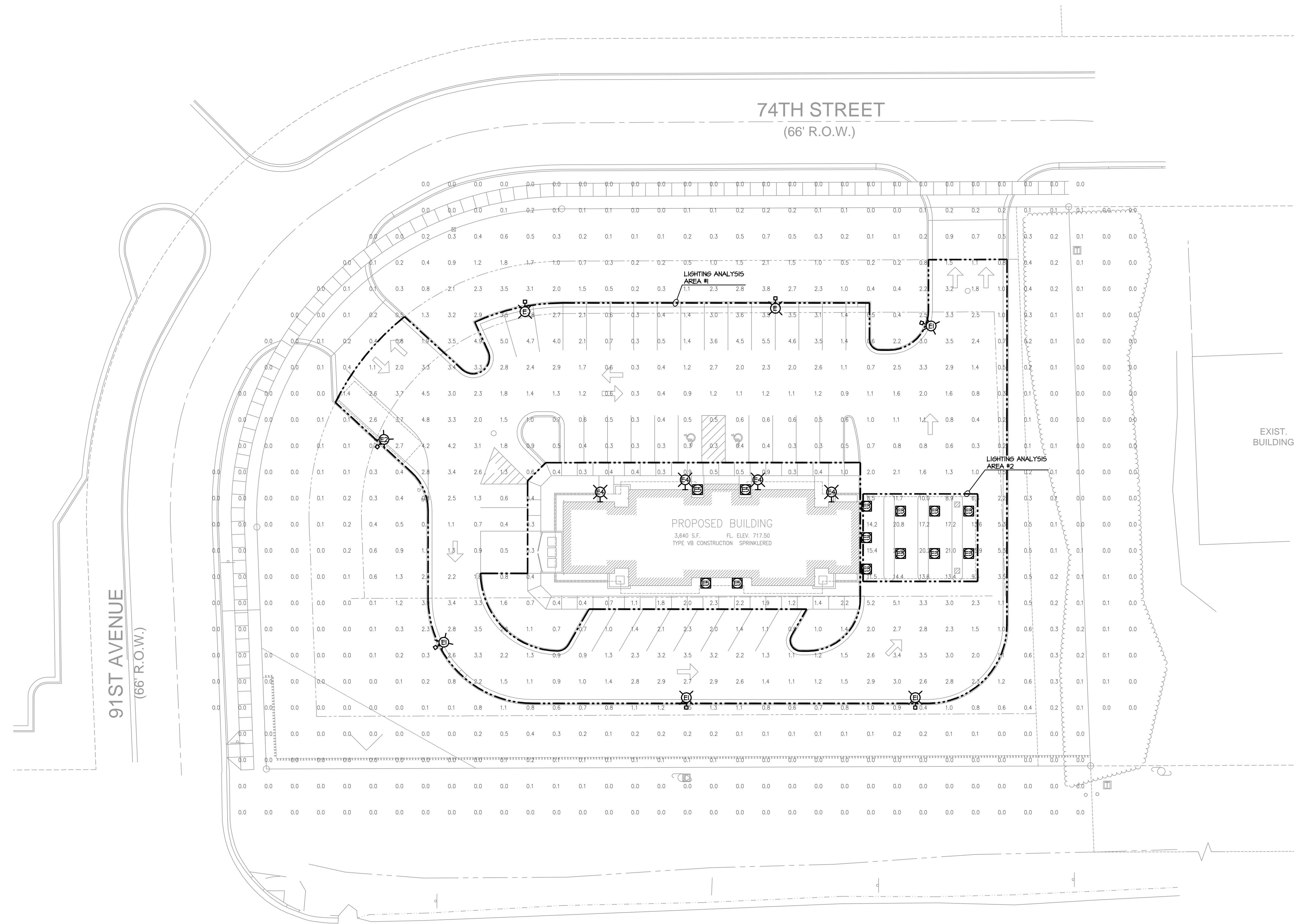
E1
E1.0 ELECTRICAL
FIXTURE TYPES 'E', 'E1' & 'E2'
MOUNTING DETAIL
NOT TO SCALE

REVISIONS	NO.	DESCRIPTION
CONSULTANTS		
Corporation Registration #3150-E-100273 KORNACKI & ASSOCIATES, INC. CONSULTING ELECTRICAL ENGINEERS 5450 WEST WISCONSIN AVENUE MILWAUKEE, WI 53219 (414) 794-3333 FAX (414) 794-5014		

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NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
09-23-15
PROJECT
1501 K&A 1502D
SHEET
E1.0



S.T.H. "50"
75TH STREET
(VARIABLE R.O.W.)

PHOTOMETRIC SITE PLAN
SCALE: 1" = 20'-0"

- LIGHTING ANALYSIS NOTES:
(AREA #1 - PAVED AREAS ONLY, NOT INCLUDING DRIVE-UP CANOPY)**
1. AVERAGE FOOTCANDLES: 1.0
 2. MINIMUM FOOTCANDLES: 0.3
 3. MAXIMUM FOOTCANDLES: 5.5
 4. AVERAGE/MINIMUM RATIO: 6.0:1
 5. MAXIMUM/MINIMUM RATIO: 18.3:1

- LIGHTING ANALYSIS NOTES:
(AREA #2 - DRIVE-UP CANOPY)**
1. AVERAGE FOOTCANDLES: 14.7
 2. MINIMUM FOOTCANDLES: 6.6
 3. MAXIMUM FOOTCANDLES: 21.6
 4. AVERAGE/MINIMUM RATIO: 2.2:1
 5. MAXIMUM/MINIMUM RATIO: 3.3:1

REVISIONS NO.	DESCRIPTION

CONSULTANTS

Corporation Registration #3152-E-100273
KORNACKI & ASSOCIATES, INC.
 CONSULTING ELECTRICAL ENGINEERS
 5405 WEST BURNING WOOD DRIVE
 MILWAUKEE, WI 53237
 (414) 794-3333 FAX (414) 794-5044

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NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
 LOT 21, WESTFIELD HEIGHTS SUBDIVISION
 PLEASANT PRAIRIE, WISCONSIN

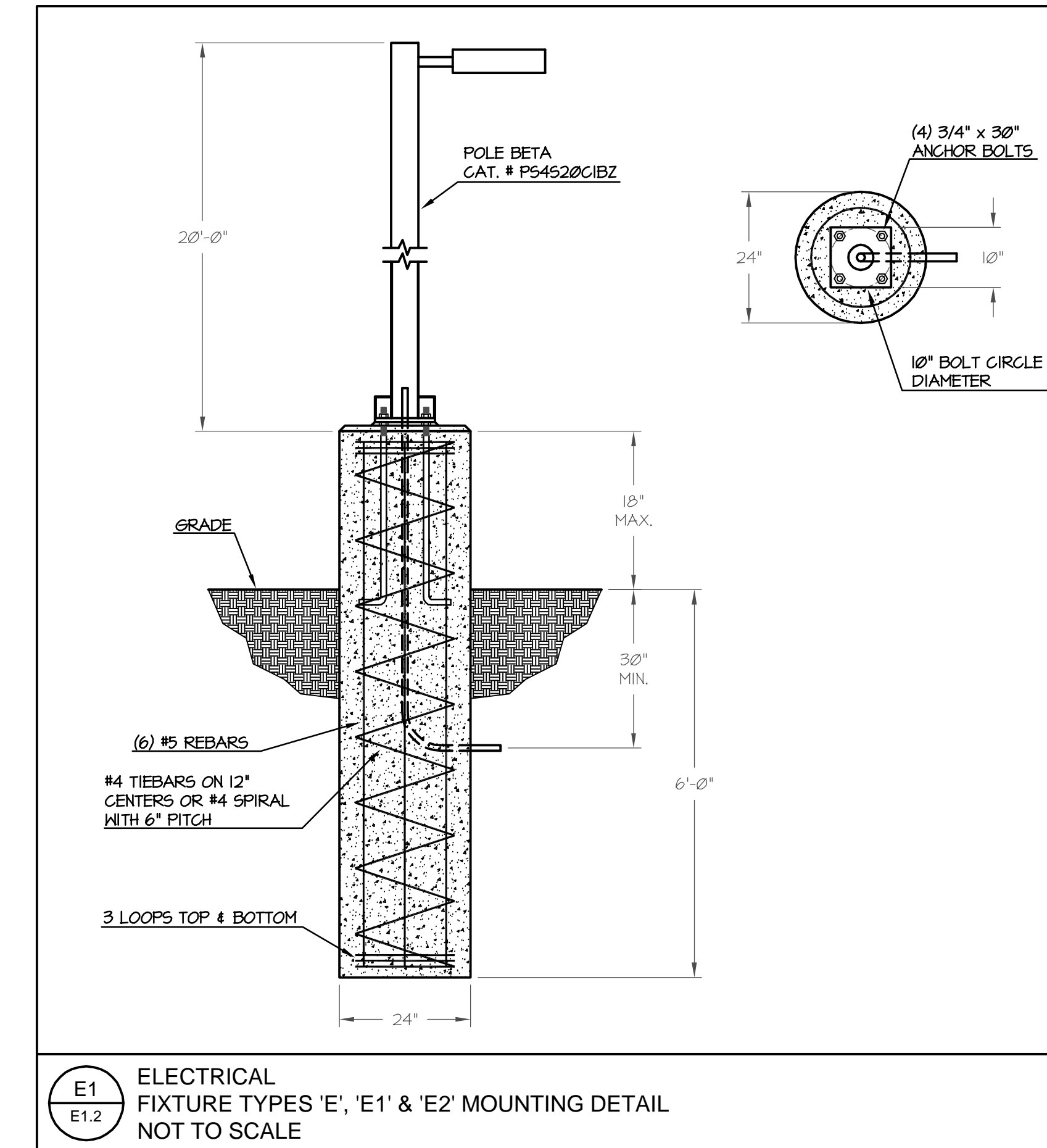
DATE	09-23-15
PROJECT	1501
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FIXTURE SCHEDULE (EXTERIOR)

TYPE	INPUT WATTS	LAMPS		DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTS	SHIELDING	FINISH	MOUNTING	REMARKS
		NO.	MANUFACTURER CATALOG NO.								
E	133	LED	WITH FIXTURE	POLE & LUMINAIRE	BETA/CREE	ARE-EDG-4M-DA-06-E-UL-BZ-100-40K	120	NONE	BRONZE VERIFY WITH ARCHITECT	SEE DETAIL E1/E1.2	SEE NOTE #1
E1	133	LED	WITH FIXTURE	POLE & LUMINAIRE	BETA/CREE	ARE-EDG-3MB-DA-06-E-UL-BZ-100-40K	120	NONE	BRONZE VERIFY WITH ARCHITECT	SEE DETAIL E1/E1.2	SEE NOTE #1
E2	133	LED	WITH FIXTURE	POLE & LUMINAIRE	BETA/CREE	ARE-EDG-4MB-DA-06-E-UL-BZ-100-40K	120	NONE	BRONZE VERIFY WITH ARCHITECT	SEE DETAIL E1/E1.2	SEE NOTE #1
E3	85	LED	WITH FIXTURE	EXTERIOR DOWNLIGHT	BETA/CREE	SFT-221-55-RM-03-D-UL-BZ-525-40K	120	NONE	BRONZE VERIFY WITH ARCHITECT	RECESSED	
E4	60	2	F26TR1/041	EXTERIOR WALL SCONCE	VISA	OW1000-20F26-BRNZ-BRNZ-ERNZ-REM	120	ACRYLIC	BRONZE VERIFY WITH ARCHITECT	SURFACE	BATTERY BACKUP/4100K LAMP
E5	34	LED	WITH FIXTURE	EXTERIOR DOWNLIGHT	BETA/CREE	KR6-5-30L-40K-120V-ED1/KR6ST-556C-FF	120	CLEAR ALUMINUM	CLEAR	RECESSED	BATTERY BACKUP

FIXTURE SCHEDULE NOTES:

- NEW POLE AND FIXTURE PER PLAN AND SCHEDULE. POLE RMD CAT. #PS4520CIBZ. REFERENCE MOUNTING DETAIL. POLE AND FIXTURE COLOR SHALL MATCH BOLLARDS AND/OR OTHER SITE EQUIPMENT. CONFIRM FINAL FINISH COLOR WITH OWNER/ARCHITECT PRIOR TO ORDERING FIXTURES OR POLES.



COMcheck Software Version 4.0.1

Interior Lighting Compliance Certificate

Section 1: Project Information

Energy Code: 2009 IECC
Project Title: Educators Credit Union
Project Type: New Construction

Construction Site:
Lot 21
Westfield Heights Subdivision
Pleasant Prairie, WI 53142

Owner/Agent:
Educators Credit Union
1326 Willow Rd.
Mount Pleasant, WI 53177
262-886-8900

Designer/Contractor:
Vincent Milewski
Milwaukee Architects & Planners, Inc.
10859 W. Bluemound Rd.
Suite 200
Milwaukee, WI 53226
414-476-1212
vince@mk-ap.com

Section 2: Interior Lighting and Power Calculation

Area Category	A	B	C	D
	Floor Area (sq ft)	Allowed Watts / ft ²	Allowed Watts (B x C)	Proposed Watts (D)
Bank/Credit union with drive-up (Office)	6600	1	6600	6600

Total Allowed Watts = 6600

Section 3: Interior Lighting Fixture Schedule

Fixture ID - Description / Lamp / Wattage Per Lamp / Ballast	A	B	C	D	E
	Lamp / Wattage	# of Fixtures	Wattage	Wattage	(C x D)
Bank/Credit union with drive-up (Office 6600 sq.ft.)					
LED 1: G32: 2x4 recessed LED, LED Panel 44W:	1	25	44	1100	
LED 2: G103: 2x2 recessed LED, LED Panel 33W:	1	27	35	945	
LED 3: D1: Recessed LED downlight, LED PAR 11W:	1	11	11	121	
LED 4: S: Surface linear LED, LED Linear 33W:	1	23	50	1150	
LED 5: W: Surface LED wall bracket, LED Linear 33W:	1	4	40	160	
LED 6: D: Recessed LED downlight, LED PAR 20W:	1	34	20	680	
Compact Fluorescent 1: W: Wall sconce: Triple 4-pin 13W: Electronic:	2	2	30	60	
Compact Fluorescent 2: P1: Pendant: Triple 4-pin 42W: Electronic:	8	1	384	384	
Incandescent 1: K: Lamp holder/42W A-lamp, Incandescent 40W:	1	1	43	43	
Total Proposed Watts =					4643

Section 4: Requirements Checklist

Interior Lighting **PASSES**: Design 30% better than code.

Lighting Wattage:
 1. Total proposed watts must be less than or equal to total allowed watts.

Allowed Watts	Proposed Watts	Complies
6600	4643	YES

Project Title: Educators Credit Union Report date: 08/20/15
Data filename: M1_DWG1 Milwaukee Architects & Planners (15029) Educators Credit Union Pleasant Prairie Documents\COMcheck\Educators Pleasant Prairie cck Page 1

Controls, Switching, and Wiring:

- Daylight zones under skylights more than 15 feet from the perimeter have lighting controls separate from daylight zones adjacent to vertical fenestration.
- Daylight zones have individual lighting controls independent from that of the general area lighting.

Exceptions:
 Contiguous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.
 Daylight spaces enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.
 4. Independent controls for each space (switch/occupancy sensor).

Exceptions:
 Areas designated as security or emergency areas that must be continuously illuminated.
 Lighting in stairways or corridors that are elements of the means of egress.

N/A 5. Master switch at entry to hotel/motel guest room.
 N/A 6. Individual dwelling units separately metered.
 N/A 7. Medical task lighting or arthroscopy display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.
 8. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.

Exceptions:
 Only one luminaire in space.
 An occupant-sensing device controls the area.
 The area is a corridor, store room, restroom, public lobby or sleeping unit.
 Areas that use less than 0.6 Watts/sq. ft.
 9. Automatic lighting shutoff control in buildings larger than 5,000 sq. ft.

Exceptions:
 Sleeping units, patient care areas, and spaces where automatic shutoff would endanger safety or security.
 10. Photocell/astronomical time switch on exterior lights.

Exceptions:
 Lighting intended for 24 hour use.
 11. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).

Exceptions:
 Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available power.

Section 5: Compliance Statement

Compliance Statement: The proposed lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2009 IECC requirements in COMcheck Version 4.0.1 and to comply with the mandatory requirements in the Requirements Checklist.

David J. Krajnak, P.E. 8/26/15

Name - Title Signature Date

Project Notes:

Lighting Design:
David J. Krajnak, P.E.
Kornacki & Associates, Inc.
5429 S. Westridge Dr.
New Berlin, WI 53151
262-784-3323
dkrajnak@kornacki.com

Project Title: Educators Credit Union Report date: 08/20/15
Data filename: M1_DWG1 Milwaukee Architects & Planners (15029) Educators Credit Union Pleasant Prairie Documents\COMcheck\Educators Pleasant Prairie cck Page 2



COMcheck Software Version 4.0.1

Exterior Lighting Compliance Certificate

Section 1: Project Information

Energy Code: 2009 IECC
Project Title: Educators Credit Union
Project Type: New Construction
Exterior Lighting Zone: 2 (Residential mixed use area)

Construction Site:
Lot 21
Westfield Heights Subdivision
Pleasant Prairie, WI 53142

Owner/Agent:
Educators Credit Union
1326 Willow Rd.
Mount Pleasant, WI 53177
262-886-8900

Designer/Contractor:
Vincent Milewski
Milwaukee Architects & Planners, Inc.
10859 W. Bluemound Rd.
Suite 200
Milwaukee, WI 53226
414-476-1212
vince@mk-ap.com

Section 2: Exterior Lighting Area/Surface Power Calculation

Exterior Area/Surface	A	B	C	D	E	F
	Quantity	Allowed Watts / Unit	Tractable Wattage	Allowed Watts (B x C)	Proposed Watts	
Entry/Exit Driveways (Driveway):	11281 R2	0.06	Yes	677	532	
Drive-up ATM (ATM/Night depository location)**:	1 machines	60	No	270	65	
Drive-up teller/drawer (Drive-up windows/doors):	6 windows or doors	400	No	2400	255	
Main entry vestibule/lobby (Main entry):	6 ft of door width	20	Yes	120	120	
Employee/General Parking (Parking area):	10415 R2	0.06	Yes	625	399	
Drive-up Canopy (Entry canopy):	1730 R2	0.25	Yes	433	425	
Employee entries (Other door (not main entry)):	6 ft of door width	20	Yes	120	120	
Customer/Employee access (Walkway < 10 feet wide):	270 ft of walkway length	0.7	Yes	189	156	
Total Tractable Watts** =				2163	1752	
Total Allowed Watts =				4833	600	

**Wattage tradeoffs are only allowed between tractable areas/surfaces.
 ***A supplemental allowance equal to 600 watts may be applied toward compliance of both non-tractable and tractable areas/surfaces.
 ****ATM/Night depository sites have a base allowance of 180 W per site.

Section 3: Exterior Lighting Fixture Schedule

Fixture ID - Description / Lamp / Wattage Per Lamp / Ballast	A	B	C	D	E
	Lamp / Wattage	# of Fixtures	Wattage	Wattage	(C x D)
Entry/Exit Driveways (Driveway 11281 R2): Tractable Wattage					
LED 1: E1/E2: Pole & LED luminaire: LED Roadway-Parking Unit 130W:	1	4	133	532	
Drive-up ATM (ATM/Night depository location 1 machines): Non-tractable Wattage					
LED 2: E3: LED surface canopy light: LED Panel 80W:	1	1	85	85	
Drive-up teller/drawer (Drive-up windows/doors 6 windows or doors): Non-tractable Wattage					
LED 2: E3: LED surface canopy light: LED Panel 80W:	1	3	85	255	

Project Title: Educators Credit Union Report date: 08/20/15
Data filename: M1_DWG1 Milwaukee Architects & Planners (15029) Educators Credit Union Pleasant Prairie Documents\COMcheck\Educators Pleasant Prairie cck Page 3

Main entry vestibule/lobby (Main entry 6 ft of door width): Tractable Wattage	1	2	60	120
Compact Fluorescent 1: E4: Exterior wall sconce: Triple 4-pin 26W: Electronic:	2	2	60	120
Employee/General Parking (Parking area 10415 R2): Tractable Wattage				
LED 1: E1/E2: Pole & LED luminaire: LED Roadway-Parking Unit 130W:	1	3	133	399
Drive-up Canopy (Entry canopy 1730 R2): Tractable Wattage				
LED 2: E3: LED surface canopy light: LED Panel 80W:	1	5	85	425
Employee entries (Other door (not main entry) 6 ft of door width): Tractable Wattage				
Compact Fluorescent 1 copy 1: E4: Exterior wall sconce: Triple 4-pin 26W:	2	2	60	120
Electronic:				
Customer/Employee access (Walkway < 10 feet wide 270 ft of walkway length): Tractable Wattage				
LED 3: E5: LED wall bracket: LED Panel 38W:	1	4	39	156
Total Tractable Proposed Watts =				1752

Section 4: Requirements Checklist

Lighting Wattage:
 1. Within each non-tractable area/surface, total proposed watts must be less than or equal to total allowed watts. Across all tractable areas/surfaces, total proposed watts must be less than or equal to total allowed watts.
 Compliance: Passes.

Controls, Switching, and Wiring:

- All exemption claims are associated with fixtures that have a control device independent of the control of the nonexempt lighting.
- Lighting not designated for dusk-to-dawn operation is controlled by either a photosensor (with time switch), or an astronomical time switch.
- All time switches are capable of retaining programming and the time setting during loss of power for a period of at least 10 hours.

Exterior Lighting Efficacy:

- All exterior building grounds luminaires that operate at greater than 100W have minimum efficacy of 60 lumen/watt.

Exceptions:
 Lighting that has been claimed as exempt and is identified as such in Section 3 table above.
 Lighting that is specifically designated as required by a health or life safety statute, ordinance, or regulation.
 Emergency lighting that is automatically off during normal building operation.
 Lighting that is controlled by motion sensor.

Section 5: Compliance Statement

Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2009 IECC requirements in COMcheck Version 4.0.1 and to comply with the mandatory requirements in the Requirements Checklist.

David J. Krajnak, P.E. 8/26/15

Name - Title Signature Date

Project Title: Educators Credit Union Report date: 08/20/15
Data filename: M1_DWG1 Milwaukee Architects & Planners (15029) Educators Credit Union Pleasant Prairie Documents\COMcheck\Educators Pleasant Prairie cck Page 4

DATE

REVISIONS
NO. DESCRIPTION

Consultant Registration: 03/20/04-06/02/17
KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS

5429 S. WESTRIDGE DR.
NEW BERLIN, WI 53151
(262) 784-3323 FAX (262) 784-5044

CONSULTANTS

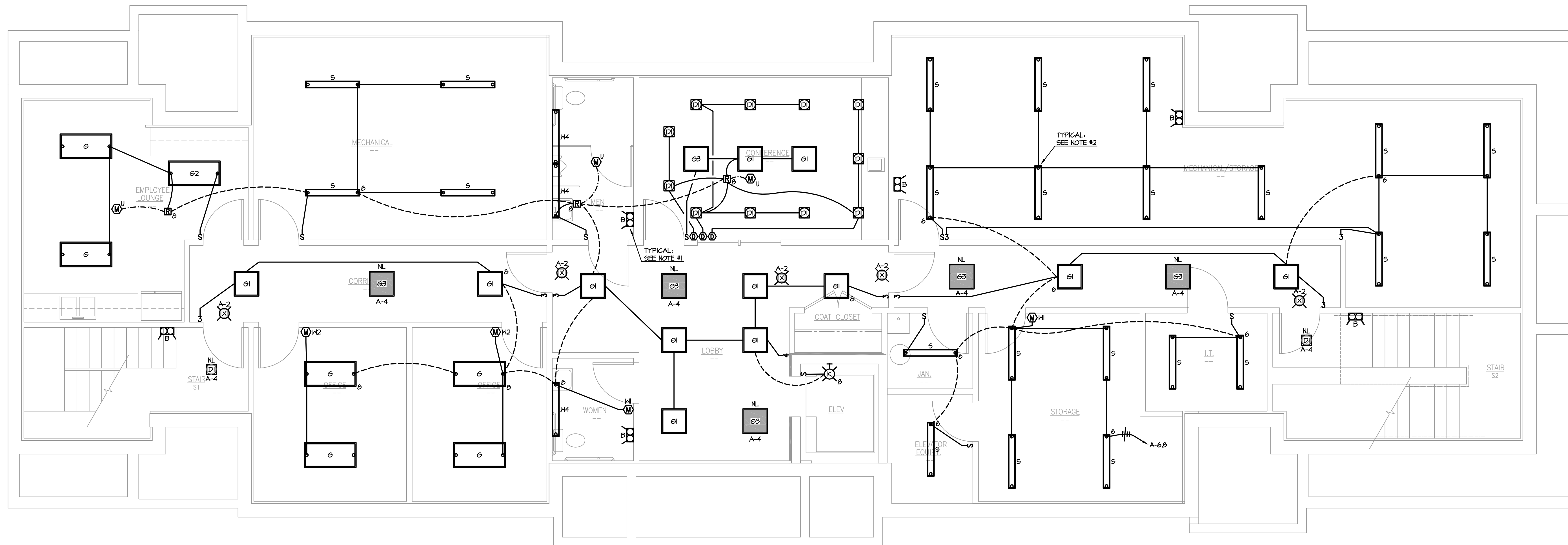
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MILWAUKEE ARCHITECTS & PLANNERS, INC.
10859 WEST BLUEMOUND ROAD, SUITE 200, MILWAUKEE, WI 53226

NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
09-23-15

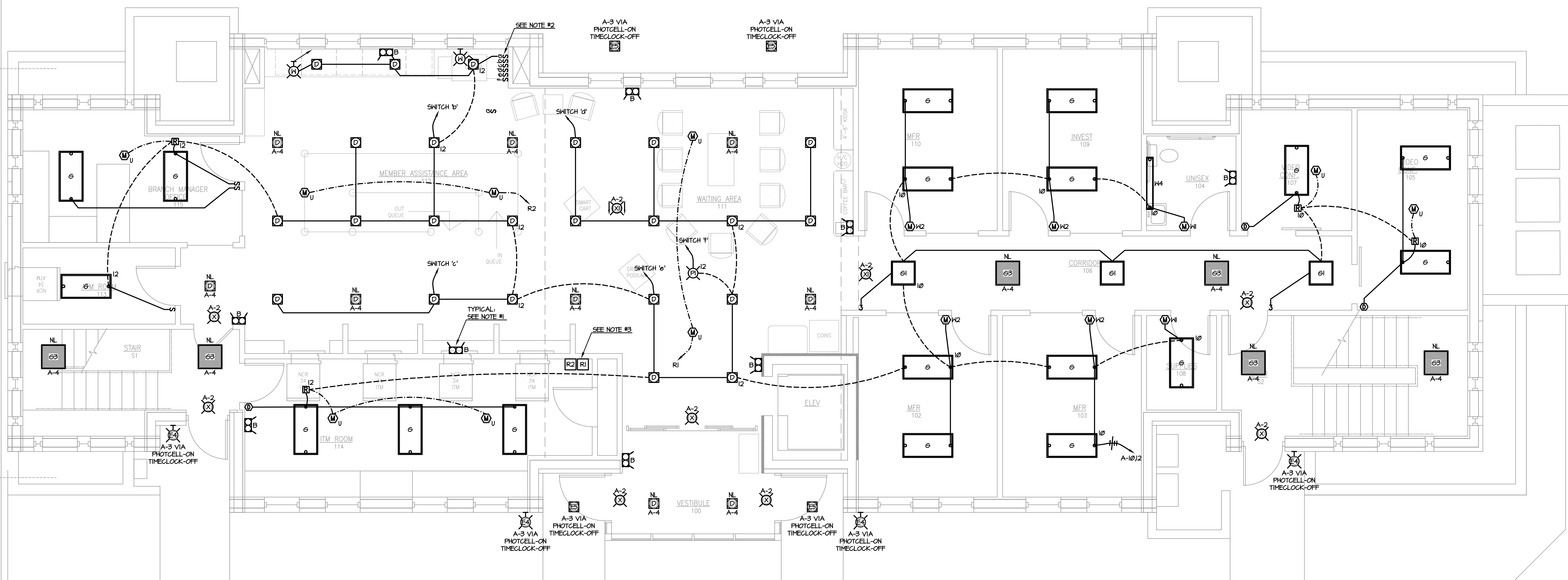
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E1.2



BASEMENT FLOOR PLAN - LIGHTING
SCALE: 1/4"=1'-0"

BASEMENT FLOOR PLAN NOTES:
 1. BATTERY UNITS TO BE WIRED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY/ALL SWITCHING OR CONTROLS.
 2. MOUNT TO JOIST OF EXPOSED CEILING AS REQUIRED. VERIFY EXACT LOCATION AND MOUNTING HEIGHT. PROVIDE CHAIN SET FOR HUNG MOUNTING AS NEEDED.



FIRST FLOOR PLAN - LIGHTING
SCALE: 1/4"=1'-0"

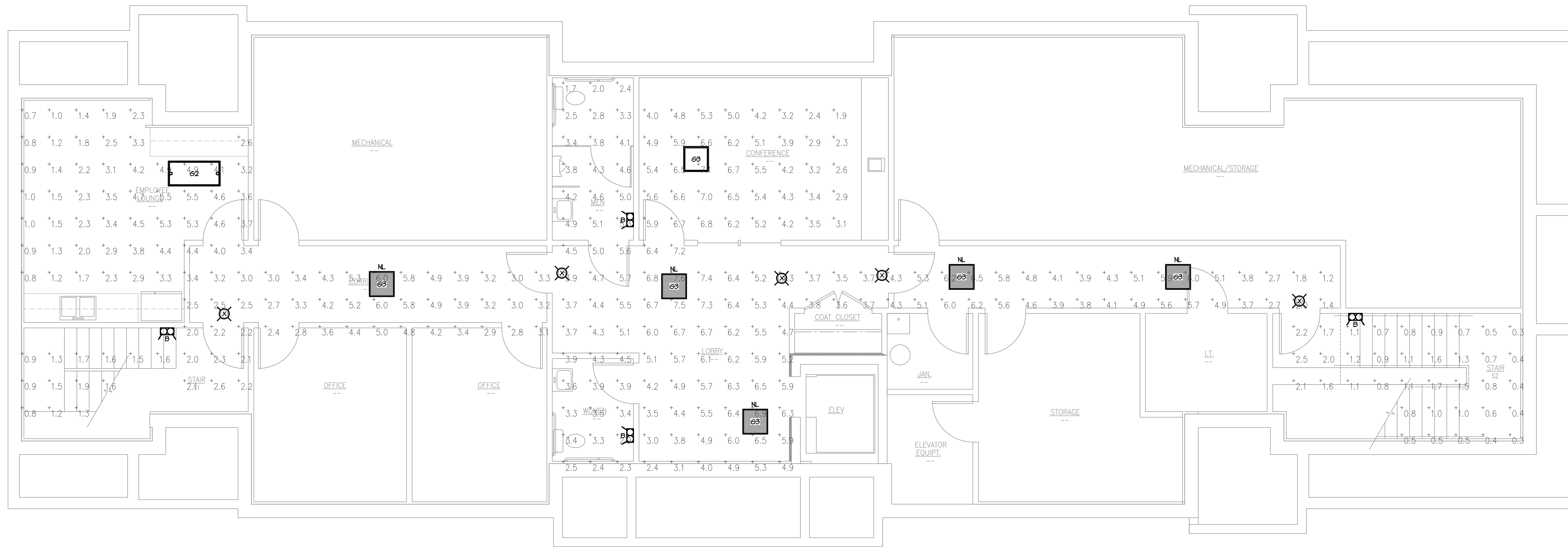
FIRST FLOOR PLAN NOTES:
 1. BATTERY UNITS TO BE WIRED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY/ALL SWITCHING OR CONTROLS.
 2. E.G. PROVIDE OCCUPANCY SENSOR OVERRIDE SWITCHES TO ALLOW MANUAL SHUTOFF OF FIXTURES WITHIN DAYLIT AREAS ADJACENT TO WINDOWS, AND TO PROVIDE MANUAL CONTROLS PER WISCONSIN ENERGY CODE. SWITCHES AS SHOWN.
 3. E.G. TO PROVIDE RELAYS FOR CONTROL OF LOBBY LIGHTING. WIRE OCCUPANCY SENSORS AND RELAYS TO LIGHTING CIRCUITS AS SHOWN, WITH SWITCH OVERRIDE FOR MANUAL CONTROL. SEE NOTE #2.

REVISIONS	NO.	DESCRIPTION
CONSULTANTS		
Corporation Registration #3120-6-161023 KORNACKI & ASSOCIATES, INC. CONSULTING ELECTRICAL ENGINEERS 5405 WEST BURNING WOOD DRIVE MILWAUKEE, WISCONSIN 53237 (262) 784-1333 FAX (262) 784-5044		

MAP
 ARCHITECTURE - ENGINEERING - PLANNING
 MILWAUKEE ARCHITECTS & PLANNERS, INC.
 1868 WEST BLUEMOUND ROAD, SUITE 200, MILWAUKEE, WI 53226

NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
 LOT 21, WESTFIELD HEIGHTS SUBDIVISION
 PLEASANT PRAIRIE, WISCONSIN

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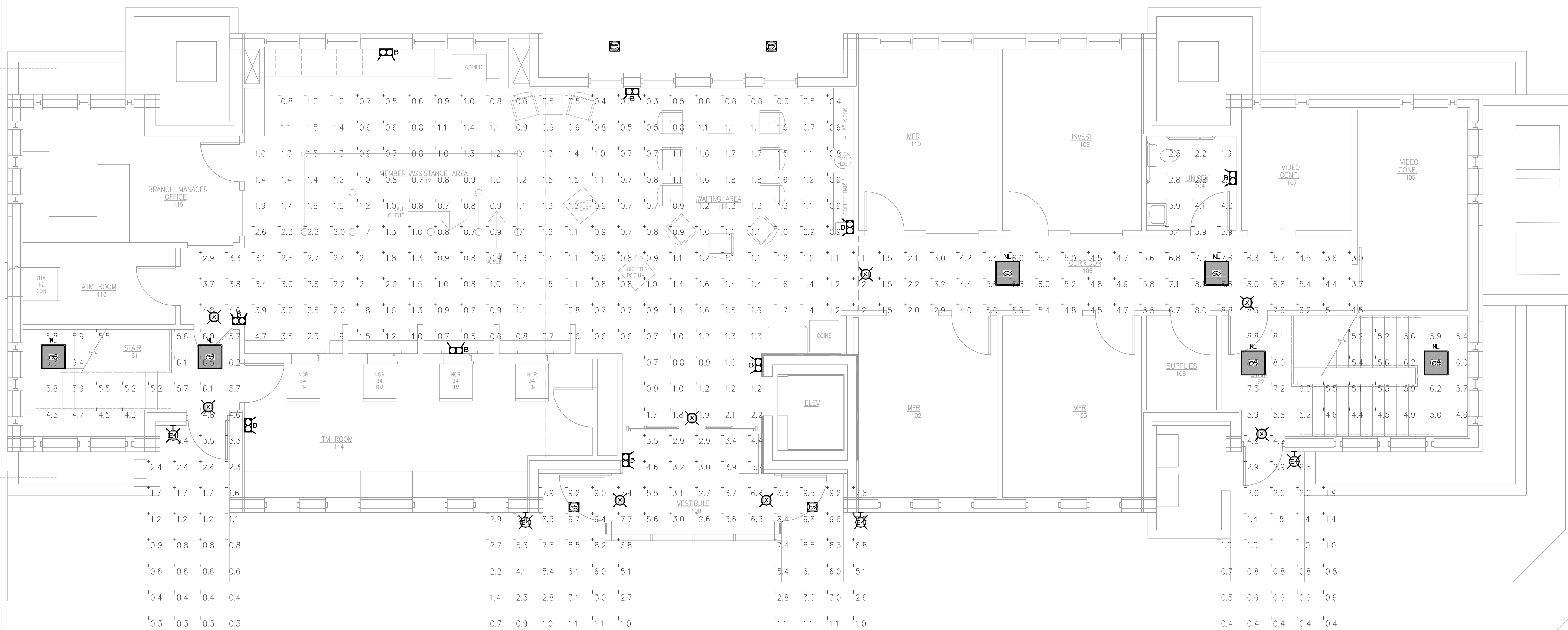


BASEMENT EMERGENCY LIGHTING ANALYSIS NOTES (EGRESS PATH ONLY)

1. AVERAGE FOOTCANDLES: 3.1
2. MINIMUM FOOTCANDLES: 0.3

BASEMENT FLOOR PLAN - 'EM' LIGHTING

SCALE: 1/4"=1'-0"



FIRST FLOOR EMERGENCY LIGHTING ANALYSIS NOTES (EGRESS PATH ONLY)

1. AVERAGE FOOTCANDLES: 2.1
2. MINIMUM FOOTCANDLES: 0.2

FIRST FLOOR PLAN - 'EM' LIGHTING

SCALE: 1/4"=1'-0"



DATE

REVISIONS
NO. DESCRIPTION

Consultant Registration #3120-E-100273

KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS
5405 WEST BURNING WOOD DRIVE
MILWAUKEE, WI 53219
(414) 784-1333 FAX (414) 784-5044

CONSULTANTS

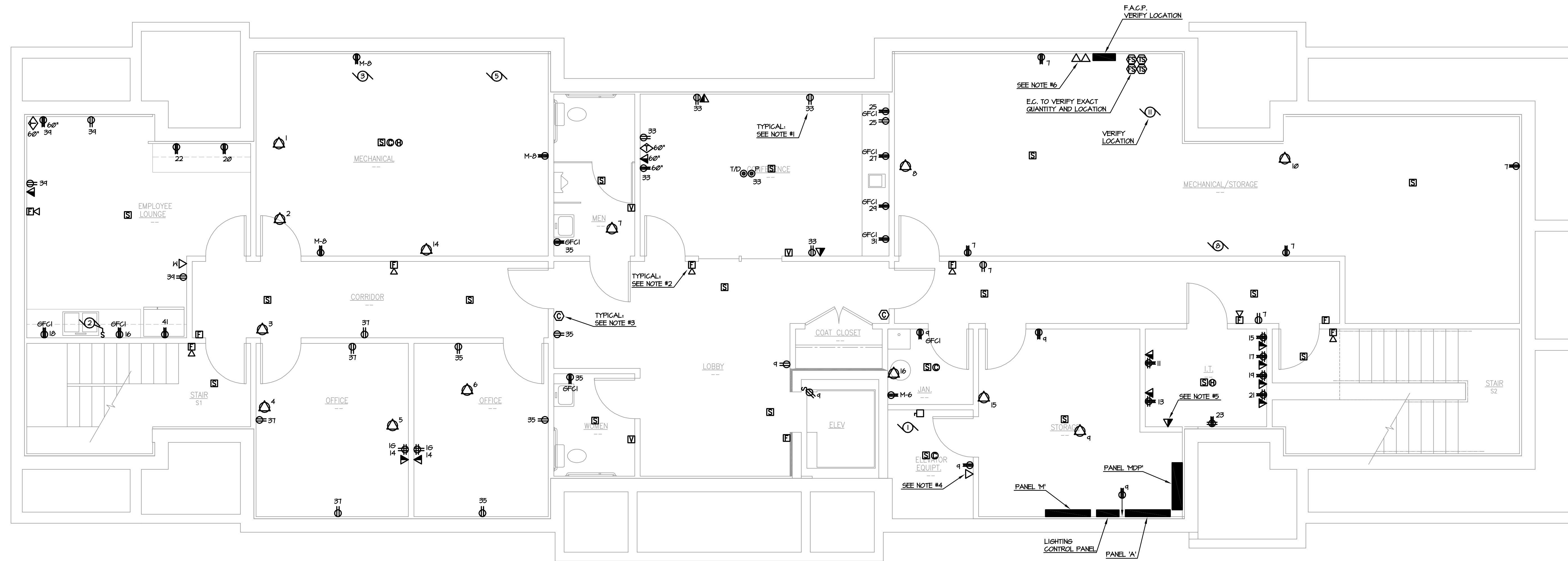
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MILWAUKEE ARCHITECTS & PLANNERS, INC.
18889 WEST BLUEBOND ROAD, SUITE 200, MILWAUKEE, WI 53226

NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
09-23-15

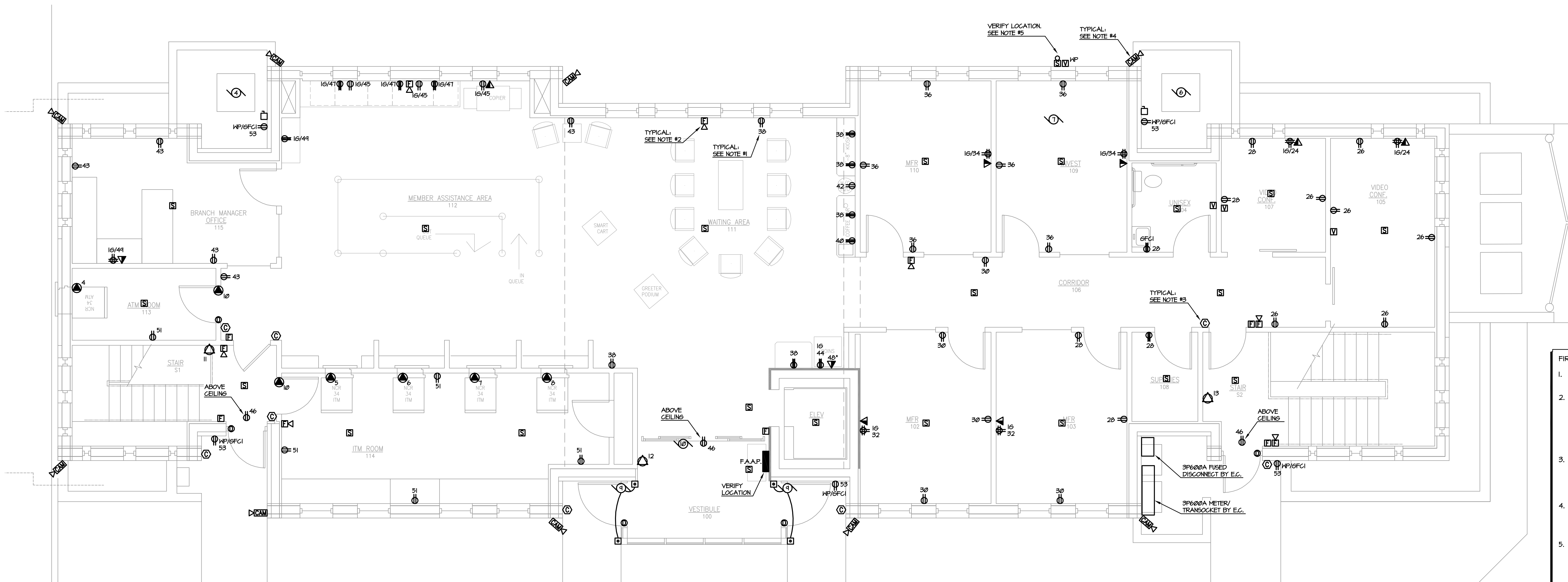
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K&A 15029

SHEET
EM2.0



BASEMENT FLOOR PLAN - POWER & SYSTEMS
SCALE: 1/4"=1'-0"

- BASEMENT FLOOR PLAN NOTES:**
1. ALL POWER/RECEPTACLES ON THIS SHEET WIRED TO PANEL 'A', CIRCUIT NUMBER AS SHOWN, UNLESS NOTED OTHERWISE.
 2. FIRE ALARM DEVICES AND ANY SECURITY DEVICES ARE SHOWN FOR ROUGH-IN ONLY. E.G. TO PROVIDE JUNCTION BOX AND CONDUIT WITH FULL STRINGS AT LOCATIONS SHOWN, STUBBED TO 6 IN. ABOVE CEILING. FIRE ALARM SYSTEM, SECURITY SYSTEM, BURGLAR ALARM AND MONITORING SERVICE ARE BY OWNER/OWNER'S CONTRACTOR. VERIFY REQUIREMENTS AT JOB SITE AND COORDINATE EXACT DEVICE LOCATIONS WITH OWNER AND/OR OWNER'S SYSTEMS PROVIDERS.
 3. DOOR ACCESS CONTROL TO RELEASE AS REQUIRED DURING FIRE ALARM OR OTHER EMERGENCY EGRESS SITUATION TO ALLOW EXIT VIA STAIRWELL PER LIFE SAFETY CODE. INTERLOCK WITH FIRE ALARM CONTROL PANEL AND ELEVATOR CONTROLS AS NEEDED. VERIFY DOOR CONTROL REQUIREMENTS WITH OWNER.
 4. E.G. TO PROVIDE PHONE LINE FOR ELEVATOR MONITORING/ALARM AND HELP PHONE IN GAS ELEVATOR ALARM TO TRANSMIT HELP CALL TO THE VILLAGE DISPATCH CENTER (262-644-1482) WITH RECORDED MESSAGE INCLUDING BUILDING ADDRESS, ELEVATOR AND EMERGENCY NOTIFICATION DEVICE SHALL COMPLY WITH VILLAGE ORDINANCE 180-20. REFERENCE SECTION 180-20 (4). COORDINATE REQUIREMENTS WITH OWNER'S I.T. SYSTEM PROVIDER/INSTALLER.
 5. E.G. TO PROVIDE PHONE AND DATA OUTLETS FOR SECURITY SYSTEM, INCLUDING DEDICATED LINES (PHONE AND/OR DATA) TO VILLAGE DISPATCH AS REQUIRED. VERIFY REQUIREMENTS WITH OWNER AND COORDINATE WITH OWNER'S I.T. SYSTEM PROVIDER/INSTALLER.
 6. E.G. TO PROVIDE PHONE OUTLETS FOR FIRE ALARM SYSTEM, INCLUDING DEDICATED LINES (PHONE AND/OR DATA) TO VILLAGE DISPATCH AS REQUIRED. VERIFY REQUIREMENTS WITH OWNER AND COORDINATE WITH OWNER'S I.T. SYSTEM PROVIDER/INSTALLER.
 7. GENERAL: FIRE ALARM SYSTEM PROVIDER TO SUBMIT FULL AND COMPLETE SYSTEM PLANS TO THE VILLAGE FIRE DEPARTMENT FOR REVIEW, AS WELL AS TO THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES, AT LEAST FOUR (4) WEEKS PRIOR TO THE SCHEDULED START OF INSTALLATION. APPROVAL FROM THE VILLAGE AND STATE MUST BE OBTAINED PRIOR TO ANY INSTALLATION.



FIRST FLOOR PLAN - POWER & SYSTEMS
SCALE: 1/4"=1'-0"

- FIRST FLOOR PLAN NOTES:**
1. ALL POWER/RECEPTACLES ON THIS SHEET WIRED TO PANEL 'A', CIRCUIT NUMBER AS SHOWN.
 2. FIRE ALARM DEVICES AND ANY SECURITY DEVICES ARE SHOWN FOR ROUGH-IN ONLY. E.G. TO PROVIDE JUNCTION BOX AND CONDUIT WITH FULL STRINGS AT LOCATIONS SHOWN, STUBBED TO 6 IN. ABOVE CEILING. FIRE ALARM SYSTEM, SECURITY SYSTEM, BURGLAR ALARM AND MONITORING SERVICE ARE BY OWNER/OWNER'S CONTRACTOR. VERIFY REQUIREMENTS AT JOB SITE AND COORDINATE EXACT DEVICE LOCATIONS WITH OWNER AND/OR OWNER'S SYSTEMS PROVIDERS.
 3. DOOR ACCESS CONTROL TO RELEASE AS REQUIRED DURING FIRE ALARM OR OTHER EMERGENCY EGRESS SITUATION TO ALLOW EXIT VIA STAIRWELL PER LIFE SAFETY CODE. INTERLOCK WITH FIRE ALARM CONTROL PANEL AND ELEVATOR CONTROLS AS NEEDED. VERIFY DOOR CONTROL REQUIREMENTS WITH OWNER.
 4. SECURITY CAMERAS. E.G. TO PROVIDE ROUGH-IN FOR OWNER FURNISHED CAMERAS. VERIFY EXACT LOCATION, SECURITY SYSTEM CIRCUIT A-B. PROVIDE ADDITIONAL CIRCUIT FOR CAMERAS AS REQUIRED. VERIFY REQUIREMENTS WITH OWNER.
 5. E.G. FIRE ALARM SYSTEM PROVIDER TO FURNISH AND INSTALL A RED STROBE LIGHT FOR EACH SPRINKLER RISER, ABOVE EACH SPRINKLER WATER FLOW BELL. THE STROBE SHALL OPERATE FOR A SPRINKLER SYSTEM WATER FLOW AND SHALL MEET VILLAGE SPECIFICATIONS IN SECTION 180-16 (4). VERIFY EXACT LOCATION AND QUANTITY, AND COORDINATE WITH FIRE SPRINKLER SYSTEM PROVIDER, VILLAGE APPROVED STROBE DEVICES, FEDERAL, MODEL 131 STD/ST, AND WHELEN, MODEL 1550. ALTERNATE MANUFACTURERS MUST BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
 6. GENERAL: FIRE ALARM SYSTEM PROVIDER TO SUBMIT FULL AND COMPLETE SYSTEM PLANS TO THE VILLAGE FIRE DEPARTMENT FOR REVIEW, AS WELL AS TO THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES, AT LEAST FOUR (4) WEEKS PRIOR TO THE SCHEDULED START OF INSTALLATION. APPROVAL FROM THE VILLAGE AND STATE MUST BE OBTAINED PRIOR TO ANY INSTALLATION.

NO.	REVISIONS	DESCRIPTION

CONSULTANTS

Corporation Registration #3120-6-1610273

KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS

5425 WEST WISCONSIN AVENUE
MILWAUKEE, WI 53235
(414) 784-3333 FAX (414) 784-5044

MAP

ARCHITECTURE - ENGINEERING - PLANNING
MILWAUKEE ARCHITECTS & PLANNERS, INC.

1885 WEST BLUEMOUND ROAD, SUITE 200, MILWAUKEE, WI 53226

NEW CREDIT UNION BUILDING FOR

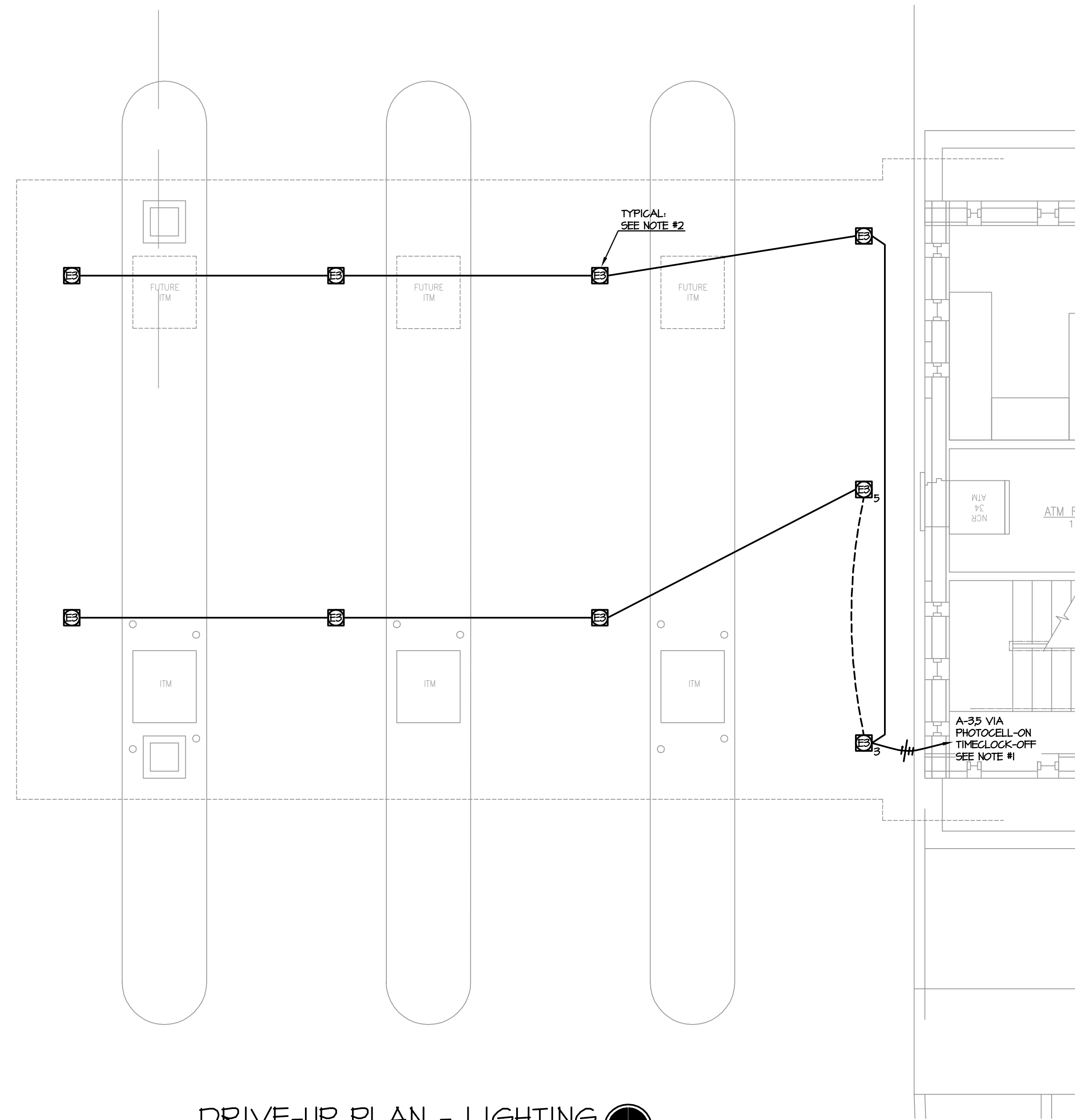
EDUCATORS CREDIT UNION

LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

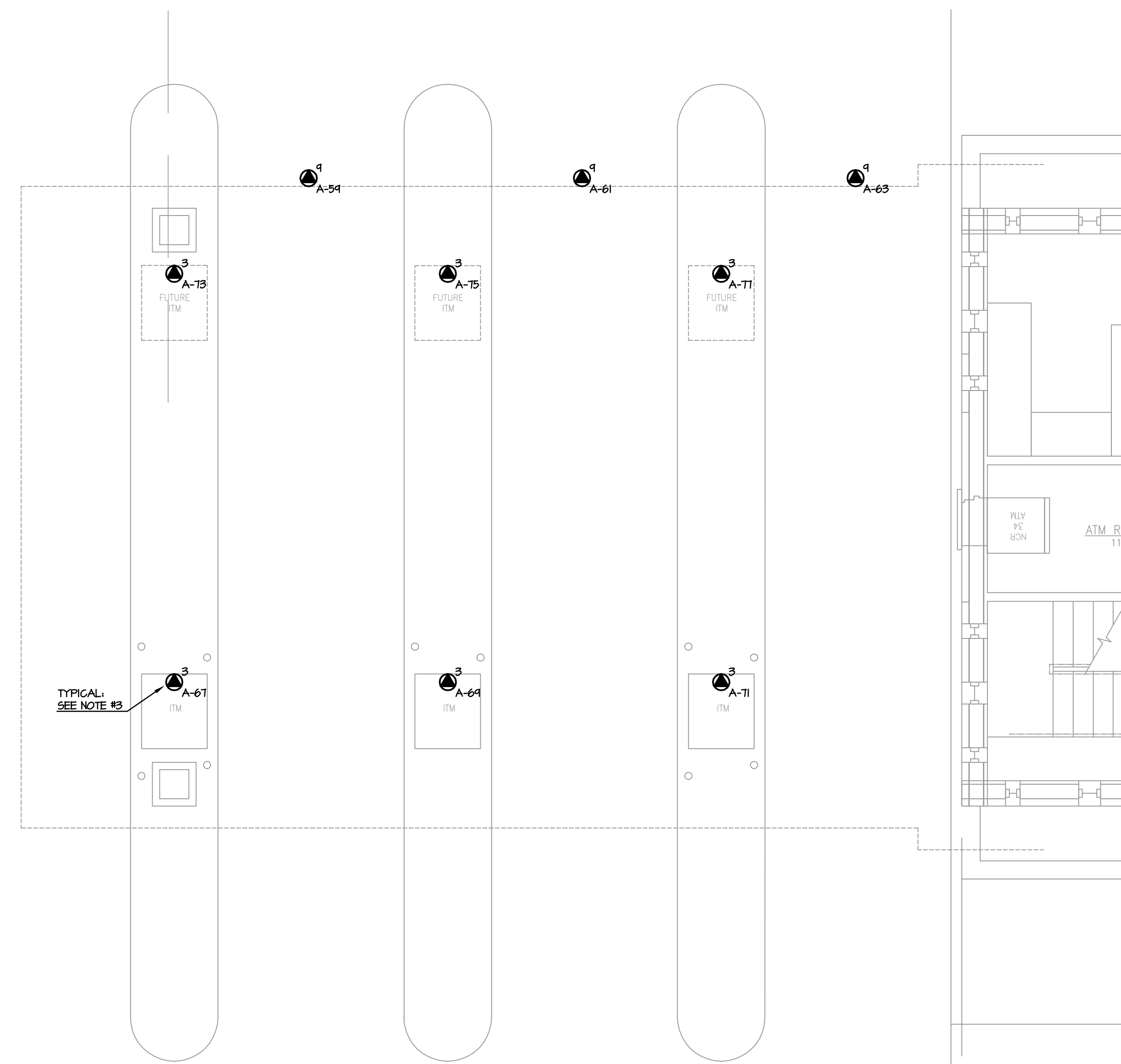
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K&A 15020

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DRIVE-UP PLAN - LIGHTING
SCALE: 1/4"=1'-0"



DRIVE-UP PLAN - POWER & SYSTEMS
SCALE: 1/4"=1'-0"

DRIVE-UP PLAN PLAN NOTES:

1. LIGHTING ON CIRCUIT A-3 TO BE CONTROLLED SUCH THAT EXTERIOR LIGHTING IS TURNED OFF AFTER OWNER-DESIGNATED TIME FOLLOWING THE CLOSE OF BUSINESS. FIXTURES ON CIRCUIT A-3 TO REMAIN ON AS REQUIRED FOR SAFETY/SECURITY PURPOSES, AND FOR USE OF 24-HOUR ATM AND NIGHT DEPOSIT ACCESS. VERIFY LIGHTING CONTROL PANEL PROGRAM REQUIREMENTS WITH OWNER. LIGHTING AT FRONT CANOPY/ENTRANCES, REAR DOOR, DRIVE-UP DEPOSIT DRAWER AND DRIVE-UP ATM CONTROLLED VIA PHOTOCELL ON/OFF FOR SAFETY/SECURITY. WIRE TO CIRCUIT A-3 AS SHOWN WITH CONTROLS PER LIGHTING CONTROL PANEL. OTHER CANOPY FIXTURES WIRED TO CIRCUIT A-3 VIA TIMELOCK ON/OFF, TO OPERATE DURING ATM BUSINESS HOURS ONLY, AS REQUIRED PER MUNICIPAL CODES.
2. COORDINATE DRIVE-THROUGH CANOPY LIGHT FIXTURE LOCATIONS WITH OWNER, FOR PLACEMENT OVER VEHICLES AS REQUIRED.
3. DRIVE UP ATM: PROVIDE 3 #6 THIN & 1 #6 GND. IN 1-1/4" C. FROM PANEL 'A' TO ATM POWER, AND (2) 1" C. WITH PULL STRINGS TO IT SERVER RACK FOR ATM DATA/SECURITY WIRING (FINAL WIRING BY OTHERS). ROUTE CONDUIT/WIRES FROM INSIDE BUILDING, THROUGH DRIVE-UP CANOPY, AND DOWN TO ATM EQUIPMENT. VERIFY EXACT ROUTE AND REQUIREMENTS AT JOB SITE. COORDINATE REQUIREMENTS WITH OWNER AND ATM EQUIPMENT PROVIDER. E.G. SHALL PROVIDE PRICING TO FURNISH AND INSTALL (2) CAT. 5E CABLES (1) EACH COMMUNICATIONS CONDUIT (DATA AND SECURITY). TERMINATE EACH AT THE DESIGNATED LOCATION IN THE ATM CONTROL CABINET, AND AT THE IT/SERVER RACK (BASEMENT MECH. ROOM) AND/OR AS DIRECTED BY THE OWNER. VERIFY REQUIREMENTS AT THE JOBSITE.

DATE

REVISIONS
NO. DESCRIPTION

CONSULTANTS
Corporation Registration #31320-4-1610273
KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS
5450 WEST WISCONSIN AVENUE
MILWAUKEE, WI 53227
(262) 794-3333 FAX (262) 794-5014

MAP
ARCHITECTURE - ENGINEERING - PLANNING
MILWAUKEE ARCHITECTS & PLANNERS, INC.
19889 WEST BLUEBOND ROAD, SUITE 200, MILWAUKEE, WI 53226

NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE
09-23-15

PROJECT
1501
K&A 1502D

SHEET
E4.0

PANEL 'A'		PHASE			DESCRIPTION	BRKR	CRGT NO.
CRGT NO.	BRKR	A	B	C			
1	IP20				EXIT LIGHTS	IP20	2
3	IP20	431	1020		NIGHT LIGHTS	IP20	4
5	IP20		581		BSMT. MECH./STORAGE/IT JANITOR LIGHTING	IP20	6
7	IP20		340	1020	BSMT. LOBBY/CONF. OFFICE LOUNGE LIGHTING	IP20	8
11	IP20		613		FIRST FLOOR VIDEO CONF. OFFICE LIGHTING	IP20	10
13	IP20		1040		FIRST FLOOR MFG/MEMBER/ OFFICE LIGHTING	IP20	12
15	IP20		120		BASEMENT OFFICE RECEPTACLES (4) 1G	IP20	14
17	IP20		1000		EMPLOYEE LOUNGE RECEPTACLES (5C)	IP20	16
19	IP20		600	1000	EMPLOYEE LOUNGE RECEPTACLES (5C)	IP20	18
21	IP20		180		EMPLOYEE LOUNGE RECEPTACLES (5C)	IP20	20
23	IP20		600	1000	EMPLOYEE LOUNGE RECEPTACLES (5C)	IP20	22
25	IP20		1000		VIDEO CONFERENCE RECEPTACLES (4) 1G	IP20	24
27	IP20		360	1000	VIDEO CONFERENCE RECEPTACLES (6)	IP20	26
29	IP20		1000		VIDEO CONF. MFR 103 RECEPTACLES (6)	IP20	28
31	IP20		1000		MFR 102/MFR 103 OFFICE RECEPTACLES (6)	IP20	30
33	IP20		100	120	MFR 102/MFR 103 OFFICE RECEPTACLES (6)	IP20	32
35	IP20		1000		MFR 100/INVEST 104/ OFFICE RECEPTACLES (4) 1G	IP20	34
37	IP20		1000		MFR 100/INVEST 104/ OFFICE RECEPTACLES (6)	IP20	36
39	IP20		120	1000	WAITING AREA RECEPTACLES (6)	IP20	38
41	IP20		120	1000	EMPLOYEE LOUNGE RECEPTACLES (5C)	IP20	40
43	IP20		600	1000	WAITING AREA RECEPTACLES (EHC)	IP20	42

VOLTAGE: 120/208 VOLT, 3 PHASE, 4 WIRE
 TOTAL PHASE A, CONTINUED
 TOTAL PHASE B, CONTINUED
 TOTAL PHASE C, CONTINUED
 TOTAL PANEL:
 TOTAL AMPS:
 DEMAND WATTS: DEMAND AMPS:

SQ.D CAT. # NG00
 MAIN BREAKER MAIN LUGS ONLY
 FEED THROUGH LUGS SUB FEED LUGS
 FLUSH SURFACE
 COMMENTS:

PANEL 'A' (CONT.)		PHASE			DESCRIPTION	BRKR	CRGT NO.
CRGT NO.	BRKR	A	B	C			
43	IP20		600		WAITING AREA COIN COUNTER RECEPTACLES (5C) 1G	IP20	44
45	IP20		400	540	ABOVE CEILING RECEPTACLES (3) 1G	IP20	46
47	IP20		540	1000	INTEGRATED TELLER MACHINE	IP20	48
49	IP20		1000	540	INTEGRATED TELLER MACHINE	IP20	50
51	IP20		540	1000	INTEGRATED TELLER MACHINE	IP20	52
53	IP20		400	1000	INTEGRATED TELLER MACHINE	IP20	54
55	IP20		1000		ATM/ITM SECURITY PANEL	IP20	56
57	IP20		1200	500	ELEVATOR CONTROL PANEL	IP20	58
59	IP20		1200	500	ELEVATOR CAB LIGHTS	IP20	60
61	IP20		1200		DRIVE-UP OPEN/CLOSE SIGN	IP20	62
63	IP20		1200		DRIVE-UP OPEN/CLOSE SIGN	IP20	64
65	IP20		1200		DRIVE-UP ATM	IP20	66
67	IP30		2000		DRIVE-UP ITM (FUTURE)	IP30	68
69	IP30		2000		DRIVE-UP ITM (FUTURE)	IP30	70
71	IP30		2000		DRIVE-UP ITM (FUTURE)	IP30	72
73	IP30		2000		DRIVE-UP ITM (FUTURE)	IP30	74
75	IP30		2000		DRIVE-UP ITM (FUTURE)	IP30	76
77	IP30		2000		DRIVE-UP ITM (FUTURE)	IP30	78
79							80
81							82
83							84

VOLTAGE: 120/208 VOLT, 3 PHASE, 4 WIRE
 TOTAL PHASE A, 21200
 TOTAL PHASE B, 22421
 TOTAL PHASE C, 23505
 TOTAL PANEL: 66867
 TOTAL AMPS: 186
 DEMAND WATTS: 52657 DEMAND AMPS: 146

SQ.D CAT. # NG00
 MAIN BREAKER MAIN LUGS ONLY
 FEED THROUGH LUGS SUB FEED LUGS
 FLUSH SURFACE
 COMMENTS:

PANEL 'M'		PHASE			DESCRIPTION	BRKR	CRGT NO.
CRGT NO.	BRKR	A	B	C			
1	IP30		3000		WATER HEATER	2P40	2
3	IP30		1540	3000			4
5	2P50		1540	3000	REHEAT BOX VAV-1 CONTROL RECEPTACLE (5C)	IP20	6
7			540	3556	MECHANICAL ROOM RECEPTACLES (3)	IP20	8
9	2P40		3556	1150	EMPLOYEE COUNTER DISPOSAL	IP20	10
11			2124	2124	IT ROOM COOLING UNIT	IP20	12
13	IP20		610	2124	DOOR OPERATOR	IP20	14
15	2P20		610	610	DOOR OPERATOR	IP20	16
17			500	610	DOOR OPERATOR	IP20	18
19	2P20		150	500	REHEAT BOX VAV-8	2P20	20
21			500	750			22
23	2P20		500	1000	REHEAT BOX VAV-4	2P20	24
25			500	1000			26
27	2P20		500	750	REHEAT BOX VAV-10	2P20	28
29			1000	150			30
31	2P20		2000	2000	WALL HEATER EHH-1	2P30	32
33			500	2000			34
35	2P30		500	2000	WALL HEATER EHH-2	2P30	36
37			2500	2000			38
39	2P20		1000	2000	WALL HEATER EHH-3	2P30	40
41			1000	2000			42

VOLTAGE: 120/208 VOLT, 3 PHASE, 4 WIRE
 TOTAL PHASE A, CONTINUED
 TOTAL PHASE B, CONTINUED
 TOTAL PHASE C, CONTINUED
 TOTAL PANEL:
 TOTAL AMPS:
 DEMAND WATTS: DEMAND AMPS:

SQ.D CAT. # NG00
 MAIN BREAKER MAIN LUGS ONLY
 FEED THROUGH LUGS SUB FEED LUGS
 FLUSH SURFACE
 COMMENTS:

PANEL 'M' (CONT.)		PHASE			DESCRIPTION	BRKR	CRGT NO.
CRGT NO.	BRKR	A	B	C			
43	2P20		500		FLOW/TAMPER SWITCHES	IP20	44
45			1500	250	SPRINKLER BELL	IP20	46
47	2P20		1500	1500	SPARE	IP20	48
49			360	360	SPRINKLER COMPRESSOR	3P15	50
51			1500	360			52
53				360			54
55							56
57							58
59							60
61							62
63							64
65							66
67							68
69							70
71							72
73							74
75							76
77							78
79							80
81							82
83							84

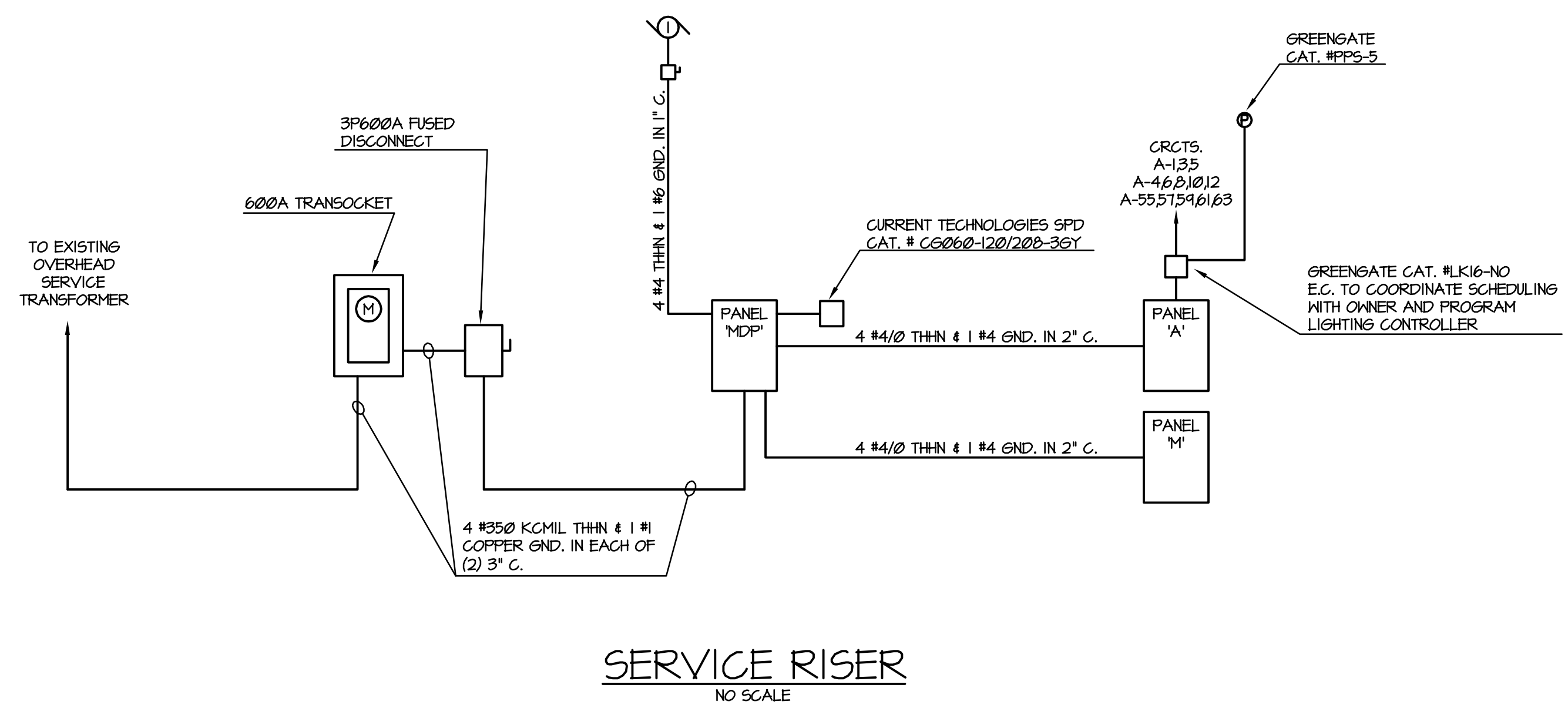
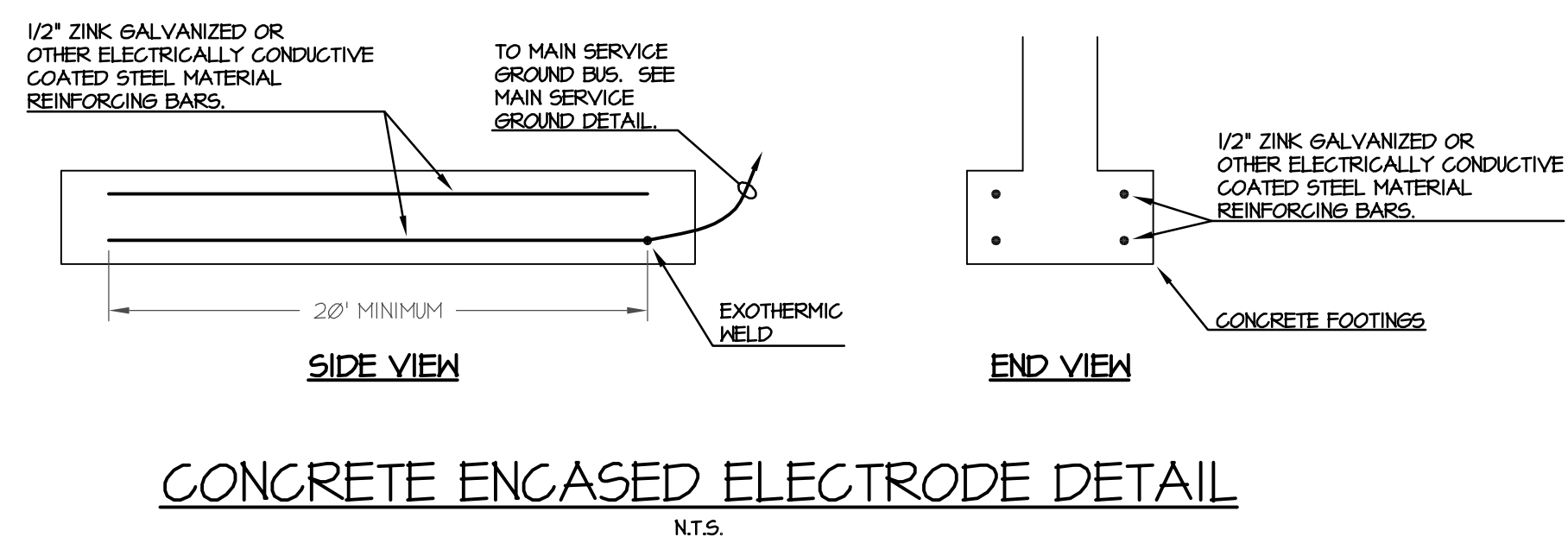
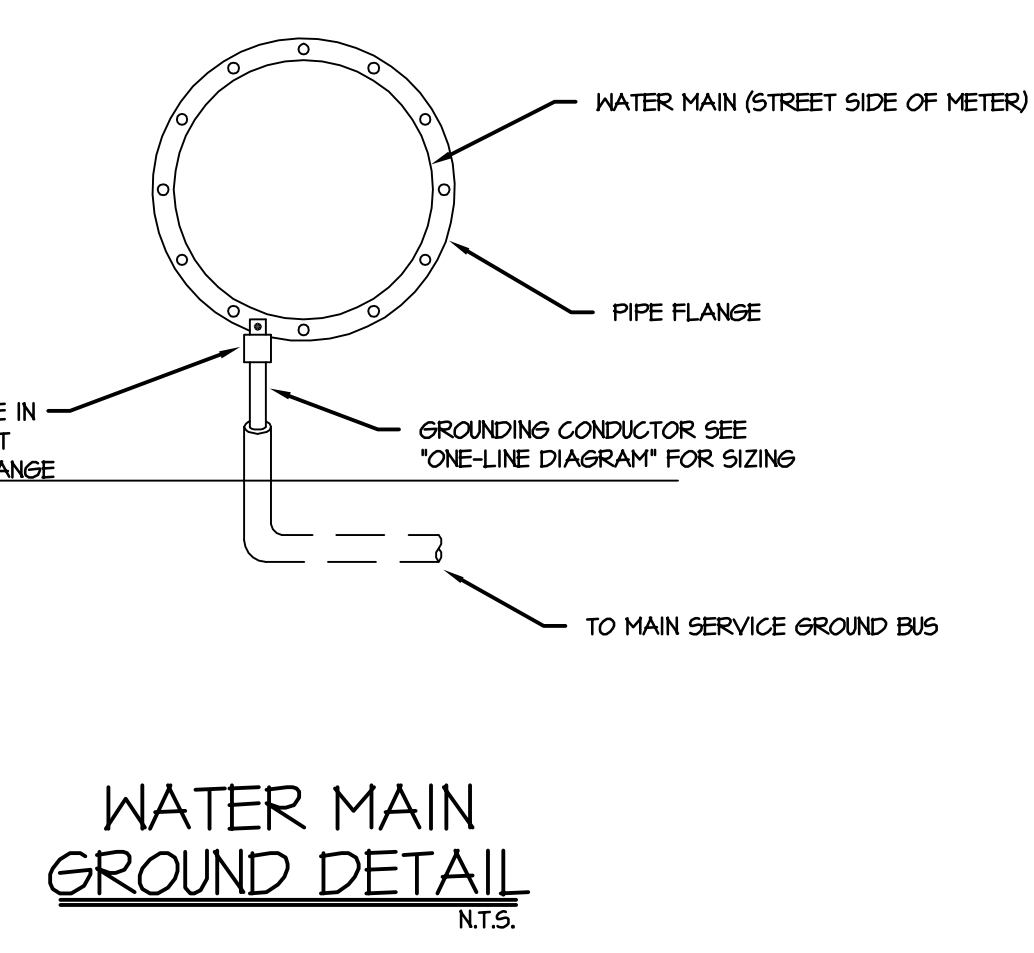
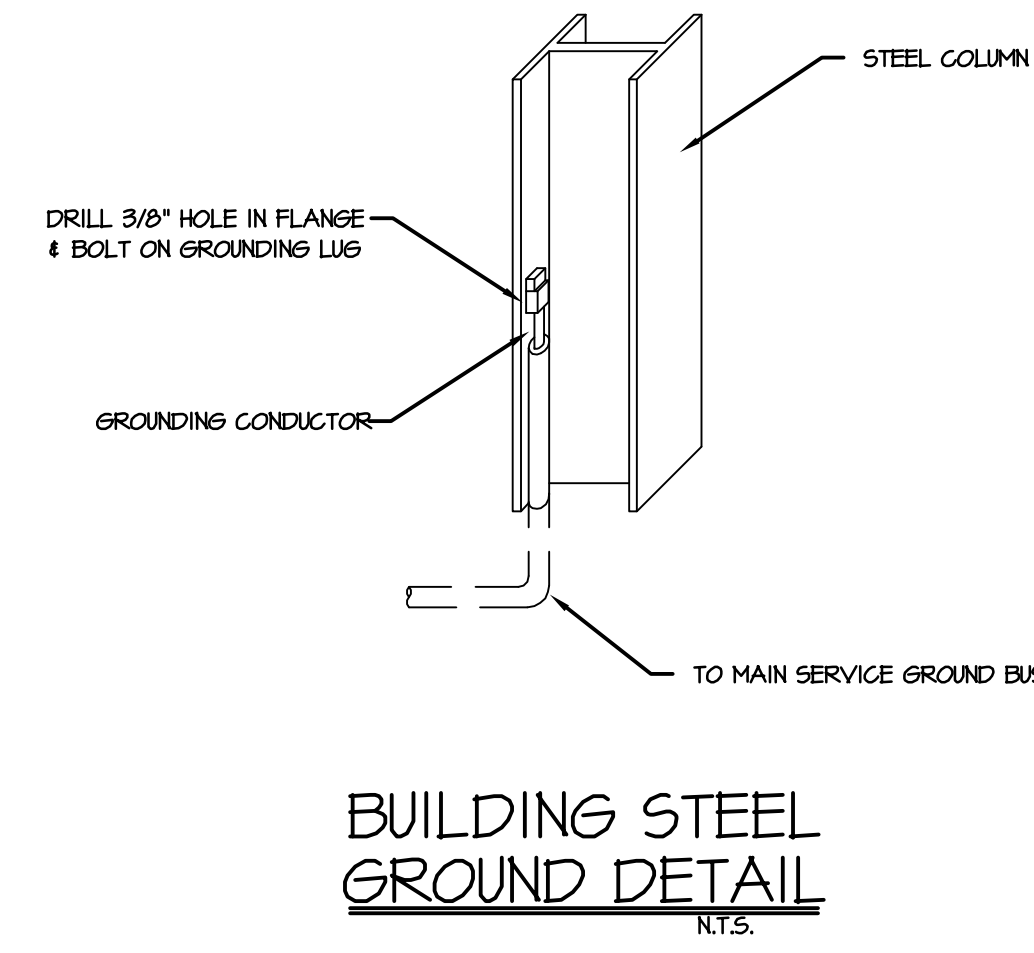
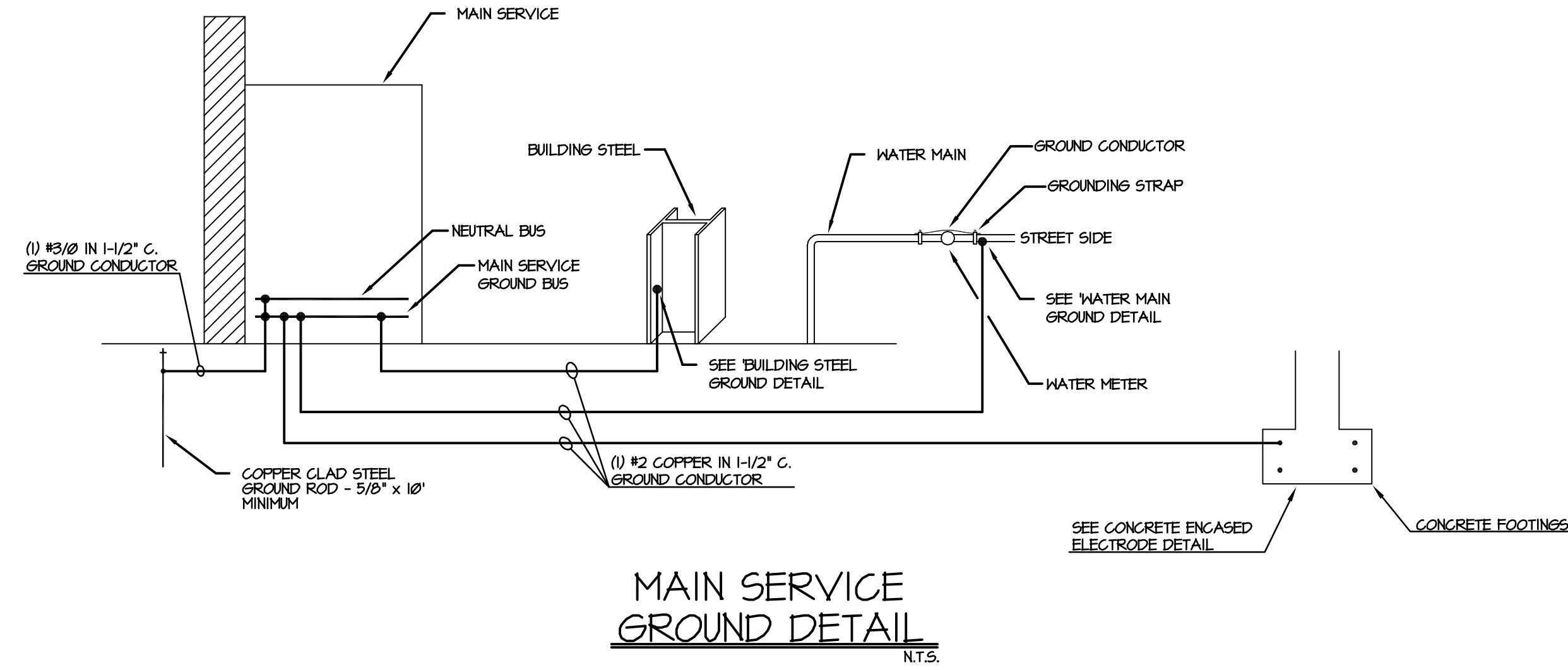
VOLTAGE: 120/208 VOLT, 3 PHASE, 4 WIRE
 TOTAL PHASE A, 23636
 TOTAL PHASE B, 21124
 TOTAL PHASE C, 23860
 TOTAL PANEL: 64220
 TOTAL AMPS: 192
 DEMAND WATTS: 56225 DEMAND AMPS: 156

SQ.D CAT. # NG00
 MAIN BREAKER MAIN LUGS ONLY
 FEED THROUGH LUGS SUB FEED LUGS
 FLUSH SURFACE
 COMMENTS:

PANEL 'MDP'		PHASE			DESCRIPTION	BRKR	CRGT NO.
CRGT NO.	BRKR	A	B	C			
1	3P225		23636		PANEL 'M'	3P225	2
3			21220				4
5			2124				6
7	3P125		23505		SURGE PROTECTION DEVICE	3P60	8
9			6620				10
11			6620				12
13							14
15							16
17							18
19							20
21							22
23							24
25							26
27							28
29							30
31							32
33							34
35							36
37							38
39							40
41							42

VOLTAGE: 120/208 VOLT, 3 PHASE, 4 WIRE
 TOTAL PHASE A, 51124
 TOTAL PHASE B, 50165
 TOTAL PHASE C, 53630
 TOTAL PANEL: 156127
 TOTAL AMPS: 433
 DEMAND WATTS: 110575 DEMAND AMPS: 307

SQ.D CAT. # ILINE
 MAIN BREAKER MAIN LUGS ONLY
 FEED THROUGH LUGS SUB FEED LUGS
 FLUSH SURFACE
 COMMENTS: *SHUNT TRIP BREAKER. VERIFY REQUIREMENTS WITH ELEVATOR EQUIPMENT PROVIDER.



- SERVICE RISER DIAGRAM NOTES:
- E.G. SHALL VERIFY AND COORDINATE ALL SERVICE REQUIREMENTS WITH LOCAL UTILITY CO.
 - E.G. SHALL VERIFY THE AVAILABLE FAULT CURRENT WITH LOCAL UTILITY AND PROVIDE DISTRIBUTION EQUIPMENT WITH WITHSTAND/INTERRUPTING RATINGS THAT MEET AND/OR EXCEED THE AVAILABLE FAULT CURRENT THROUGHOUT THE DISTRIBUTION SYSTEM.
 - E.G. SHALL PROVIDE A SELECTIVE COORDINATION STUDY TO ENSURE THAT PROPERLY COORDINATED DISTRIBUTION EQUIPMENT IS PROVIDED AND TO DETERMINE APPROPRIATE SETTINGS OF ADJUSTABLE TRIP DEVICES. PROVIDE BOND REPORT WHICH INDICATES THE RESULTS OF THE STUDY. E.G. SHALL SET ALL ADJUSTABLE TRIP DEVICES PER THE RESULTS OF THE COORDINATION STUDY.
 - E.G. SHALL PROVIDE DOCUMENTATION TO THE VILLAGE INDICATING AVAILABLE FAULT CURRENT AT EQUIPMENT, AND VERIFY SHORT CIRCUIT CURRENT RATINGS COMPLIANCE FOR EACH PANEL AND/OR OTHER EQUIPMENT PER (2011) NEC 110.10.

DATE
 REVISIONS
 NO. DESCRIPTION

CONSULTANTS
MAP
 ARCHITECTURE • ENGINEERING • PLANNING
 1888 WEST BLUEMOUND ROAD, SUITE 200, MILWAUKEE, WI 53226
 (414) 774-3333

NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
 LOT 21, WESTFIELD HEIGHTS SUBDIVISION
 PLEASANT PRAIRIE, WISCONSIN

DATE
09-23-15
 PROJECT
 1501
 KSA 15020
 SHEET
E6.0

SECTION 16100
GENERAL PROVISIONS

I. SCOPE

A. All work included in this division of the specification and its sections is to be coordinated with and complementary to all the requirements and conditions set forth in other divisions and sections of the specifications, and associated drawings wherever applicable to the electrical work. This applies to contractor, subcontractor, and surety.

B. Work Included:

- a. Scope
- b. General Requirements
- c. Codes, Permits, Fees, and Sales Tax
- d. Materials and Equipment Substitutions
- e. Drawings and Specifications
- f. Shop Drawing Review
- g. Cutting and Patching
- h. Identifications and Instructions
- i. Temporary Light and Power
- j. Final Tests and Demonstrations
- k. Guarantees
- l. Record Drawings

C. Work of other sections: The following is intended to serve as an electrical index only without intending to restrict the volume of work required.

- Section 16100 - General Provisions
- Section 16100 - Basic Materials and Methods
- Section 16400 - Service and Distribution
- Section 16500 - Lighting
- Section 16100 - Special Systems

2. GENERAL REQUIREMENTS

A. This section of the specifications is a separate contract and includes the furnishing of all labor, materials, tools, transportation, test equipment, permits, certificates, temporary protection, and storage required to complete the electrical work.

B. Wherever the words "the Electrical Contractor", "Contractor" or "this Contractor" appear in this division of the specifications they apply specifically to the Electrical Contractor. The words "furnish" and/or "provide" means the Electrical Contractor to furnish, mount, and wire be complete.

C. Electrical Contractor to review all project contract documents, and provide all materials and labor for all electrical requirements indicated. (Contract documents shall include but not limited to architectural, electrical, HVAC, plumbing, sprinkler system etc. plans and specifications).

D. Contractor shall read the entire specification including Instructions to Bidders, General Conditions, and Special Conditions, Plumbing, HVAC, etc. all of which are applicable to this work and shall thoroughly examine all the project plans and the proposed construction site as he will be required to do all of the electrical work belonging to all disciplines of work whether or not specifically mentioned herein or indicated or shown on the electrical plans.

E. Successful bidder will not be allowed any extra compensation by reason of any matter or thing concerning which such bidder might have informed himself prior to the bid opening. It shall be understood that the act of submitting a bid carries with it the agreement to all items and conditions referred to or indicated or implied on the contract document drawings and the specifications. This includes all requirements and charges by the local electric and telephone utilities for permanent and temporary services.

F. In the event of a request for additional payment due to owner changes, subcontractor to provide to the general contractor/engineers a detailed description of changes required, including reason for proposed work and a complete material and labor breakdown of all associated costs.

G. This contractor shall furnish and remove upon completion of the project all scaffolding, rigging, hoisting, and services necessary for delivery, erection, and installation of all equipment and apparatus required to be installed by this contractor.

H. In entering into a contract covering this work, the contractor accepts the plan and specifications and guarantees that the work will be carried out in accordance with the requirements of the plan, specification, applicable codes or such modifications as may be made in the contract documents. Contractor further guarantees to replace and make good at his own final payment and acceptance by the architect, due to faulty workmanship or materials.

3. CODES, PERMITS, FEES, AND SALES TAX

A. Installation shall comply with rules and regulations of the latest edition of the Occupational Safety and Health Act, National Electrical Code, State Electrical Code, local municipal code, American With Disabilities Act (ADA), the electric utility furnishing electrical energy to this project and any other board having jurisdiction over the electrical installation.

B. Contractor shall be licensed to perform electrical work in the municipality in which the project is located and shall obtain all necessary permits for electrical work and shall pay all required fees and sales or use tax as applicable to this branch of work. Upon completion of the work, deliver to the owner without cost all required certificates of inspection and approval.

4. MATERIAL AND EQUIPMENT SUBSTITUTIONS

A. Materials and equipment of the types for which there are National Board of Fire Underwriters (N.B.U.) listing and label service shall be so labeled and shall be used by the Contractor. All alternate bids must meet the requirements of all applicable codes.

B. Contractor shall bid on items as specified. The Electrical Contractor may offer alternate equipment bids (if in strict accordance with the requirements of the architect's specifications for alternate bids and meets all applicable codes) and if the alternate bid price is a separate document indicating the equipment manufacturer, catalog number, the amount added or deducted from the base bid and is attached to the Electrical Contractor project bid. The Electrical Contractor is to verify that the alternate equipment meets all applicable codes before submitting an alternate bid price. Substitute light fixture shall include E.T.L. or I.T.L. photometric test data of proposed fixtures. If this procedure is not followed, the alternate bid will be rejected without review.

C. Materials and equipment by manufacturers other than those named will be considered if such substitute items are equal in quality and otherwise similar in composition, design, construction, dimension, capacity, efficiency, finish, performance and the contractor meets the requirements indicated above.

D. Where substitutions have been accepted by the engineers and it is later found such substitutions alter the design or space requirements indicated on the plans, the contractor shall be responsible for the cost involved to revise the building design and construction including the cost of all allied trades involved.

E. Should an equipment supplier desire to bid his equipment as an approved equal for equipment specified, he must request approval before the project is bid. Along with the request he must provide catalog cut sheets indicating the equipment and manufacturer he intends to provide, also E.T.L. or I.T.L. photometric test data for lighting fixtures. The submittal will be reviewed to determine acceptability. If the submittal is acceptable, the manufacturer will be listed either on the plans or in an addendum. Without this listing, the equipment supplier may not bid this project as an approved equal.

5. DRAWINGS AND SPECIFICATIONS

A. Work called for in these specifications, but not shown on the drawings in their present form or vice versa, and work not specified in either contract specifications or drawings, but involved in carrying out their intent or necessary for complete and proper execution of the work is required and shall be performed as though it were specifically outlined or described.

B. The intent of these specifications and the drawings is to include a complete wiring system from service entrance to each outlet indicated or specified, including connecting all electrical devices and/or equipment furnished by the owner or other contractors.

C. Any conflict between contract drawings and specifications shall be deemed to have been estimated the more expensive way of doing the work and/or the most stringent requirements shall prevail.

The drawings, which constitute a part of the contract, are diagrammatic and indicate the general arrangement of circuits and outlets, location of switches, and panelboards. Generally, outlets shall be located as required by code or for proper installation of equipment and to be coordinated with work of other trades.

6. SHOP DRAWINGS REVIEW

A. Contractor shall submit to the engineer for review, data sheets and wiring diagrams of all complex systems and equipment including but not limited to the following:

- a. Lighting Fixtures
- b. Panelboards, Switchboards, Disconnects
- c. Fire Alarm System

B. If any equipment covered by these shop drawings are installed prior to drawing approval, it will be at this contractor's risk.

7. CUTTING AND PATCHING

A. Contractor shall be responsible for all cutting and patching necessary for the installation of the electrical work. In the event holes must be cut through reinforced concrete, they must be core drilled and only with specific approval of the architect.

B. IDENTIFICATIONS AND INSTRUCTIONS

A. Each distribution and lighting panelboard is to be labeled as per plans and shall be equipped with a typewritten directory accurately indicating rooms and/or equipment being served.

B. On branch circuits, use shall be made of all standard colors available. Where wires of different systems junction in a common box, each cable shall be grouped with its own system and identified using tags or identification strips. All control and special system wires shall also be clearly identified by description and location.

C. All panelboards, cabinets, safety switches, circuit breakers, contactors, motor starters, remote control stations, etc. shall be identified as to equipment served.

D. Labels are to be engraved with black lettering on white laminated faceplate securely attached by metal screws. Use red and white plates on emergency equipment.

9. TEMPORARY LIGHT AND POWER

A. The existing building electrical service and distribution equipment is available to feed construction power requirements for this expansion. The Electrical Contractor may utilize existing receptacles for construction power of the renovation/addition if acceptable by building owner/tenant. All energy charges for temporary lighting and power to be paid by the owner. Electrical Contractor shall provide temporary lighting and power systems adequate for the construction of this project and in accordance with OSHA requirements for construction projects.

10. FINAL TESTS AND DEMONSTRATIONS

A. Upon completion of the work, the electrical installation shall test entirely free of grounds and short circuits. All feeders are to be meggered. Made electrodes to be tested with a direct reading ground resistance tester.

B. All auxiliary systems shall be checked for optimum performance and all motors shall be checked for proper rotation.

II. GUARANTEES

A. The Electrical Contractor shall leave the entire electrical system in good working order and shall at his expense repair, rebuild, remodel, and make good and acceptable all defective labor and materials that may develop within one (1) year after completion and final acceptance of the work hereunder and as further described under other Divisions of the specifications.

12. RECORD DRAWINGS

A. Contractor shall keep an up-to-date set of "record drawings" kept current on a daily basis. Such drawings shall be available to the engineer or his representative at the job site at all times. Upon completion of the contract turn over to the engineer one complete set of reproducible drawings.

SECTION 16100
BASIC MATERIALS AND METHODS

I. SCOPE

A. Requirements of Conditions of Contract and of sections listed under General Requirements apply to work under this section.

B. This section of work includes the basic materials required to install, connect and complete electrical work in a finished workmanlike manner.

C. Work Included:

- a. Scope
- b. Raceway System
- c. Support of Conduit
- d. Conduit Fittings
- e. Fire Stops
- f. Junction Boxes and Access Panels
- g. Outlet Boxes
- h. Location of Outlets and Equipment
- i. Wire and Wiring Method - 600 Volt and Below
- j. Wiring Devices
- k. Motor Wiring and Wiring for Other Trades
- l. Disconnect Switches
- m. Fuses

2. RACEWAY SYSTEM

A. Furnish and install a complete conduit raceway system for all feeders, branch circuits, control, instrumentation and communication circuits, unless otherwise indicated in the specifications or on the plans.

B. All conduit shall be furnished in manufactured lengths and U.L. listed for each manufactured length. Rigid heavy wall conduit shall be full weight, hot dip galvanized steel conduit. Type IMC Intermediate Metal Conduit to be electro-galvanized with a bicromate finish to be applied inside and out. E.M.T. shall be electro-galvanized mild steel with thoroughly welded seams. Type PVC to be schedule 40 and only as allowed by applicable codes.

C. Rigid heavy wall conduit or IMC (when approved by local codes) must be used in the following locations:

- a. All conduits exposed outdoors. (Provide galvanized rich coating to threaded ends)
- b. All conduit installed in concrete that is on grade or below grade.
- c. All conduits stubbed up from floor or stubbed through outside wall or roof.
- d. All conduit 2-1/2" and larger.
- e. All conduit that is directly imbedded in the earth.

D. Direct buried conduit shall be:

- a. Rigid heavy wall conduit, IMC, or Schedule 40 P.V.C., U.L. listed non-metallic conduit. Unless noted otherwise, any P.V.C. conduit larger than 2" shall be concrete encased.
- b. Installed under any driveway or walkway over 5 feet in width.
 - Where heavy truck traffic is anticipated, conduits to be encased in a 3" concrete envelope in that area.
 - Installed on undisturbed earth and surrounded by a 3" sand envelope (when not concrete encased).

E. Conduit system exposed in food process or wash down areas shall be PVC coated rigid steel.

- a. The PVC coated galvanized rigid conduit must be U.L. listed. The PVC coating must have been investigated by U.L. as providing the primary corrosion protection for the rigid metal conduit. Ferrous fittings for general service locations must be U.L. listed with PVC as the primary corrosion protection. Hazardous location fittings, prior to plastic coating must be U.L. listed. All conduit and fittings must be new, unused material. Applicable U.L. standards may include: U.L. 6 Standard for Safety Rigid Metal Conduit, U.L. 548 Standard for Safety Fittings for Conduit and Outlet Boxes.
- b. The PVC coated galvanized rigid conduit must be ETL Verified to the Intertek, ETL SEMKO High Temperature H2O PVC Coating Adhesion Test Procedure for 2000 hours. The PVC coated galvanized rigid conduit must bear the ETL Verified PVC-200 label to signify compliance to the adhesion performance standard.
- c. The conduit shall be hot dip galvanized inside and out with hot galvanized threads.
- d. A PVC sleeve extending one pipe diameter or two inches, whichever is less, shall be formed at every female fitting opening except unions.
- e. The inside sleeve diameter shall be matched to the outside diameter of the conduit.
- f. The PVC coating on the outside of conduit couplings shall have a series of longitudinal ribs 40 mils in thickness to protect the coating from tool damage during installation.
- g. Form B conduits, 1 1/2" through 2" diameters, shall have a tongue-in-groove gasket to effectively seal against the elements. The design shall be equipped with a positive placement feature to ease and assure proper installation. Certified results confirming seal performance at 15 psig (positive) and 25 in. of mercury (vacuum) for 12 hours shall be available.
- h. Form B Conduits shall be supplied with plastic encapsulated stainless steel cover screws.
- i. A urethane coating shall be uniformly and consistently applied to the interior of all conduit and fittings. This internal coating shall be a nominal 2 mil thickness. Conduit or fittings having areas with thin or no coating shall be unacceptable.
- j. The PVC exterior and urethane interior coatings applied to the conduit shall afford sufficient flexibility to permit field bending without cracking or flaking at temperatures above 300°F (149°C).
- k. All male threads on conduit, elbows and nipples shall be protected by application of a urethane coating.
- l. All female threads on fittings or conduit couplings shall be protected by application of a urethane coating.
- m. Independent certified test results shall be available to confirm coating adhesion under the following conditions:
 - Conduit and conduit exposure to 150°F (65°C) and 45% relative humidity with a minimum mean time to failure of 30 days. (ASTM D1151)
 - The interior coating bond shall be confirmed using the Standard Method of Adhesion by Tape Test. (ASTM D3359).
 - No trace of the internal coating shall be visible on a white cloth following six wipes over the coating which has been wetted with acetone (ASTM D1505).
- n. The exterior coating bond shall be confirmed using the methods described in Section 3.B, NEMA RNI. After these tests the physical properties of the exterior coating shall exceed the minimum requirements specified in Table 3), NEMA RNI.
- o. Right angle beam clamps and U bolts shall be specially formed and sized to snugly fit the outside diameter of the coated conduit. All U bolts will be supplied with plastic encapsulated nuts that cover the exposed portions of the threads.
- p. Installation of the PVC Coated Conduit System shall be performed in accordance with the Manufacturer's Installation Manual. To assure correct installation, the installer shall be certified by manufacturer to install coated conduit.

F. Service conduits installed below a ground floor slab are to be encased in minimum of 3" of concrete and shall be a minimum of 6" below slab. Provide 6" bank run gravel cover over duct bank. Conduit can be rigid heavy wall, IMC, or P.V.C. schedule 40 as allowed by code. Do not penetrate vapor barriers with conduit. Before P.V.C. conduit exits the concrete, the conduit is to be changed to rigid galvanized or IMC. All conduit runs where P.V.C. is all or part of the run, a code sized ground wire shall be used for the entire length of the run.

G. Electric metallic tubing (thin wall conduit) bearing the UL label of approval may be used for branch circuit wiring and for auxiliary systems except it shall not be used for runs specified to be installed in rigid conduit.

H. Conduits shall be of size required to accommodate the number of conductors in accordance with the tables given in the current edition of the National Electrical Code or as noted on the drawings, whichever is larger. Minimum conduit size shall be 1/2" for all systems; 3/4" minimum where roughed in concrete pour.

I. All conduit shall be run concealed except that exposed surface raceway or surface conduit may be installed where noted on plan or where concealment is found to be impractical or impossible and only with the approval of the architect. Surface raceway to be Hirschfeld or Walker. All exposed conduit shall be run parallel to or at right angles with the lines of the building. This includes all spaces above hung insulated ceiling panels.

J. Conduits shall be continuous from outlet to outlet, and from outlets to cabinets, junction or pull boxes, such that each system shall be electrically continuous from point of service to all outlets. Entire raceway system shall be made water tight where installed in wet places, underground or where buried in masonry or concrete.

K. Conduit runs that extend through areas of different temperature or atmospheric conditions or that are partly indoors and partly outdoors, shall be sealed and installed in a manner that will prevent drainage of condensed or entrapped moisture into cabinets, motors or equipment enclosures. Overhead conduit shall be provided with seal and drain fittings to provide continuous automatic drainage.

L. Conduits installed in concrete slabs shall be rigid heavy wall, IMC, or P.V.C. - Schedule 40 as allowed by code. Do not penetrate the vapor barrier. Where conduits are P.V.C. Schedule 40 and before they exit the concrete they shall be changed to rigid heavy wall or IMC to a minimum height of 1'-0" A.F.F. where concealed and 4'-0" A.F.F. where exposed. Provide a code sized ground wire the entire length of a P.V.C. run.

M. Conduits or sleeves shall be located as close to the middle of concrete slabs or walls as practical without disturbing the reinforcement. Outside diameter shall not exceed 1/3 of the slab thickness and conduits shall not be spaced closer than three times conduit diameter and shall otherwise comply with the latest edition of the American Concrete Institute "Manual of Concrete Practice - ACI 308". If this criteria cannot be met, the conduits shall be installed below the slab but not below the vapor barrier. Coordinate with the general contractor.

N. Flexible metal conduit in code approved lengths and sizes shall be used for final connections of all equipment subject to vibration or movement, for all motors and for connection to recessed lighting fixtures in suspended ceiling. Liquid tight flexible conduit shall be used in wet locations. A separate ground wire shall be provided through all flexible connections.

O. Each conduit extending through roof shall pass through a Carlisle or equal EPDM molded pipe flashing at the rooftop. Conduit and molded pipe flashing shall be installed in advance of roofing work. The pipe flashing shall be sized to accommodate conduit and shall be installed per manufacturers requirements.

P. In precast or wood deck areas, run conduits in insulation space or in floor topping without crossing conduits, using 3/4" maximum conduit size.

Q. Provide two (2) spare 1" conduits from the top of each flush mounted panelboard to area above ceiling for future use. On all flush mounted panelboards located on first and higher level floors, provide two (2) spare 1" conduits from the bottom of panelboard to ceiling area of floor below for future use.

R. Conduit shall not be installed in the air space between the exterior brick and the wall sheathing without the written approval of the architect. Conduit may pass perpendicularly through this space.

3. SUPPORT OF CONDUIT

A. Conduit shall be securely fastened to structural parts of the building. Supporting devices shall be specifically designed for the application. Perforated hanger iron is NOT acceptable.

B. Furnish supports as required by code, but in any event do not exceed 10' between any supports. Fastenings shall be by wood screws or screw-type nails to wood; by toggle bolts on hollow masonry units, by expansion bolts to concrete or brick; by machine screws, welded threaded nuts or spring tension clamps on steel work. Nail type nylon anchors or threaded studs driven in by a powder charge and provide with lock washers and nuts may be used in lieu of expansion bolts or machine screws. Sheet metal screws may be used in light steel construction.

C. Conduits installed horizontally in steel studs are to be anchored at each stud.

D. Conduits installed exposed in food processing areas are to be supported by 1" stainless steel stand-offs.

4. CONDUIT FITTINGS

A. Conduit terminations at cabinets and boxes shall be rigidly secured with galvanized lock nuts and bushings as required by code.

- a. Terminations for rigid heavy wall steel and IMC conduit shall be liquid-tight, made of steel with insulated throats and double locknuts except that rigid no_thread compression type can be used.
- b. Terminations for E.M.T. shall be rain_tight compression type made of steel. Male fittings to have insulated throats.
- c. Indenter, set_screw cast or drive_on type couplings or connectors are NOT acceptable.
- d. Approved manufacturers: Raco, Steel City, T 4 B, Midwest or Applikon.

B. Running threads will not be permitted. Where required, use manufactured threadless couplings. Setscrew and split type connectors are not acceptable.

C. Provide expansion, deflection fittings in all metallic conduit runs where crossing expansion joints in a structural wall or slab.

D. Conduits passing through exterior foundation walls of the building shall be equipped with wall entrance seals, O.Z. type FSK, FSC, WSK, NSK or FST.

5. FIRE STOPS

A. All electrical items that pass through, transverse or terminate within Fire Separations or Firewalls must be firestopped in accordance with the Architectural Firestop and Smoke Seals spec section and forms part of the work of this section.

B. All nested electrical boxes or panels in Fire Separations shall be noncombustible (steel) and must be separated by at least one stud or joist cavity. Back to back installations and/or combustible (plastic) boxes and panels are not allowed unless the gypsum board trade has constructed a fire rated enclosure equal to that of the Fire Separation rating around each box or panel.

C. All holes or voids created in Fire Separations or Firewalls for single penetrating wires, cables and conduit, the annular space must not exceed 1" (25mm) for penetrating items up to 2" (50mm) in outside diameter. For penetrating items over 2" (50mm) in outside diameter the annular space must not exceed 1-1/2" (38mm).

D. All holes or voids created in Fire Separations of Firewalls for multiple penetrating electrical items must have a fill ratio not less than 50% of the overall void or hole size.

E. Firestops to be Nelson, 3M or Johns Manville.

DATE

REVISIONS
NO. DESCRIPTION

Consultant Registration 03120-P-161027
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1885 WEST BLUEMOUND ROAD, SUITE 200, MILWAUKEE, WI 53226

NEW CREDIT UNION BUILDING FOR
**EDUCATORS
CREDIT UNION**

DATE

09-23-15

PROJECT

1501

KSA 15020

SHEET

E7.0

6. JUNCTION BOXES AND ACCESS PANELS

- A. Junction boxes and access panels shall be installed where shown on the plans and at additional locations as required to facilitate installation of cable and where required by code.
- B. Boxes shall be supported independently of conduit entering them. Brackets, rod hangers, bolts or other suitable supporting methods may be used.
- C. General purpose junction and pull boxes shall be fabricated from code gauge galvanized steel, with screw covers. Box size shall be as required by code for the number of conduits and conductors entering and leaving it.
- D. Boxes shall be of the cast metal type when located in normally wet locations and in hazardous areas and shall be Crouse-Hinds type W series or as otherwise approved.

7. OUTLET BOXES

- A. Furnish galvanized outlet boxes as required by the application and consistent with type of construction in which same is to be installed and also to accommodate device indicated by symbol on drawings and of a size adequate for the number of wires and splices involved. All outlet boxes shall be non-gangable type as manufactured by Raco, Steel City, Appleton, or Walker.
- B. All outlet boxes shall be set parallel to construction, securely mounted and adjusted to set true and flush with finished surface. Back to back and through boxes are not allowed. Provide a minimum of 6" between boxes side to side.
- C. All concealed ceiling lighting outlet boxes shall be 4" square variety with cover so as the raised edge of the cover is flush with the finished surface. Lighting outlet boxes shall be securely mounted with approved type bar hangers spanning structural members so they will support the weight of the fixtures. Conduit will not be considered as adequate support. Boxes are to be equipped with both 3/8" fixture studs and tapped fixture ears.
- D. In precast and wood deck areas use 4" octagonal concrete boxes 1/2" to 1" deeper than deck as determined by thickness of insulation. Where multiple layer insulation is used, top boxes shall not penetrate top layer of insulation. Use offset concrete tight connectors for conduit connection at outlet box.
- E. When a lighting fixture or any item of equipment requires a special outlet box or when a special outlet box is recommended by the manufacturer of the equipment, it shall be provided by the contractor in lieu of other types.
- F. For the mounting of single receptacles, single or double switch outlets in plaster or concrete walls use 4" square boxes fitted with 3/4" raised plaster covers. More than two switches shall be installed in multiple gang switch box. In unplastered brick or block walls use masonry boxes except for single gang outlets in 4" square shallow boxes with square cut device covers of thickness to suit block, brick or tile.
- G. For the mounting of weatherproof switches and devices use Crouse-Hinds type F5 or FD cast conduit bodies complete with weathercast spring lid cover and gasket. Seal conduit at entrance to box.
- H. Floor outlet boxes shall be fully adjustable, dual level cast iron, watertight, Class I, Hubbell No. B-2536 deep or No. B-2537 shallow or Walker 884 deep/887 shallow with 2 1/2" covers, as required. Suitable for use with pedestal or flush type outlets. Provide each outlet with a 5C_300 power fitting unless noted otherwise. Provide a carpet flange in carpeted areas.
- I. Any outlet box which is being installed in an area that can reasonably accommodate a ceiling fan shall be identified for ceiling fan support.

8. LOCATION OF OUTLETS AND EQUIPMENT

- A. Location of outlets and equipment as shown on plans is approximate and exact location is to be verified by the contractor and will be determined by:
 - a. Construction or code requirements.
 - b. Conflict with equipment of other trades.
 - c. Equipment manufacturer's drawings.
- B. Minor modifications in the location of outlets and equipment is considered a part of this specification and shall be made with no additional compensation.
- C. Mounting heights for all mounted devices and equipment shall be measured from finished floor to top of device and unless otherwise noted on plans shall be as follows:
 - a. Switches: 4'-0" above floor.
 - b. AC Receptacles, Telephone Outlets, Microphones Receptacles: 15" above floor to bottom or 6" above counter to bottom, 6" above backsplash where present to bottom or 4'-0" above floor in unfinished areas. Electrical Contractor must check heating and ventilating plans for location of baseboard heating elements or wall radiators and mount equipment accordingly.
 - c. Clocks, Speakers: 7'-4" above floor in areas with 8'-0" ceiling.
 - d. Wall Bracket Lighting Fixture: 8" above mirror or min. 8'-0" above floor.
 - e. Flush buttons: 4'-0" above floor.
 - f. Back to back outlets shall not be provided. A minimum distance of 6" shall be maintained between boxes side to side.
- D. Provide a receptacle mounted within 25'-0" of each piece of HVAC and refrigeration equipment. Receptacles for exterior locations are to be GFCI with weatherproof covers.

9. WIRE AND WIRING METHOD - 600 VOLT AND BELOW

- A. All wire sizes and all conduit sizes shown on the plans are for copper conductors. Conductors for feeders, branch circuits, control, and other circuits 600 volts and below shall have 600 volt insulation, No. 12 minimum unless noted otherwise, factory color coded (see paragraph B). All wire and cable shall be new and shall be as manufactured by Okonite, Rome, Collyer, Cablec, or as otherwise approved and as follows:
 - a. Type THHN/THHN solid or stranded in all general areas for sizes No. 12 and No. 10 AHG branch circuit wiring.
 - b. Type THHN/THHN stranded for all wire No. 8 AHG and larger.
 - c. Type THHN, 90 degrees C for branch circuit wiring in fluorescent fixture channels No. 14 AHG minimum.
 - d. Type AVA, 110 degrees C for all wiring to equipment mounted on boiler, incinerator, exhaust hoods, and elsewhere where high temperature conditions exist.
 - e. Type THHN color coded, 7 strand, No. 14 AHG minimum for all control wiring.
 - f. Type THHN, color coded, 7 strand, No. 14 AHG minimum for all graphic indication and nonshielded instrumentation wiring unless otherwise noted on the plans.
 - g. Type THHN, color coded, stranded for all conductor used in wet locations. (Unless otherwise noted)
 - h. Type XHHK, color coded, stranded for all conductors used outside above grade and in freezers.
- B. In general, branch circuit wiring shall be color coded as follows:

Conductor	SYSTEM VOLTAGE	SYSTEM VOLTAGE
	120/240 or 120/208V	277/480V
Phase A	Black	Orange
Phase B	Red	Brown
Phase C	Blue	Yellow
Neutral	White	White
Equipment Ground	Green	Green

- C. Feeder and branch circuit runs for different voltage systems, (i.e. low voltage and 120/240) shall be kept independent of each other. Equipment such as motor starters requiring more than one voltage system can contain conductors of several systems.
- D. Conductors for communications shall be as manufactured by Belden Corporation and as further described herein:
 - a. In general, No. 18 AHG (16'x30") stranding, 2 or 3 conductor, (as required) tinned copper, polyethylene insulated, conductors coated, Beldfoil Aluminum - polyester shield, stranded tinned copper drain wire and chrome vinyl outer jacket. Belden No. 8760 or No. 8710.

- E. Fixture outlets shall be wired using conductor with insulation suitable for the current, voltage, and temperature to which the conductor will be subjected. Wiring shall conform to code requirements and the following:
 - a. No. 14 wire size minimum for branch circuit tap conductors supplying power to a single fixture. 600 volt insulation minimum for circuits exceeding 150 volts to ground and for wiring between ballasts and lampholders.
 - b. Insulation suitable for operation at 90 degrees C minimum or as required for lighting fixtures with integral ballast, mogul base sockets, quartz lamps or otherwise where subject to excessive temperatures.
- F. Direct buried cables can be used to feed electrical loads remote from a building, and shall be UL types USE or UF. All cables shall have a separate copper conductor that is used only for grounding.
 - a. Where used, cables shall be buried a minimum of 24" below grade and surrounded by a 3" sand envelope.
 - b. Direct buried cables shall be protected by rigid conduit where passing below any paved areas over 5 feet in width. See 16100-2D.
 - c. Entire length of direct buried cable run (except where in conduit) shall be protected by a 1"x4" treated pine board, installed on top of sand envelope.
 - d. Where cables rise up from ground, they shall be protected by rigid conduit.

- G. Joints, taps, and splices in conductors No. 10 AHG and smaller shall be made with compression type solderless connectors with plastic cover and shall be 3M "Scotchlok", Ideal "Supernut" or Buchanan "B_Caps".
- H. Joints, taps, and splices in conductors No. 8 AHG and larger shall be made with solderless pressure type connectors similar to Bandy, Anderson, Thomas & Betts Company or approved equal. Each tap, joint or splice in conductors No. 8 AHG and larger shall be taped with two half_Lap layers of Scotch No. 33 vinyl plastic electrical tape. Marking to be made by Scotch No. 35 color coding tape. Equal tapes by Plymuth are acceptable.

- I. Electrical Contractor may at his option and if ACCEPTABLE to local codes, provide an alternate proposal on a separate document attached to the bid form for aluminum conductors for No. 3 AHG and larger. If aluminum conductors are substituted for copper conductors, subcontractor shall observe the following:
 - a. Wire and cable as manufactured by Alcan Cable Corporation or approved equal.
 - b. Conductor insulation as specified for copper conductors and ampacities as shown in code tables not less than those shown for the copper conductors required.
 - c. Conductors sized to limit voltage drop to a value no greater than the copper conductors specified.
 - d. Terminations at switchboards, panelboards, motor or other equipment must be made using compression type connectors, UL listed for use with aluminum conductors and compatible with the surface to which they will be attached.
 - e. Conduit sizes shall be increased as required.
 - f. Use of aluminum conductors is contingent upon written approval of the engineer and building owner.

10. WIRING DEVICES

- A. Insofar as possible, all wiring devices shall be of one manufacturer. Reference to Leviton devices has been used as a means of establishing grade and type for use on the project. All devices shall be industrial grade comparable devices of Hubbell, Pass & Seymour or Cooper will be considered as equal. No CR/CS devices are acceptable.
- B. General use switches shall be sized according to switched load and shall be as follows:
 - 120/277 Volt Circuits:
 - a. Up to 1200 watts load at 120 volts, 2500 watts at 277 volts, 15 ampere Leviton No. 1201_2H, No.1202_2H, No.1203_2H and No.1204_2H.
 - b. 1200 to 1800 watts load at 120 volts, 4400 watts at 277 volts, 20 ampere Leviton No. 1221_2H, No.1222_2H, No. 1223_2H and No.1224_2H.
 - c. Key switches shall be Leviton No. 1221-2KL with matching stainless steel coverplate.
 - Weatherproof switches shall be Leviton No. 1221 with Crouse-Hinds No. D5185G cover.

- D. Switches controlling equipment the operation of which is not evident from the switch position shall include Leviton No. 1221-FLO flush neon pilot light in conjunction with proper switch. Each switch shall be complete with engraved plate to identify equipment being controlled.

- E. All general purpose receptacles shall be of Federal specification grade KC5466 rated for the capacity and characteristics of the equipment served, grounding type and shall be as follows:
 - a. Duplex Receptacles: 15 amp to be Leviton No. 5362-H; 20 amp to be Leviton No. 5362-H; with one piece brass strap with integral ground.
 - b. Duplex Weatherproof Receptacles: Leviton No. 8844-H with weatherproof white in use cover.
 - c. Ground fault outlets to be Leviton 8544-H for 15 amp and 8844-H for 20 amp. Ground fault devices shall meet UL standard 943, Class A.
 - d. Where receptacles are wired to emergency circuits the receptacle is to be insulated ground type, color red, Leviton No. 15 amp to be 526216R, 20 amp to be 536216R.
 - e. Isolated ground receptacles (IG) color to match remainder of receptacles. Unit to have orange triangle Leviton No. 15 amp to be 526216, 20 amp to be 536216 provide a green ground wire to breaker panel isolated ground bus and extend a code size green ground wire to the switchboard or transformer ground.
- F. Where receptacles are indicated to be hospital grade, provide devices as indicated below:
 - a. Duplex receptacles: 20 amp to be Leviton No. 8300-H with one piece nickel-plated brass strap with integral ground.
 - b. Ground Fault Circuit Interrupter, 20 amp to be Leviton No. 8840-HG4.
 - c. Receptacles wired to emergency circuits are to be red in color with green LED Leviton No. 8300-PLR.

- G. Device plates shall be a specification grade No. 302 satin finish stainless steel. All public telephone outlets shall be equipped with a plate having a 3/8" dashed hole. In dwelling areas (as defined by NEC), smooth nylon plates shall be used. The Electrical Contractor is responsible to verify device and coverplate color with the architect and/or interior designer.
- H. Dwelling Unit Bedrooms: All branch circuits that supply 120 volt, 15 amp and 20 amp outlets installed in dwelling unit bedrooms shall be protected by an Arc-Fault Circuit Interrupter (AFCI) to protect the entire branch circuit as required by NEC-210-12(A), (B) as required by local codes. In handicapped rooms provide an audible device.

- I. Where required, residential occupancies shall have receptacles installed on 12'-0" centers maximum and in accordance with the City/Village accepted publication of the NEC, article 210-52.
- II. MOTOR WIRING AND WIRING FOR OTHER TRADES

- A. The Electrical Contractor shall check the drawings and specifications of all other divisions of work such as heating, ventilating, air conditioning, plumbing, mechanical equipment, powered doors, etc. for equipment and work which must be included whether or not shown on the electrical drawings, in order to provide a complete electrical installation.
- B. All associated starters, motor controls, pilot device, etc. furnished by others, shall be delivered to the Electrical Contractor who shall receive, handle, set, mount, and install this equipment. The Electrical Contractor shall furnish all brackets, supports or other fittings required for mounting this equipment.
- C. Electrical Contractor shall provide disconnect switches for motors required to have disconnect switches. Provide fused disconnect switches for all air conditioning and refrigeration units and as required for all fan powered variable air volume boxes (FFVAV), electric duct heaters, etc. mounted on the building structure as required.
- D. Contractor shall extend motor circuits in accordance with schedule on the drawings and code requirements from the source of supply to the associated starter and from same to the motor terminal box including all required intermediate connections.
- E. Final connections at motors shall be made with flexible metal conduit equipped with separate ground conductor as described elsewhere.
- F. Motor control wiring associated with heating, ventilating, air conditioning, plumbing, and mechanical equipment shall be done by others.
- G. It shall be the responsibility of the Electrical Contractor to obtain manufacturer's wiring diagrams of all electrical equipment furnished by other contractors and/or owner and he shall not proceed to wire the equipment without this information.

12. DISCONNECT SWITCHES

- F. Furnish and install fusible and nonfusible disconnect switches of types scheduled and at locations shown on Plans. In addition, the contractor shall furnish and install other disconnect switches as required by code.
- G. All switches shall be furnished in NEMA type enclosures as required for the application and shall be Underwriters' Laboratories listed, HP rated, meet Federal Specification HS_865C, NEMA Specification KSL_14B3, and shall be heavy duty type.
 - a. Fusible switches to be the type that accepts rejection type fuses.
- H. All air conditioning and refrigeration units are to be installed with a fused disconnect switch located on or near unit with switch and fuses sized per manufacturer's recommendations and nameplate data.
- I. All transformers are to have both a primary and a secondary fused disconnect switch as required, located within site of the transformer or as required by applicable codes. See City/Village code requirements.

13. FUSES

- A. Contractor shall furnish an initial supply of fuses for all fusible devices. Unless otherwise specified, fuses shall be as manufactured by Bussman, Littelfuse or Gould-Shawmut and shall be as follows:
 - a. 600A and above: Type KRP_C, Class L, HL_Cap, 200/200 amps LC.
 - b. 600A and below: UL class RK_1 or RK_5 rejection type fuses.
- B. Furnish owner with one (1) spare set of all sized fuses required, plus a fuse pulling device required.

SECTION 16400
SERVICE AND DISTRIBUTION

I. SCOPE

- A. Requirements of Conditions of Contract and of sections listed under General Requirements apply to work under this section.
- B. This section of the work includes all the necessary equipment, materials, and work required to receive electrical service within the building, required service, and metering equipment to complete the interior building and exterior electrical distribution work in a finished workmanlike manner.

C. Work Included:

- a. Scope
- b. Electric Service and Metering
- c. Grounding
- d. Feeders
- e. Branch Circuits
- f. Emergency Circuit Wiring
- g. Lighting and Receptacle Panelboards
- h. Distribution Panelboards
- i. Circuit Breakers
- j. Dry Type Transformer

2. ELECTRIC SERVICE AND METERING

- A. The electric service that is characteristic for this project shall be a secondary metered installation as indicated on the plans and as provided by local utility. Service is to be 3-phase, 4-wire, grounded neutral.
- B. The contractor shall check/notify the electric utility indicated to verify all service information specified herein and shown on the plans including available fault current before submitting his bid. All service and distribution equipment shall have an interrupting rating sufficient for the nominal circuit voltage and the fault current that is available at the line terminals of the equipment. Any required deviation from these plans and/or specifications shall be included in the base bid price.

- C. The Electrical Contractor shall include in his base bid price all utility charges for the additional work involved in the underground secondary service, or other deviation from standard overhead service.

- D. The Electrical Contractor shall notify the power company of the change in use of the existing service and provide any load information required by the power company in their determination that the power company provided equipment is adequate to supply the existing and new electrical loads.
- E. Electrical Contractor to verify with the power company that the size of the existing transformer and the secondary incoming wiring is of adequate size to accommodate the new distribution panel and the new and existing loads.

- F. Where required breakers for HVAC equipment are to be HACR rated.
- G. Electrical Contractor to verify that wiring connected to terminals of equipment, breakers, etc. 100 amp or less shall be sized to meet the 60% wire ampacity requirements unless the equipment is listed and identified for use with higher temperature conductor NEC-110-14.

- H. Electrical Contractor shall provide via the equipment manufacturer an arc flash analysis of the entire electrical system in accordance with the requirements of NFPA-70E. All equipment, outlets, etc. required by NFPA-70E to be included in the analysis are to be identified by the electrical contractor with a non-destructible tag attached to the equipment if in an unfinished area or an engraved tag attached to the equipment if in a finished area indicating the degree of arc hazard at the equipment location.

- I. The lock out/tag out procedure as indicated in NFPA-70E is to apply to all aspects of the electrical installation and maintenance there of.
- 3. GROUNDING

- A. The electrical system and equipment is to be grounded as required by code, utility, local ordinances, and to requirements herein.
- B. Water system ground is required and ground wire must attach to point ahead of water meter or service shut-off valve. The piping system ground shall be augmented by made electrodes so as to achieve an effective ground resistance of less than 25 ohms. A minimum of one 5/8"x10" -C.W. ground rod shall be installed at each service entrance location.

- C. The main grounding conductor shall be installed in metallic conduit and be continuous without splice from water service ground to driven grounds and service equipment. A suitable jumper or short shall be installed across the water-meter.
- D. All metallic conduits, supports, cabinets, and other equipment shall be grounded so that the ground will be electrically continuous from service to all outlet boxes. Provide grounding conductor in all non-metallic or flexible conduits to complete equipment ground continuity.

- E. All receptacles are to be of the grounding type with a positive ground connection to the outlet box.
- F. All lighting fixtures shall be effectively grounded. Particular care shall be taken to provide a good and permanent ground to fluorescent fixture bodies. Fixtures mounted in continuous rows shall have metal-to-metal contact between fixtures.

- G. Contractor shall install separate code rated grounding conductors from the breaker panel to all pole mounted lighting fixtures and to all special equipment and activity areas as required by code.
- H. All isolated ground (IG) receptacles shall be installed with a separate code rated green grounding conductor to the isolated ground bus in the designated circuit breaker panel.

- I. Ground all separately derived systems as required by code. Where the separately derived system is obtained from the secondary of a dry type transformer and has a neutral conductor, the preferred grounding electrode is the closest effectively grounded building steel. A close effectively grounded metal water pipe is acceptable as the grounding electrode. If neither is available, other electrodes as allowed by code shall be used.

DATE

REVISIONS

NO.	DESCRIPTION

CONSULTANTS

Corporation Registration #2370-P-1610271

KORNACKI & ASSOCIATES, INC.

CONSULTING ELECTRICAL ENGINEERS

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ARCHITECTURE - ENGINEERING - PLANNING

MILWAUKEE ARCHITECTS & ENGINEERS, INC.

18859 WEST BLUEBOND ROAD, SUITE 200, MILWAUKEE, WI 53226

DATE

09-23-15

PROJECT

1501
K&A 15020

SHEET

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NEW CREDIT UNION BUILDING FOR
EDUCATORS CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

4. FEEDERS

- A. Furnish, install, and connect feeders in accordance with information on the drawings with conductor insulation to conform to requirements of these specifications.
B. Each conduit raceway shall contain only those conductors constituting a single feeder circuit.
C. Where impractical to do otherwise and with approval of the project's superintendent, feeder conduits may be installed in or under ground floor slabs subject to the requirement that they be totally encased in concrete, made watertight, and do not penetrate the vapor barrier where used.
D. Feeder and branch circuit conductors shall be sized so as to provide a maximum of 5% voltage drop at the farthest outlet.
E. Conductor supports in vertical raceways shall be installed in accordance with the requirements of the currently adopted code

5. BRANCH CIRCUITS

- A. Furnish and install a complete branch circuit and control wiring system as indicated on the plans. Circuit numbers shown on plans are for contractor to plan his wiring and for estimating purposes.
B. No wire smaller than No. 12 AWG (unless otherwise noted) shall be used for branch circuit wiring including motor circuits.
C. Unless otherwise noted on the drawings or herein specified, contractor shall route all branch circuits and switch legs at his discretion or otherwise as dictated by construction, these specifications or instructions from the architect.
D. Emergency circuit wiring shall be kept entirely independent of all other wiring and equipment and shall not enter the same raceway, box, or cabinet with other wiring except:
a. In transfer switches.
c. In exit or emergency lighting fixtures supplied from two sources.
E. LIGHTING AND RECEPTACLE PANELBOARDS

EMERGENCY CIRCUIT WIRING

- A. Emergency circuit wiring shall be kept entirely independent of all other wiring and equipment and shall not enter the same raceway, box, or cabinet with other wiring except:
a. In transfer switches.
c. In exit or emergency lighting fixtures supplied from two sources.
D. In a common junction box attached to exit or emergency lighting fixtures supplied from two sources.

LIGHTING AND RECEPTACLE PANELBOARDS

- A. Furnish and install circuit breaker lighting panelboards with copper bussing.
B. Circuit breakers shall be quick-make, quick-break, thermal-magnetic, trip indicating, and have a common trip on all multiple breakers.
C. Fronts shall include doors and have flush, brushed, stainless steel, cylinder tumbler-type locks with catches, and spring-loaded door pulls.
D. Panelboard shall be furnished with a white laminated nameplate with engraved black lettering indicating the panel designation.
E. DRY TYPE TRANSFORMERS - 600V AND UNDER

DISTRIBUTION PANELBOARDS

- E. Furnish and install distribution panelboards with copper bussing.
F. Panelboard assembly shall be enclosed in a steel cabinet.
G. On fusible type panelboards, all switch-fuse units shall be quick-make, quick-break, with visible blades, and dual horsepower ratings.
H. On circuit breaker type panelboards, circuit breakers shall be equipped with individually insulated, braced, and protected connectors.
I. CIRCUIT BREAKERS

CIRCUIT BREAKERS

- A. Molded Case Circuit Breaker Characteristics - General
a. Circuit breakers shall be constructed using glass reinforced insulating material.
b. Circuit breakers shall have an over-center, trip free, toggle operating mechanism.
c. The circuit breaker handle shall reside in a tripped position between ON and OFF to provide local trip indication.
d. For distribution and switchboard applications each circuit breaker shall be equipped with a push-to-trip button, located on the face of the circuit breaker to mechanically operate the circuit breaker tripping mechanism for maintenance and testing purposes.
e. Circuit breakers shall be factory sealed with a hologram quality mark and shall have date code on face of circuit breaker.
f. Circuit breaker/circuit breaker or fuse/circuit breaker combinations for series connected interrupting ratings shall be listed by UL as recognized component combinations.
g. Circuit breakers shall be equipped with UL listed electrical accessories as noted on the associated schedule or drawing.
h. Circuit breaker handle accessories shall provide provisions for locking handle in the ON and OFF position.
i. Circuit breakers shall be panel mount construction with factory installed mechanical lugs.
j. Equipment manufacturer to provide to the owner and engineer a complete short circuit current study throughout the system indicating the available fault current at all distribution equipment.

Thermal-Magnetic Circuit Breakers

- a. Circuit breakers shall have a permanent trip unit containing individual thermal and magnetic trip elements in each pole.
b. Thermal trip elements shall be factory preset and sealed.
c. Circuit breaker frame sizes above 100 amperes shall have a single magnetic trip adjustment located on the front of the circuit breaker.
d. Standard two- and three-pole circuit breakers up to 250 amperes at 600 VAC feeding HVAC equipment shall be UL Listed as HACR type.
e. Equipment manufacturer to provide to the owner and engineer a complete short circuit current study throughout the system indicating the available fault current at all distribution equipment.

Electronic Trip Circuit Breakers With Standard Function Trip System 80% Rated

- a. Shall be Square D Standard Function type: LX, MX, NX, FX, or current limiting Standard Function type LXi or approved equal.
b. Circuit breaker trip system shall be a microprocessor-based true rms sensing design with sensing accuracy through the thirteenth (13th) harmonic.
c. The integral trip system shall be independent of any external power source and shall contain no less than industrial grade electronic components.
d. The ampere rating of the circuit breaker shall be determined by the combination of an interchangeable rating plug, the sensor size and the long-time pickup adjustment on the circuit breaker.
e. The following time/current response adjustments shall be provided.
Long Time Pickup
Long Time Delay
Short Time Pickup
Short Time Delay (T IN ONLY)
Instantaneous Pickup
Ground Fault Pickup and Ground Fault Delay (T OUT ONLY) where indicated on drawings

- f. A means to seal the trip unit adjustments in accordance with NEC Section 240-666 shall be provided.
g. Local visual trip indication for overload, short circuit and ground fault trip occurrences shall be provided.
h. An ammeter to individually display all phase currents flowing through the circuit breaker shall be provided.
i. Long Time Pickup indication to signal when loading approaches or exceeds the adjusted ampere rating of the circuit breaker shall be provided.
j. The trip system shall include a Long Time memory circuit to sum the time increments of intermittent overcurrent conditions above the pickup point.
k. Circuit breakers (except LX, LXi) shall be equipped with back-up thermal and magnetic trip system.
l. Equipment manufacturer to provide to the owner and engineer a complete selective coordination study for all breakers with adjustable trip settings and a complete short circuit current study throughout the system indicating the available fault current at all distribution equipment including fixed trip devices.
m. Circuit breaker pick-up level and time delay settings shall be adjusted to values indicated on the coordination study as prepared by the equipment manufacturer.

DRY TYPE TRANSFORMERS - 600V AND UNDER

- A. Provide dry type transformers as indicated in the transformer schedule.
B. Transformers to have primary and secondary voltages, 60 Hz, as indicated on the schedule.
C. Transformers to have a winding temperature rise of 115 degrees C, for transformers up to 15 KVA and a 150 degrees C, rise for transformers over 15 KVA or as otherwise shown on the plans.
D. Mount transformers with vibration isolators to minimize sound transfer to building structure.
E. Final electrical connections to transformer to be 10' of greenfield.
F. All transformers shall have both a primary and a secondary disconnecting means located within sight of the transformer or as otherwise required by applicable codes.
G. Transformers are to be by the same manufacturer as the switchboards and panel boards being supplied.

SECTION 16500 LIGHTING

1. SCOPE

- A. Requirements of Conditions of Contract and of sections listed under General Requirements apply to work under this Section.
B. This section of the work includes the necessary lighting fixtures, lamps, and auxiliary equipment required for a complete fixture installation as shown on the plans and described herein.
C. Work Included:
a. Scope
b. Lighting Fixtures
c. Ballasts
d. Lamps
e. Recessed Mounting
f. Emergency/Egress Lighting

2. LIGHTING FIXTURES

- A. The contractor shall make his own count and furnish and install lighting fixtures as called for in the "Fixture Schedule".
B. Care shall be taken in the placement of outlets, surface-mounted, recessed, or semi-recessed fixtures to maintain the alignment, spacing, layout, and general arrangement shown on the plans.
C. All fixtures must be supported from ceiling suspension or structural system, not from ceiling material.
D. HID fixtures in exposed structure areas shall be mounted on unistrut.
E. Subcontractor shall verify stem length of fixtures with architect.
F. Should any parts of the fixtures be found to be bent or not in accord with their designed position, the contractor shall adjust, repair or replace the affected items as required and subject to architect's approval.
G. Each lighting fixture furnished by the contractor for installation on the project shall conform to U.L. requirements and bear the U.L. label and the manufacturer, upon request, shall supply a copy of the U.L. test report.
H. Provide a handle lock on branch circuit breakers serving dedicated emergency lighting circuits, night lighting circuits, and exit light circuits.
I. All fixtures suspended with chain shall include an additional 2'-0" of chain added to its length

BALLASTS

- A. Ballasts furnished shall be electronic type where available and shall meet applicable ANSI Standards and Underwriters' Laboratories specifications regarding light output, reliable starting, radio interference and dielectric rating.
B. Ballasts for fluorescent fixtures where electronic ballasts are not available shall be UL listed, have a circle "E" marking and have an "A" sound rating.
C. Ballasts for fluorescent fixtures shall be manufactured by Advance, Universal, Sylvania, General Electric or approved equal made in the U.S.
D. Ballasts for compact tube fluorescent lamps to be the single lamp, Class P, high power factor type.
E. Ballasts for metal halide lamps shall be pulse start, constant wattage, auto transformer type.
F. Provide lamp/ballast combination as recommended by the lamp manufacturer.

LAMPS

- A. Incandescent lamps shall be 130 volt inside frosted.
B. Fluorescent lamps, unless otherwise noted on drawings, shall be T8 5P35 energy saving as manufactured by General Electric, Sylvania, or Venture.
C. Metal halide lamps shall be warm tone and pulse start type with burning position coordinated with fixture manufacturer.
D. Recessed Mounting

RECESSED MOUNTING

- A. Where recessed fixtures are installed in ceiling finished in tile pattern or grid system the fixtures shall conform to the tile patterns or layouts.
B. It is the responsibility of the electrical contractor to verify the ceiling type into which each recessed fixture is to be installed.
C. Approvals of shop drawings by the architect or engineer does not relieve the electrical contractor of the responsibility of verifying such details before fixtures are released for manufacture or delivery.
D. Where suspended acoustical ceilings are provided, the contractor shall cooperate with the general contractor regarding the routing and installation of conduit and outlet boxes and such as to install lighting fixtures in suspended ceilings so as to be centered relative to exposed suspension members and/or tile increments.
E. All lighting fixtures mounted in suspended acoustical ceilings shall be wired with 3'-0" to 6'-0" of greenfield No. 14 wire size minimum from an independent junction accessible from below the ceiling.
F. Where exposed ceiling suspension members (T-Bars) are used, the Electrical Contractor shall provide approved clips to secure the fixture to these members.
G. The contractor shall note that the installation of recessed type light fixtures takes priority over the materials to be installed by other trades.
H. Recessed lighting fixtures installed in insulated ceilings shall be of the I.C. type.

EMERGENCY EGRESS LIGHTING

- A. All egress paths are to be illuminated to a minimum of 1 footcandle average and 1 footcandle minimum.
B. Emergency egress lighting is to be provided in compliance with NEC Article 100.6. The burning out of one lamp shall not leave an area in darkness.

SPECIAL SYSTEMS

SECTION 16700

1. SCOPE

- A. Requirements of Conditions of Contract and of sections listed under General Requirements apply to work under this section.
B. This section of the work includes the necessary equipment and accessories required to complete the various communication system as shown on the plans and as described herein.
C. Work Included:
a. Scope
b. Telephone System
c. Fire Alarm System
D. TELEPHONE SYSTEM
A. Local outlets to be a 4" square box with bushed hole cover plate and a 1" conduit extended to above the accessible ceiling.
B. Provide a pull wire in all conduits.

FIRE ALARM AND SECURITY SYSTEMS

- A. General:
a. Fire alarm system, security system, burglar alarm system, and monitoring services are by owner/owner's representative.
b. Provide new conduit with pull string for device locations as shown on plans or as required per code or owner's system contractor(s), to facilitate complete and operate systems) after completion of construction.
c. The Electrical Contractor shall coordinate device locations and requirements with owner's representative(s) and verify all requirements at job site.

DATE

REVISIONS NO. DESCRIPTION

CONSULTANTS

Consultant Registration 03/20-6-161027
KORNACKI & ASSOCIATES, INC.
CONSULTING ELECTRICAL ENGINEERS
5420 NEW BURNING WOOD DRIVE, SUITE 200
(800) 794-1323 FAX (262) 794-5044

OMAP
ARCHITECTURE - ENGINEERING - PLANNING
MILWAUKEE ARCHITECTS & ENGINEERS, INC.
1885 WEST BLUEMOUND ROAD, SUITE 200, MILWAUKEE, WI 53226

NEW CREDIT UNION BUILDING FOR
EDUCATORS
CREDIT UNION
LOT 21, WESTFIELD HEIGHTS SUBDIVISION
PLEASANT PRAIRIE, WISCONSIN

DATE

09-23-15

PROJECT

1501

K&A 15020

SHEET

E7.2

Consider approval of a **Zoning Text Amendment (Ord. #15-45)** for the request of Dimitri Dimitropoulos, agent to create the specific PUD requirements for the proposed development of a multi-tenant retail/restaurant building (with outdoor seating and a drive thru) on the property generally located at the north of 76th Street between 91st and 94th Avenues within the Prairie Ridge development to be known as the Corners at Prairie Ridge.

Recommendation: On November 9, 2015, the Plan Commission held a public hearing and recommended that the Village Board approve the **Zoning Text Amendment (Ord. #15-45)** subject to the comments and conditions of the Village Staff Report of November 16, 2015.

VILLAGE STAFF REPORT OF NOVEMBER 16, 2015

Consider approval of a **Zoning Text Amendment (Ord. #15-45)** for the request of Dimitri Dimitropoulos, agent to create the specific PUD requirements for the proposed development of a multi-tenant retail/restaurant building (with outdoor seating and a drive thru) on the property generally located at the north of 76th Street between 91st and 94th Avenues within the Prairie Ridge development to be known as the Corners at Prairie Ridge.

As part of the development of this site for The Corners at Prairie Ridge, a multi-tenant retail/restaurant building (with outdoor seating and a drive thru) on the property generally located at the north of 76th Street between 91st and 94th Avenues within the Prairie Ridge development, a ZoningText Amendment is required to create the specific PUD requirements for the proposed development.

Background Information: On October 5, 2015 the Village Board conditionally approved a Certified Survey Map to subdivide Outlot 20 of the Prairie Ridge Development generally located at the northwest corner of 76th Street and 91st Avenue into two (2) parcels and conditionally approved a Conceptual Plan for Lot 1 of the proposed CSM (western portion of Outlot 20) for the development of a multi-tenant retail/restaurants building. [The CSM is required to be finalized, executed and recorded at the Kenosha County Register of Deeds Office and the land acquired by the Developer prior to issuance of any building permits.] In addition, on November 9, 2015 the Plan Commission conditionally approved a Conditional Use Permit including Final Site and Operational Plans and a Digital Security Imaging System (DSIS) Agreement and Access Easement for the construction of the multi-tenant retail/restaurants (with outdoor seating and a drive-thru) building on Lot 1 of the proposed CSM within the Prairie Ridge development to be known as The Corners at Prairie Ridge.

The Corners at Prairie Ridge is proposed to be a 13,300 sq. ft. multi-tenant building to be located on Lot 1 of the proposed CSM. The tenants that currently have signed leases are Corner Bakery Café and MOD Pizza. These two (2) tenants account for approximately 6,500 sq. ft., which leaves about 6,800 sq. ft. to be leased out. **Corner Bakery Café** is a fast casual restaurant, which will have indoor seating, patio seating and a drive-thru. **MOD Pizza** is a fast casual pizza chain that will have indoor and patio seating. These two (2) tenants will occupy the two end caps of the proposed building.

This building could have a total of six (6) tenants including:

- 2,497 square foot restaurant, with outdoor seating (MOD Pizza)
- 1,809 square foot retail space
- 1,728 square foot retail space
- 1,471 square foot retail space
- 1,800 square foot retail space
- 4,010 square foot restaurant, with outdoor seating and a drive-thru (Corner Bakery)

The businesses in the building are intended to operate between 7:00 a.m. and 10:00 p.m. It is anticipated that there will be approximately 50 employees. Outdoor seating areas are proposed to be surrounded and enclosed with a fence with brick pillars (acting as bollards) to define the outdoor eating areas and to ensure protection of the patrons from the parking lot area.

Site Access: There is no direct access to this property from STH 50 or from 91st Avenue. The lot obtains its access through two (2) 76th Street common driveway connections. The westernmost entrance to 76th Street will be shared with The Bulls-Eye Development on Outlot 21 to the west. The easternmost entrance to 76th Street will be shared with the adjacent Lot 2 of the current CSM.

Parking: The development sites include 122 parking spaces (which includes five (5) handicapped accessible parking spaces). Pursuant to the Village Zoning Ordinance the number of parking spaces required for the specified tenants is listed below:

- Restaurants require a minimum of one (1) space for each 100 square feet of floor area plus one (1) space for every two (2) employees on the largest work shift. (**75 spaces** are required).
- Retail stores require a minimum of one (1) space for each 200 feet of primary floor area plus one (1) space for every two (2) employees. (Per the site and operational plan **40 spaces** are required).
- In addition, to these minimum parking spaces, **five (5) handicapped accessible parking spaces** are required by the State Code.

Based on the foregoing information the total number of parking spaces required is 115, plus 5 handicapped accessible parking spaces or a total of 120 parking spaces.

The owner has agreed that no new land uses (other than those specifically identified in this Memorandum), which require a greater demand or intensity of parking based upon the Village Zoning Ordinance parking space requirements, shall be allowed for new occupancy in The Corners at Prairie Ridge Development unless permanent, off-site parking adjacent to the site has been secured.

Zoning Text Amendment (Ord #15-45). The property (Outlot 20) is currently zoned B-2 (PUD), Community Business District with a Planned Unit Development Overlay. The existing signage PUD on the properties relates to the PUD for the entire Prairie Ridge Commercial Development that allows for several entry monument signs throughout the Prairie Ridge Development. A separate PUD Zoning Text amendment is being proposed for the development including:

- To reduce parking setbacks to common side lot lines (to 0 ft. for the shared driveway access)
- To reduce the parking lot setback from 20 feet to 15 feet
- To reduce the percentage of open space from 30% to 16%
- To allow two primary monument signs:
 - adjacent to STH 50 maximum display area of 130 sq. ft. with a maximum height of 16 feet
 - Adjacent to 76th Street: maximum display area of 36 sq. ft. with a maximum height of 6 feet
- Wall signs 50 sq. ft. per building façade per tenant with maximum height of 3 ft.
- Non-illuminated window signs as approved by the Zoning Administrator

The community benefits identified by the developer in consideration of the granting of the PUD modifications include:

1. The building constructed on Lot 1 will be fully provided with fire sprinklers and a fire protection system as approved by the Village Fire & Rescue Department;
2. Pursuant to Chapter 410 of the Village Municipal Ordinance the development has agreed to comply with the Village "Security Ordinance". The DSIS will afford the opportunity for the public safety departments (e.g. the Village Police Department and Village Fire & Rescue Department) to visually examine commercial establishments and their sites and will provide emergency response personnel with a visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers.

3. Enhanced architectural design features and landscaping will be provided on the site; and
4. The owner has agreed to pay a property tax based upon a baseline assessed value of the real estate never falling below all of the cumulative costs of the development, including land acquisition, site improvements, financing costs and building construction. In a year the assessed value of the property falls below the baseline value, the property owner agrees to pay the Village a payment determined by multiplying the municipal portion of the net property tax rate by the difference between the current assessed value and the baseline value.

The Village staff recommends approval of the Zoning Text Amendment as presented.

ORD. #15-45

**ORDINANCE TO CREATE
THE CORNERS AT PRAIRIE RIDGE COMMERCIAL DEVELOPMENT
PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE PURSUANT TO
CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, to create The Corners At Prairie Ridge Planned Unit Development (PUD) pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

THE CORNERS AT PRAIRIE RIDGE PLANNED UNIT DEVELOPMENT

- a. It is the intent that The Corners At Prairie Ridge development (hereinafter referred to as the "DEVELOPMENT"), will provide for structures, improvements and uses on the properties as legally described below in conformity with the adopted Village Comprehensive Plan and in compliance with the basic underlying B-2, Community Business Zoning District with the goal of facilitating development in a fashion that will not be contrary to the general health, safety, economic prosperity, and welfare of the Village, with the additional goal of proper maintenance on a regular basis for the structures, landscaping, street trees, sitting areas, parking areas, sidewalks, security cameras, lighting, signage, garbage dumpster enclosures, and overall site so as to promote an attractive and harmonious commercial development area and work to achieve a commercial/business environment of sustained desirability and economic stability, which will operate as a uniform commercial development with the surrounding commercial properties located in the Village of Pleasant Prairie as well as avoids unreasonable adverse effects to the property values of the surrounding properties and the surrounding neighborhood.
- b. Legal Description: The property included is collectively known as **Lot 1 of CSM _____ as recorded at the Kenosha County Register of Deeds Office on _____, 2015 as Document _____** (previously a part of Outlot 20 of Prairie Ridge Subdivision), located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East in the Village of Pleasant Prairie.
- c. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations, except as expressly modified by this PUD Ordinance.
 - (ii) The DEVELOPMENT shall be in compliance with the *Prairie Ridge Commercial Development Declaration of Development Standards and Protective Covenants*, as recorded at the Kenosha County Register of Deeds Office. Said Declarations, as requested by the owners and approved by the Village, may be amended from time to time.
 - (iii) The DEVELOPMENT is incorporated into the Prairie Ridge Street Lighting District and is responsible for its pro rata share of street lights/energy costs associated with the commercial district street lighting.
 - (iv) All private improvements for this DEVELOPMENT are required to be installed and maintained pursuant to the approved Site and Operational Plans and any subsequent Site and Operational Plans approved and on file with the Village.

- (v) The DEVELOPMENT, including but not limited to, the building, site signage, fence(s), retaining walls, garbage dumpster enclosures, landscaping, irrigation, parking lot(s), exterior site lighting, public street trees, terrace areas and sidewalks etc., and the site as a whole, shall be maintained on a regular basis in a neat, presentable, aesthetically pleasing, structurally sound and non-hazardous condition. This site maintenance shall also include the daily picking up and disposal of trash and debris which may accumulate on the sites. Annually, or more frequent if necessary, compliance inspections will be performed to verify that the site, development, building, landscaping and signage are being maintained in compliance with the Village approved Site and Operational Plans. Dead site landscaping and diseased street trees and plantings shall be removed and replaced per the approved Landscape Plans; site landscaping shall be watered, trimmed and maintained; signage shall be repaired and repainted as needed; street terrace areas shall be irrigated , weeded and mowed regularly; lighting and DSIS camera system shall be operable and maintained; all structures, trim, and building architectural details shall be cleaned, repainted, fixed, and repaired on a regular basis; and the parking lots shall be surfaced, and striped and repainted on a regular basis.
- (vi) Except as provided herein, the DEVELOPMENT shall be in compliance with ORDINANCE #07-28, adopted by the Village Board on July 16, 2007, and entitled *Prairie Ridge Planned Unit Development Ordinance*. Said Ordinance, as requested by the owners and approved by the Village, may be amended from time to time.
- (vii) The owners of the DEVELOPMENT shall be in compliance with a Digital Security Imaging System Agreement (DSIS) and Access Easement as approved by the Village.
- (viii) The owners of the DEVELOPMENT shall be in compliance with the Fire Protection and Fire Sprinkler requirements as set forth Section 180 of the Municipal Code.
- (ix) The owners of the DEVELOPMENT have agreed to pay a property tax based upon a baseline assessed value of the real estate never falling below all of the cumulative costs of the development, including land acquisition, site improvements, financing costs and building construction. In a year the assessed value of the property falls below the baseline value, the property owner agrees to pay the Village a payment determined by multiplying the municipal portion of the net property tax rate by the difference between the current assessed value and the baseline value.
- (x) The DEVELOPMENT shall be in compliance with all applicable Site and Operational Plan(s), Conditional Use Permits (if applicable), Planned Unit Developments, and Village Licenses and Permits as on file with the Village.
- (xi) All buildings and site alterations and modifications, excluding general building and site maintenance within the DEVELOPMENT, shall be made in accordance with the applicable Village Ordinances and Codes at the time the modification is proposed.
- (xii) All buildings/structures and all exterior additions, remodeling or alterations to the any buildings/structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting,

outdoor furniture, etc. with the Prairie Ridge commercial area included within the Prairie Ridge Subdivision.

- (xiii) The DEVELOPMENT shall be operated and maintained in a uniform manner, regardless of property ownership. If the DEVELOPMENT is sold to another entity(s), the DEVELOPMENT shall continue to operate as a unified commercial development PUD and shall continue to comply with this PUD and all other PUDs that may be applicable to the DEVELOPMENT, which may be amended from time to time. Specifically, but not limited to, the commercial buildings parking lots shall be utilized for vehicular and pedestrian cross-access in order to allow and facilitate the movement of vehicular traffic from the DEVELOPMENT to the adjacent property to the west (Outlot 21 of the Prairie Ridge Development).
- (xiv) Delivery vehicles and trucks shall be temporarily parked inconspicuously on the sites. No trucks [e.g. semi cab, semi trailer, construction vehicles (except when permitted construction activities are taking place), step vans, delivery vans (except when goods and merchandise are being delivered), business-related vehicles with advertising displayed on the vehicles, catering vehicles, other commercial vehicles, etc.] shall be parked within the DEVELOPMENT.
- (xv) Detached/attached outdoor seasonal sale displays and product sales areas (e.g. Christmas tree sales, fruit sales, other seasonal merchandise sales, general merchandise sales, special party supply sales, etc.) shall not be allowed. There shall be no roof mounted or sidewalk displays of merchandise or any other items, including temporary or permanent signage that is not allowed by the Zoning Ordinance. Holiday decorations are allowed insofar as they are timely removed within 21 days after the holiday.
- (xvi) Commercial communication antennas, whips, panels, satellite dishes or other similar transmission or reception devices that are mounted inside the buildings or are adequately camouflaged so as not to be readily seen by the general public, as either an accessory use, as specified in Chapter 420-120 D. (3) of the Village Zoning Ordinance are allowed without approval of a Conditional Use Permit within this Development.
- (xvii) Temporary or permanent storage containers (some having brand names such as P.O.D.S, S.A.M.S., etc.) and compactors are not allowed within the DEVELOPMENT. All merchandise, product, crate, pallet, etc., storage shall be stored inside a building.
- (xviii) No flags, pennants, streamers, inflatable signage, plastic banner-type signage, spot lights, walking signs, shall be affixed to any building, person, landscaping vehicle, roof-top, or the ground shall be allowed unless expressly permitted by the Zoning Ordinance.
- (xix) No tenant advertising sign walkers – persons with costumes or signs strapped, hung, affixed or over their clothes shall walk the properties or public right-of-ways for the purposed of advertising the businesses, sales for special offers of the service or retail businesses.
- (xx) No raceways, box signage or neon tube banding around the buildings shall be permitted on any buildings within the DEVELOPMENT.
- (xxi) All wall mounted signage shall be located on the buildings as approved and permitted by the Village. No signage shall cross over the architectural panels

or details of the building. Specific signage plans shall be reviewed and approved for each building.

- (xxii) The DEVELOPMENT shall comply with the designated business hours of operation and hours of delivery times and garbage pick-up times for the B-2 District at all times during the year, even during the holiday seasons unless expressly approved in writing by the Village.
 - (xxiii) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
 - (xxiv) The DEVELOPMENT shall not be used for any outside overnight or daytime parking of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations. No extended overnight parking of passenger vehicles is allowed in the parking lots.
 - (xxv) In the event that any tenant requests public transportation to service the DEVELOPMENT, it shall be the responsibility of the requesting party(ies) to fund the cost of providing such public transportation to and from the DEVELOPMENT.
 - (xxvi) The Owners have executed and recorded a Declaration of Easements and Restrictions for the benefit of the Outlots 20 and 21 of the Prairie Ridge Subdivision on file with the Village which addresses parking and pedestrian ingress/egress, cross access, site maintenance and land uses.
 - (xxvii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
- d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:
- (i) Section 420-119 I (3) related to Open Space is amended as follows:
 - (3) The DEVELOPMENT shall maintain a minimum of 16% open space.
 - (ii) Section 420-47 E related to setbacks for driveways are amended as follows:
 - E. Setback. The shared access driveways for said Lot 1 may cross the east and west property lines of the DEVELOPMENT.
 - (iii) Section 420-48 L related to setbacks for parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be amended as follows:
 - L. Parking areas (which includes parking spaces, maneuvering lanes and fire lanes) shall be a minimum of 20 feet from the property lines adjacent to STH 50 (75th Street) and 15 feet from the property line adjacent to 76th Street; no setback required from side property lines pursuant to the cross access easements shown on said CSM for the DEVELOPMENT.
 - (iv) Section 420-75 M of the related to non-illuminated window signs shall be amended to read as follows:
 - M. Window sign (non-illuminated) may be allowed on a case by case basis as approved by the Zoning Administrator.

- (v) Section 420-76 T. related to Primary Monument Signs shall be amended as follows:
- T. Primary Monument Signs:
- (1) One sign is required for the DEVELOPMENT, however a secondary Primary Monument sign is allowed.
 - (2) A changeable copy sign, electronic changing message sign or electronic scrolling sign is permitted.
 - (3) Maximum Display area: 130 square feet per face for the sign adjacent to STH 50 and 36 square feet per face for the sign adjacent to 76th Street.
 - (4) Maximum height: 16 feet for the sign adjacent to STH 50 and 6 feet for the sign adjacent to 76th Street.
 - (5) Minimum setback distance: 15 feet from any public street or highway right-of-way line, five (5) feet from any side property line and shall not be located within any easement wherein such sign is not expressly permitted.
 - (6) Shall include the street address of the principal building on the property, including the street number(s) and the name of the street, but such address may be placed on the base of the sign (where they will not count toward the maximum area of the sign display). The street address shall be placed a minimum of 18 inches from grade and the letters and numbers shall be a minimum of 3 inches high.
 - (7) Landscaping shall extend a minimum of five (5) feet in every direction from the base or other support structure of the sign.
 - (8) May be illuminated.
 - (9) Shall be placed on a solid-appearing decorative base which supports a minimum of 75% of the horizontal dimension of the sign display constructed of stone or brick to match the building.
 - (10) The base of the sign shall not extend to either side of the sign display by a distance exceeding 1/2 of the horizontal dimension of the sign display, or extend above the level of the top of the sign display by a distance exceeding 1/2 of the vertical dimension of the sign display.
 - (11) May be three-dimensional.
- (vi) Section 420-78 K related to Aggregate Permitted Background Commercial Advertising Sign Area shall be amended to read as follows:

- K. Aggregate permitted background commercial advertising wall sign area for all tenant spaces/stores on each building in the DEVELOPMENT shall be limited to:
 - (1) Sign Size: 50 square feet maximum per building façade per tenant/store space.
 - (2) If any tenant space exceeds 6,700 square feet then an additional wall sign not to exceed 50 square feet per side wall facing west (extended parapet wall) will be allowed.
 - (2) Sign Height: Three (3) feet maximum.
 - (3) Compliance with all requirements of Section 420-76 DD entitled Wall Sign as may be amended from time to time.

e. Amendments

- (i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.
- (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

Adopted this 16th day of November 2015.

VILLAGE OF PLEASANT PRAIRIE

John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk

Posted: _____

45-corners at prairie ridge pud
CODE1510-003



Filed _____ 20 _____ Published _____ 20 _____
 Public Hearing _____ 20 _____ 20 _____
 Fee Paid _____ 20 _____ Approved _____ 20 _____
 Notices Mailed _____ 20 _____ Denied _____ 20 _____

**VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
 ZONING MAP AND TEXT AMENDMENT APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be rezoned from the present B-2 UHO
 _____ District(s) to B-2 (PUD) _____ District(s). The property petitioned
 to be rezoned is located at: 76th St. west of 91st Ave. _____ and is legally described
 (address)
 as follows: West 2.0 acres of Outlot 20, Prairie Ridge (pending CSM).

Tax Parcel Number(s): 91-4-172-081-0200

The proposed use for this property is: Multi-Tenant Commercial Use.

Petitioner's interest in the requested rezoning: Developer / Owner

Compatibility with adjacent land uses: Yes

I (We) are also requesting a Zoning Text Amendment to amend Section See Attached of
 the Village Zoning Ordinance.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to
 discuss the proposed request to determine additional information that may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and
 correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: SB1 Pleasant Prairie WI, LLC.

Signature: [Handwritten Signature]

Address: C/O Starwood CPTL GRP M Carlin

591 W Putnam, Greenwich, CT 06830
 (City) (State) (Zip)

Phone: (312) 759-5020

Fax: N/A

Email: dgalowich@madisionchicago.com

Date: 10/7/15

OWNER'S AGENT:

Print Name: Hwy50 PR, LLC.

Signature: [Handwritten Signature]

Address: P.O. Box 11401

Shorewood WI 53211
 (City) (State) (Zip)

Phone: 414-587-7459

Fax: N/A

Email: dimitri@neofourno.com

Date: 10/7/15



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors

October 9, 2015

Ms. Jean Werbie - Harris
Village of Pleasant Prairie
9915 – 39th Avenue
Pleasant Prairie, WI 53158

RE: Corners at Prairie Ridge
Planned Unit Development Overlay Request
File No. 2015.0066.04

Dear Jean:

Dimitri Dimitropoulos (HWY 50 PP, LLC) developer of the above-referenced project, is hereby requesting an amendment to the current Planned Unit Development (PUD) overlay for the Westerly 2.00 acres of Outlot 20, Prairie Ridge to accommodate a proposed 13,475 multi-tenant retail / restaurant development as shown on the enclosed plans. As part of this amendment, they are requesting the following “Dimensional Variances” from the current Village of Pleasant Prairie Code of Ordinances:

- 1) Chapter 420-119 I.1. (B-2 Community Business District / Open Space) to allow for sixteen percent (16%) open space in lieu of the required thirty percent (30%).
- 2) Chapter 420-48 L.1.d.1. (Parking Lot and Circulation Requirements) to allow a zero foot (0') setback from the interior lot line (between Outlots 20 and 21) in lieu of the required ten feet (10') to allow for a thirty foot (30') wide shared access drive.
 - Reason for Variance: To allow for shared access drive to be centered on common lot line between Outlots 20 and 21 and east and West halves of improved traffic circulation.
- 3) Chapter 420-48 L.1.a. (Parking Lot and Circulation Requirements) to allow a fifteen foot (15') setback from the North right-of-way line of 76th Street in lieu of the required twenty feet (20').
 - Reason for Variance: To allow for standard depth rental units and to match setbacks for adjacent developments on 76th Street to the West.
- 4) Chapter 420-48 K. (Parking Lot and Circulation Requirements) to allow for cross parking between the two (2) developments.
 - Reason for Variance: To allow for an internal shared access drive between the developments on Outlots 20 and 21 as well as adequate ingress, egress and



Ms. Jean Werbie - Harris
Corners at Prairie Ridge
Planned Unit Development Overlay Request
October 9, 2015
Page 2

internal traffic circulation lanes, and increased onsite parking counts as well as the required emergency vehicle maneuverability.

5) Chapter 420-78 (General Sign Regulations) to allow for increased building wall signage.

In recognition of the requested dimensional variances, the developer is proposing to provide the following enhancements:

- 1) An External Digital Imaging Security System (DSIS).
- 2) Internal Fire Protection System (in each building).
- 3) Enhanced Architectural Design Elements
- 4) Enhanced Site Landscaping
- 5) Exterior LED Site Lighting

If you have any questions or comments, please contact me at your earliest convenience.

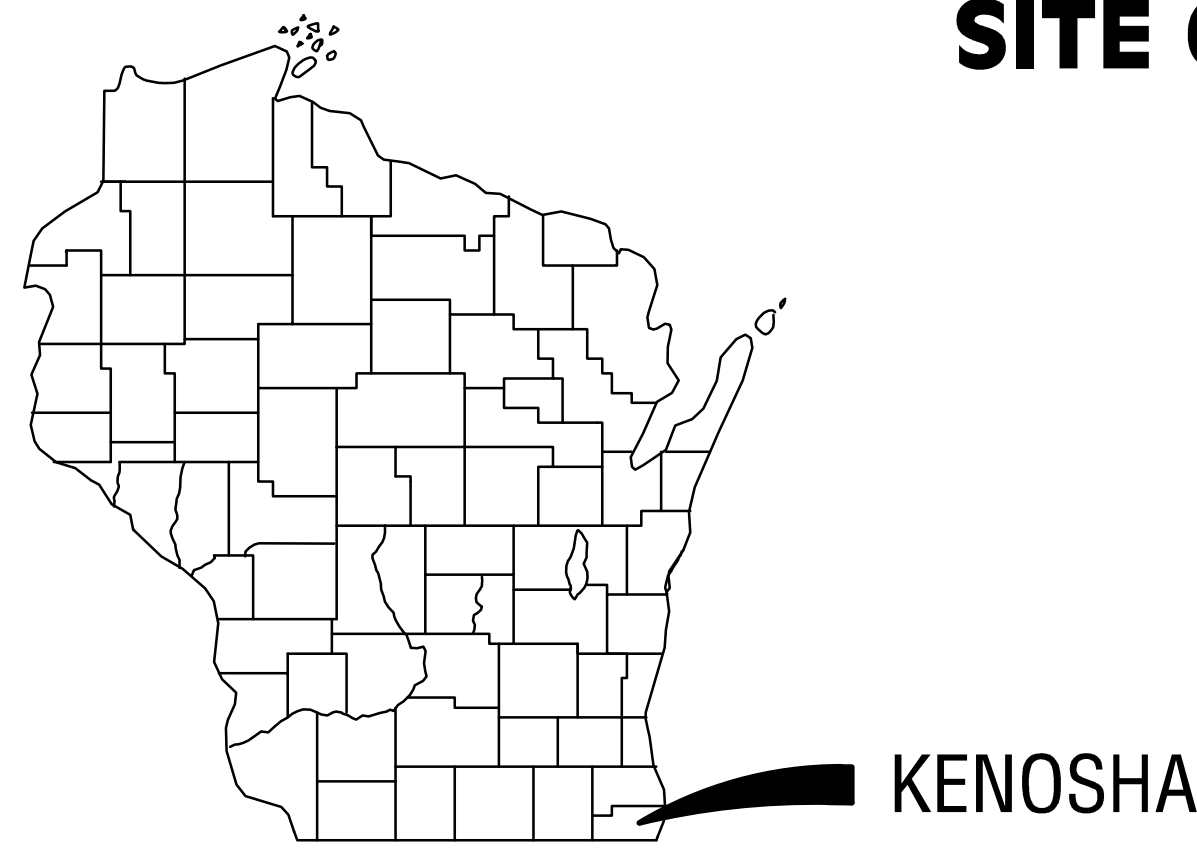
Sincerely,



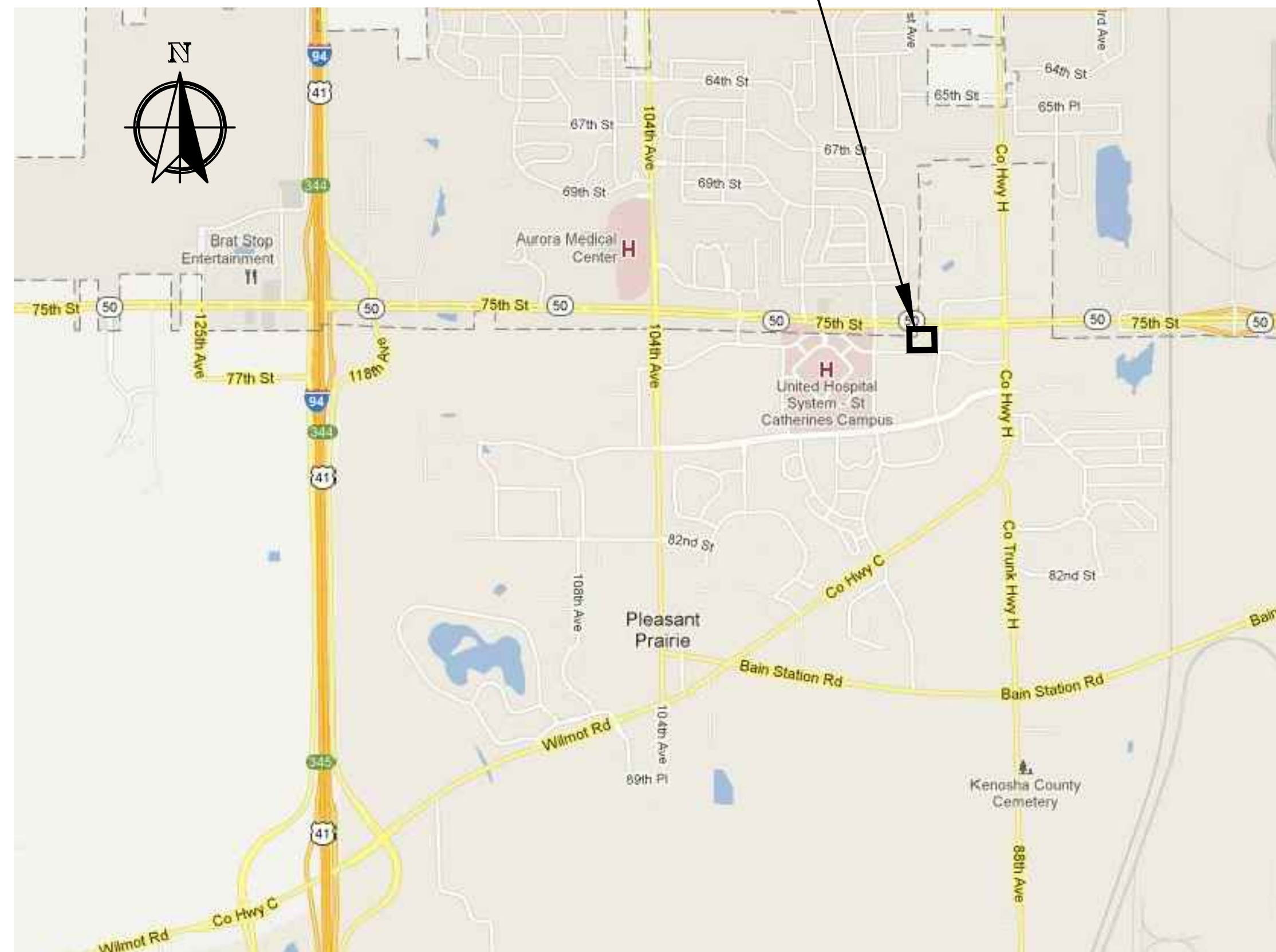
Mark D. Eberle, P.E.

MDE/kmw
Enclosure

CONSTRUCTION PLANS for **CORNERS AT PRAIRIE RIDGE** SITE GRADING, DRAINAGE, UTILITY & PAVEMENT IMPROVEMENTS for **HWY 50 PP, LLC.** Village of Pleasant Prairie, Kenosha County, Wisconsin



PROJECT LOCATION



Project Legend

	EDGE OF WOODS		WATER SHUT OFF (EXISTING)
	RIP RAP (PROPOSED)		WATER SHUT OFF (PROPOSED)
	DECIDUOUS TREE		WATER MAIN VALVE (EXISTING)
	DECIDUOUS TREE REMOVAL		WATER MAIN VALVE (PROPOSED)
	CONIFEROUS TREE		CHECK VALVE (PROPOSED)
	CONIFEROUS TREE REMOVAL		AIR RELIEF VALVE (PROPOSED)
	BUSH		FIRE DEPARTMENT CONNECTION (PROPOSED)
	PROPOSED CONTOURS		HYDRANT (EXISTING)
	EXISTING CONTOURS		HYDRANT (PROPOSED)
	UNDERGROUND CABLE, ELECTRIC		WATER MAIN REDUCER (EXISTING)
	UNDERGROUND CABLE, TELEPHONE		WATER MAIN REDUCER (PROPOSED)
	UNDERGROUND, GAS MAIN		SANITARY MANHOLE (EXISTING)
	UNDERGROUND CABLE, TV		SANITARY MANHOLE (PROPOSED)
	SILT FENCE		SANITARY CLEAN OUT (EXISTING)
	EROSION BALES		SANITARY CLEAN OUT (PROPOSED)
	RAILROAD TRACKS		STORM MANHOLE (EXISTING)
	FENCE		STORM MANHOLE (PROPOSED)
	NO VEHICULAR ACCESS		CATCH BASIN (EXISTING)
	SEPTIC VENT		CATCH BASIN (PROPOSED)
	ELECTRIC MANHOLE		ENDWALL (PROPOSED)
	TELEPHONE MANHOLE		CULVERT (EXISTING)
	WATER MANHOLE		CULVERT (PROPOSED)
	HVAC UNIT		TELEPHONE BOX
	UNDERGROUND VAULT		GUY WIRE
	SECTION CORNER		UTILITY POLE
	MAIL BOX		GAS VALVE
	SIGN		GAS METER
	FOUND IRON PIPE		LIGHT POLE (EXISTING)
	SET IRON PIPE		LIGHT POLE (PROPOSED)
			ELECTRIC PEDESTAL
			ELECTRIC METER
			PAD MOUNT TRANSFORMER
			GUARD POST
			SOIL BORING

Pre-construction Note:

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING (OWNER'S ARCHITECT / REPRESENTATIVE, OWNER'S ENGINEER, GENERAL CONTRACTOR, VILLAGE ENGINEER, VILLAGE BUILDING INSPECTOR, FIRE & RESCUE INSPECTOR, IT/DSIS INSPECTOR AND ZONING ADMINISTRATOR) MUST BE SCHEDULED WITH THE VILLAGE. THE PRE-CONSTRUCTION MEETING SHALL BE COORDINATED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

Utility Note:

THE EXACT LOCATION OF UNDERGROUND STRUCTURES OR FACILITIES SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME OF PREPARATION AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES 72 HOURS PRIOR TO CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION DURING THE COURSE OF THE WORK.

Construction Access Note:

A TEMPORARY CONSTRUCTION ACCESS AND STONE TRACKING PAD SHALL BE INSTALLED OFF OF 76TH STREET AS SHOWN ON SHEET C-5. ALL CONSTRUCTION TRAFFIC SHALL ACCESS THE SITE VIA THIS LOCATION. AT THE COMPLETION OF THE PROJECT, THAT PORTION OF THE STONE TRACKING PAD NORTH OF THE PUBLIC SIDEWALK SHALL REMAIN IN PLACE, WITH THE REMAINDER (WITHIN THE PUBLIC RIGHT OF WAY) BEING REMOVED AND THE AREA RESTORED. ALL CURB AND GUTTER, SIDEWALKS AND PARKWAY TREES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND PER VILLAGE OF PLEASANT PRAIRIE SPECIFICATIONS.

Sheet Index

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DIMENSIONED SITE PLAN	C-4
SITE GRADING, DRAINAGE & EROSION CONTROL PLAN	C-5
PAVEMENT GRADING PLAN	C-6
SITE UTILITY PLAN	C-7
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LANDSCAPE PLANS	L-1 thru L-3
IRRIGATION PLAN	I-1

Owner

SBI PLEASANT PRAIRIE WI, LLC.
DAVE GALOWICH
591 W PUTNAM
GREENWICH, CT 06830
OFFICE: 312-759-5020
EMAIL: dgalowich@madisonchicago.com

Developer

HWY 50 PP, LLC
DIMITRI DIMITROPOULOS
PO BOX 11401
SHREWOOD, WI 53211
OFFICE: 414-587-7459
EMAIL: dimitri@meofourmo.com

Governing Agency Contacts

<p>PLEASANT PRAIRIE VILLAGE HALL 9915 39TH STREET PLEASANT PRAIRIE, WI 53158 OFFICE: (262) 694-1400</p> <p>- ADMINISTRATION MICHAEL R. POLLOCOFF - VILLAGE ADMINISTRATOR OFFICE: (262) 925-6721 EMAIL: mpollocoff@plprairiewi.com</p> <p>THOMAS SHIRCEL - ASSISTANT VILLAGE ADMINISTRATOR OFFICE: (262) 925-6721 EMAIL: tshircel@plprairiewi.com</p> <p>- COMMUNITY DEVELOPMENT DEPARTMENT JEAN WERBIE-HARRIS, DIRECTOR - PLANNER, ZONING ADMINISTRATOR OFFICE: (262) 925-6719 EMAIL: jwerbie-harris@plprairiewi.com</p> <p>PEGGY HERRICK - ASST. PLANNER & ZONING ADMINISTRATOR OFFICE: (262) 925-6716 EMAIL: pherrick@plprairiewi.com</p> <p>- ENGINEERING DEPARTMENT MATT FINEOUR - VILLAGE ENGINEER OFFICE: (262) 925-6728 EMAIL: mfineour@plprairiewi.com</p> <p>KURT DAVIDSEN - ASSISTANT VILLAGE ENGINEER OFFICE: (262) 925-6728 EMAIL: kdavidsen@plprairiewi.com</p> <p>- BUILDING INSPECTION DEPARTMENT SANDRO PEREZ - BUILDING INSPECTION SUPERINTENDENT OFFICE: (262) 694-9304 DIRECT: (262) 925-6722 EMAIL: sperez@plprairie.com</p>	<p>PLEASANT PRAIRIE FIRE DEPARTMENT DOUG MC ELMURY, - CHIEF OF FIRE & RESCUE 8044 80TH AVENUE OFFICE: (262) 694-8027 EMAIL: fireandrescue@plprairie.com</p> <p>THOMAS CLARK - LIEUTENANT FIRE & RESCUE DEPARTMENT DIRECT: (262) 948-8982 EMAIL: tclark@plprairiewi.com</p> <p>CRAIG ROEPKE DEPUTY CHIEF OF FIRE & RESCUE DIRECT: (262) 948-8981 EMAIL: croepke@plprairiewi.com</p> <p>PLEASANT PRAIRIE PUBLIC WORKS JOHN STEINBRINK, JR., - SUPERINTENDENT ROGER PRANGE MUNICIPAL BUILDING 8800 GREEN BAY ROAD OFFICE: (262) 925-0768 EMAIL: jsteinbrink@plprairiewi.com</p> <p>JESSE HOULE - CONSTRUCTION MANAGER OFFICE: (262) 948-8945 EMAIL: jhoule@plprairie.com</p> <p>STEVE WLAHOVICH - ENGINEERING TECHNICIAN OFFICE: (262) 925-0767 EMAIL: swlahovich@plprairie.com</p> <p>WI DEPARTMENT OF NATURAL RESOURCES ELAINE JOHNSON - WATER RESOURCE SPECIALIST OFFICE: 262-884-2136 EMAIL: elaine.johnson@wisconsin.gov</p> <p>PETER WOOD - WATER RESOURCES ENGINEER OFFICE: 262-884-2360 EMAIL: peter.wood@wisconsin.gov</p>
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Public Utility Contacts

<p>AMERICAN TRANSMISSION COMPANY BRIAN MCGEE OFFICE: 262-506-6700 EMAIL: bmcgee@atcc.com EMERGENCY NUMBER: (800) 972-5341</p> <p>WISCONSIN D.O.T. SOUTHEAST REGION OFFICE: (414) 266-1167</p> <p>AT&T MIKE TOYEK OFFICE: 262-636-0549 EMAIL: mt1734@att.com</p> <p>TDS TELECOM SOUTHEAST WISCONSIN OFFICE: 877-483-7142</p>	<p>TIME WARNER CABLE STEVE CRAMER - UTILITY COORDINATOR OFFICE: 414-277-4045 EMAIL: steve.cramer@twcable.com EMERGENCY NUMBER: (800) 627-2288</p> <p>WE-ENERGIES LINDA SCHREIER KENOSHA SOUTH OFFICE: 262-552-3383 EMAIL: linda.schreier@we-energies.com</p> <p>NATURAL GAS EMERGENCY: (800) 261-5325 ELECTRICAL EMERGENCY: (800) 662-4797</p>
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Bench Marks

- CHISEL "4" IN SIDEWALK LOCATED 6.9' EAST & 2.1' SOUTH OF INTERSECTING BACK OF WALKS AT SOUTHEAST PROPERTY CORNER (POINT 9000). ELEVATION: 723.67
- CHISEL "4" IN SIDEWALK 18' EAST OF EXISTING HYDRANT EAST OF SOUTHWEST PROPERTY CORNER (POINT 9004). ELEVATION: 723.13



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd., Suite 200, Racine, WI 53406
Tele: (262)634-5588 Fax: (262)634-5024
Website www.nmbcsc.net

**CORNERS AT PRAIRIE RIDGE
SITE GRADING, DRAINAGE, UTILITY
& PAVEMENT IMPROVEMENTS
FOR
HWY 50 PP, LLC
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN**

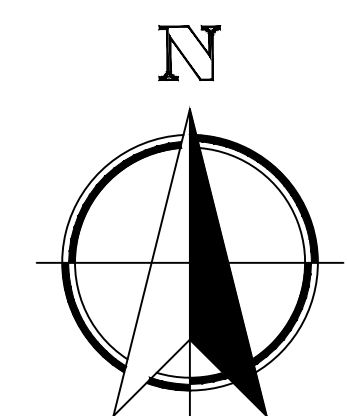
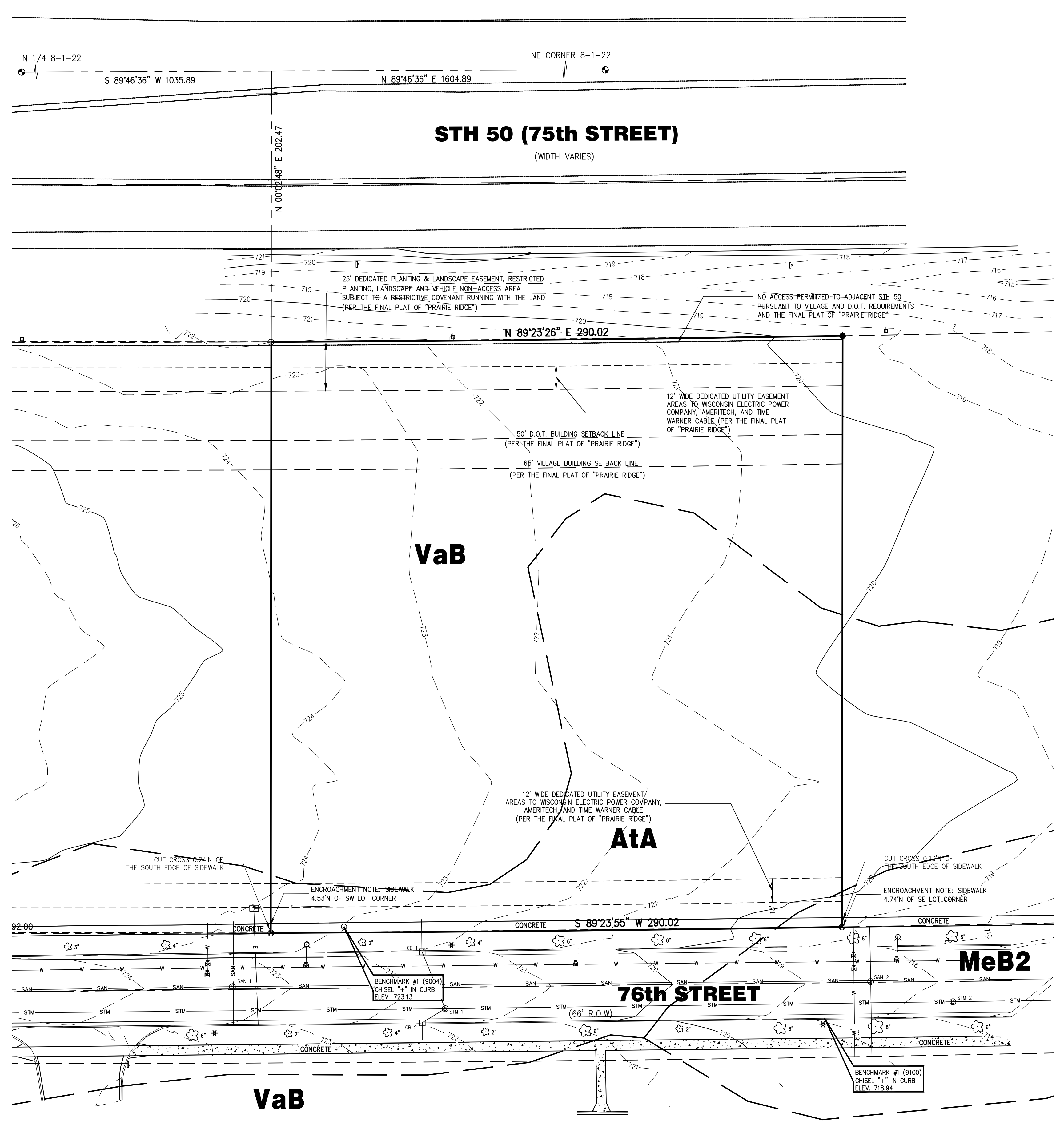
NO.	REVISION	BY	DATE

PROJ. MGR: _____ MDE
DRAFTED: _____ NDB
DATE: 10-7-2015
CHECKED: _____ MDE
DATE: 10-8-2015
2015.0066.04
SHEET
C-1





Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd, Suite 200, Racine, WI, 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website www.nmbssc.net



60° 30' 0' 30' 60°
SCALE 1"=30'

LEGAL DESCRIPTION

THE WEST 290.02 FEET OF OUTLOT 20 OF PRAIRIE RIDGE SUBDIVISION IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.
TAX ID No. 91-4-122-081-0200
SITE ADDRESS: 76th STREET

SOILS / GROUND COVER DATA

Existing Ground Cover - Unmowed Meadow
Existing Site Soils (VaB) - 1.23 Acres
• Ashkum Silty Clay Loam (AtA) - 0.75 Acres
• Matapeake Silt Loam (AtA) - 0.02 Acres

EXISTING UTILITY DATA

STM 1.0 RIM 721.58 IE. 36" E&W 714.93	CB 1 RIM 721.46 IE. 15" SE 718.16 IE. 15" N 718.16	SAN 1.0 RIM 723.40 IE. 8" N&S 711.95 IE. 8" E&W 711.95
STM 2.0 RIM 717.58 IE. 36" E&W 711.08	CB 2 RIM 721.48 IE. 15" NE 717.28 IE. 15" S 717.28	SAN 2.0 RIM 718.49 IE. 8" E&W 710.04 IE. 8" S 710.09

UTILITY NOTE

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BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

LEGEND:

- ⊙ STORM MANHOLE
- CATCH BASIN
- STM STORM SEWER
- ⊙ LIGHT POLE
- ⊙ SIGNAL LIGHT
- ⊙ SANITARY MANHOLE
- SAN - SANITARY SEWER
- ⊙ HYDRANT
- ⊙ WATER VALVE
- W - WATER MAIN
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC METER
- ⊙ POWER POLE
- ⊙ TELEPHONE PEDESTAL
- T - TELEPHONE LINE
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ SIGN
- X - FENCE
- ⊙ CUT CROSS
- FOUND IRON PIPE
- SET 5/8" REBAR
- ⊙ MISC. MANHOLE
- AtA SOIL CLASSIFICATION

CORNERS AT PRAIRIE RIDGE EXISTING CONDITIONS TOPOGRAPHIC SURVEY FOR HWY 50 PP, LLC

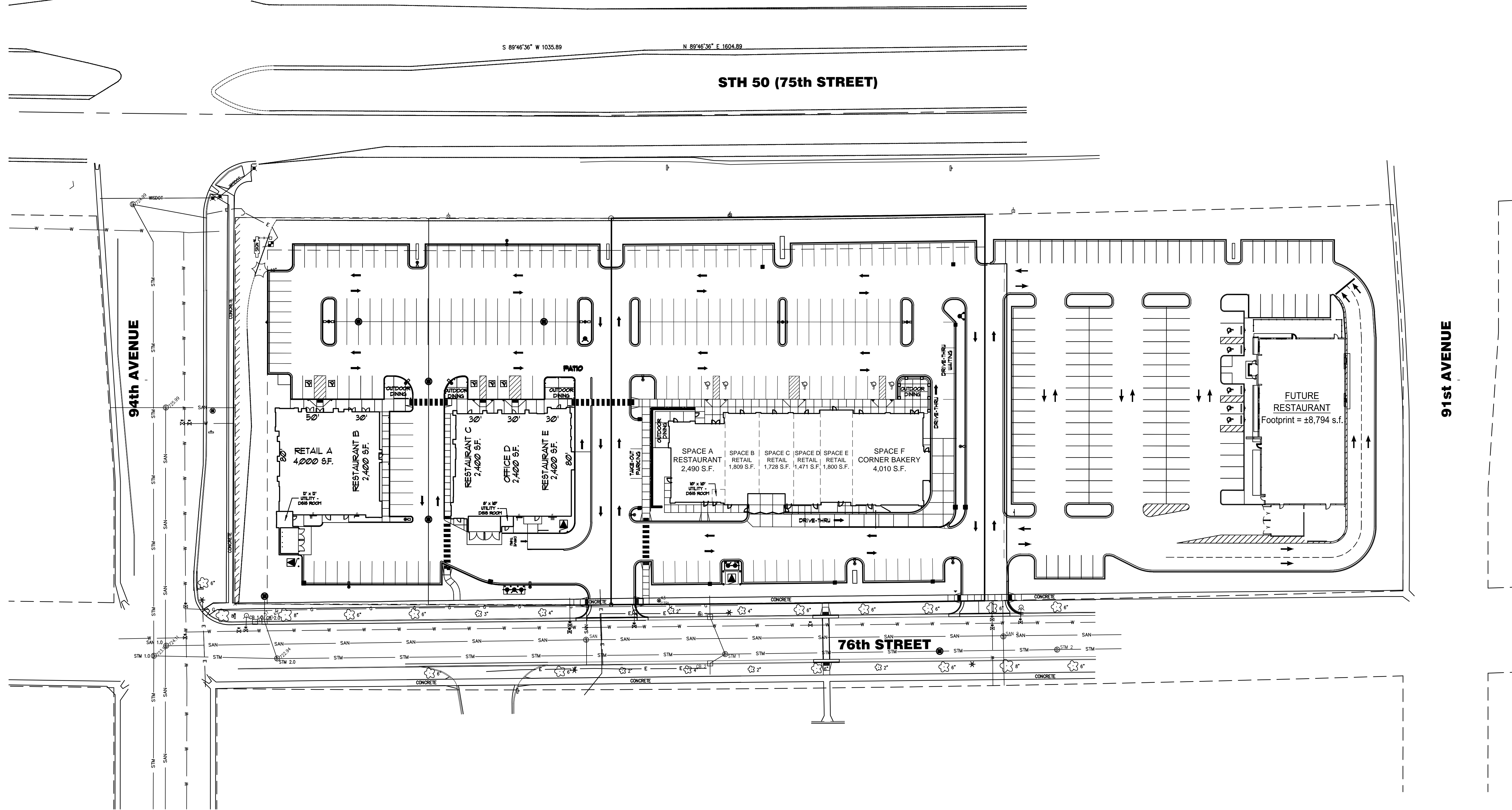
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

FINAL SITE AND OPERATIONAL PLAN - 10-9-2015

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
DRAFTED: NDB
DATE: 10-7-2015
CHECKED: MDE
DATE: 10-8-2015

2015.0066.04
SHEET
C-2



Nielsen Madsen & Barber S.C.
 Civil Engineers and Land Surveyors
 1458 Horizon Blvd., Suite 200, Racine, WI. 53406
 Tele: (262)634-5588 Fax: (262)634-5024
 Website www.nmbasc.net

OUTLOT 20 & 21
RESTAURANT / RETAIL / OFFICE
MASTER CONCEPTUAL PLAN
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

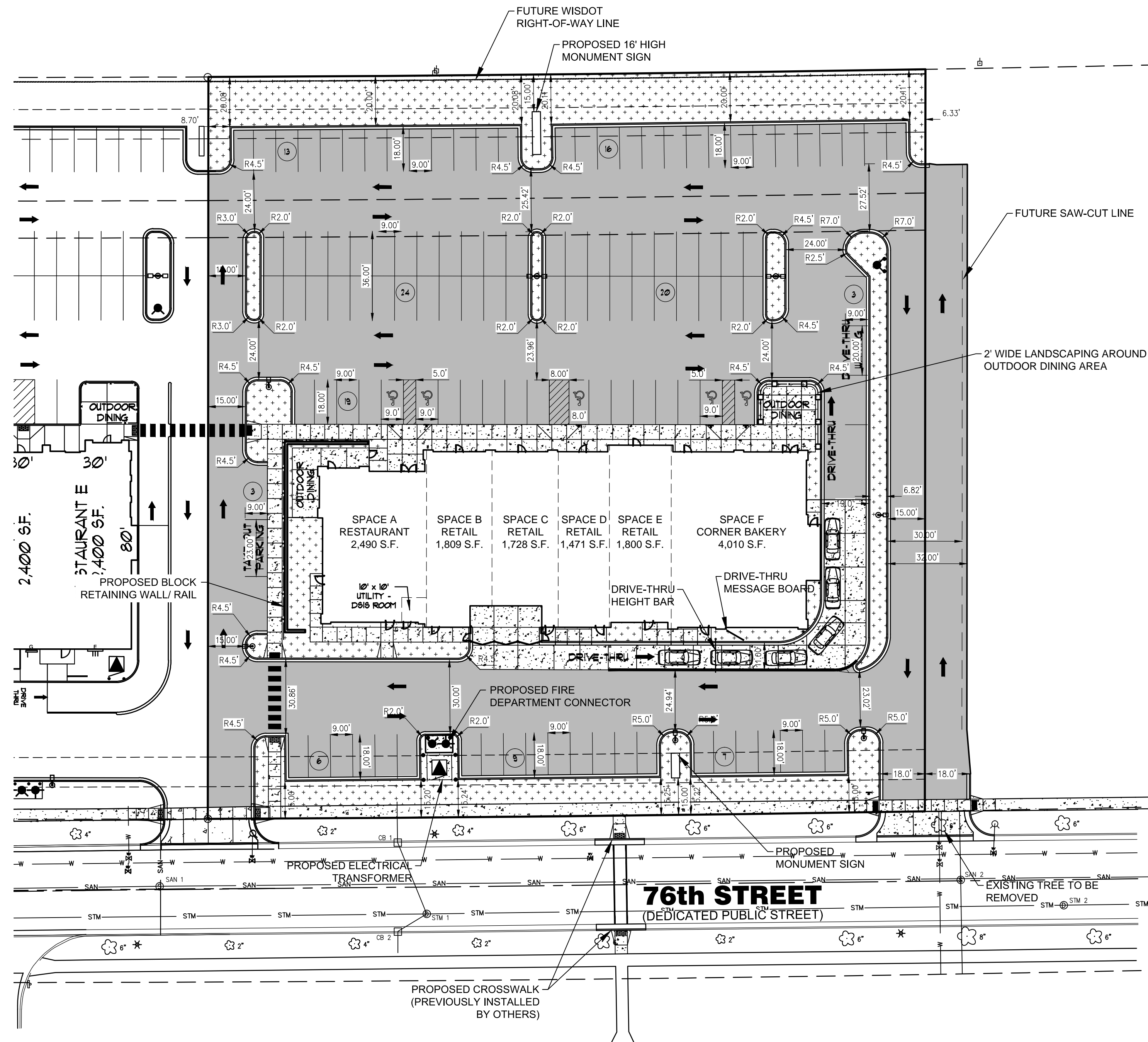
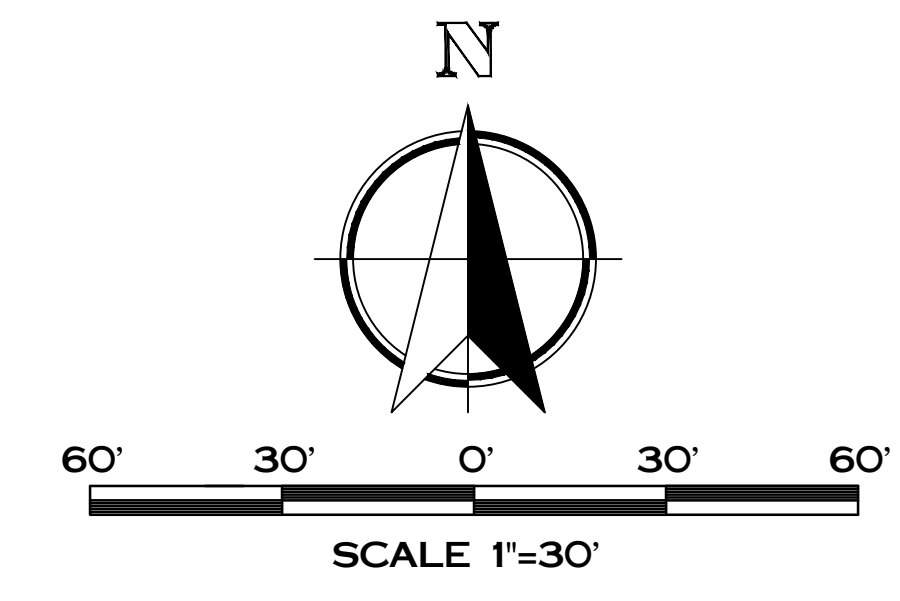
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PROJ. MGR: MDE
 DRAFTED: NDB
 DATE: 10-7-2015
 CHECKED: MDE
 DATE: 10-8-2015

2015.0066.04
 SHEET
C-3



STH 50 (75th STREET)
 (DEDICATED PUBLIC STREET)



SITE PLAN LEGEND

- INTERNAL SITE LANDSCAPING
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- DETECTABLE WARNING FIELD
- SIGNAGE
- LIGHT POLE
- PIPE BOLLARD
- PARKING COUNT
- 18" CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPERTY LINE
- FIRE HYDRANT
- REMOTE FIRE DEPARTMENT CONNECTOR (FDC)
- ELECTRICAL TRANSFORMER

SITE DATA

PARCEL NUMBER:	91-4-122-081-0200
ZONING PROPOSED:	B-2 (PUD)
EXISTING LAND USE:	VACANT
EXISTING FLOOD ZONE:	NOT IN A FLOOD ZONE
DEVELOPMENT TYPE:	COMMERCIAL
BUILDING USE:	MULTI-TENANT RETAIL/ RESTAURANT
PROPOSED IMPERVIOUS SURFACE	
BUILDING/ENCLOSURE	13,480 S.F.
PROPOSED CONCRETE	12,283 S.F.
PROPOSED ASPHALT	47,535 S.F.
TOTAL IMPERVIOUS SURFACE AREA	73,298 S.F. = 1.68 AC (83.3%)
TOTAL GREEN SPACE AREA	14,693 S.F. = 0.34 AC (16.7%)
TOTAL PARCEL AREA	87,991 S.F. = 2.02 AC
TOTAL DISTURBED AREA	87,991 S.F. = 2.02 AC
LANDOWNER:	SB1 PLEASANT PRAIRIE WI LLC 591 W PUTNAM AVE GREENWICH, CT 06830 312-759-5020
APPLICANT/DEVELOPER:	HWY 50 PP, LLC PO BOX 11401 SHOREWOOD, WI 53211 414-587-7459
SURVEYOR/CIVIL ENGINEER:	NIELSEN, MADSEN & BARBER, S.C. 1458 HORIZON BOULEVARD SUITE 200 RACINE, WI 53406 262-634-5588

Tenant & Parking Statistics

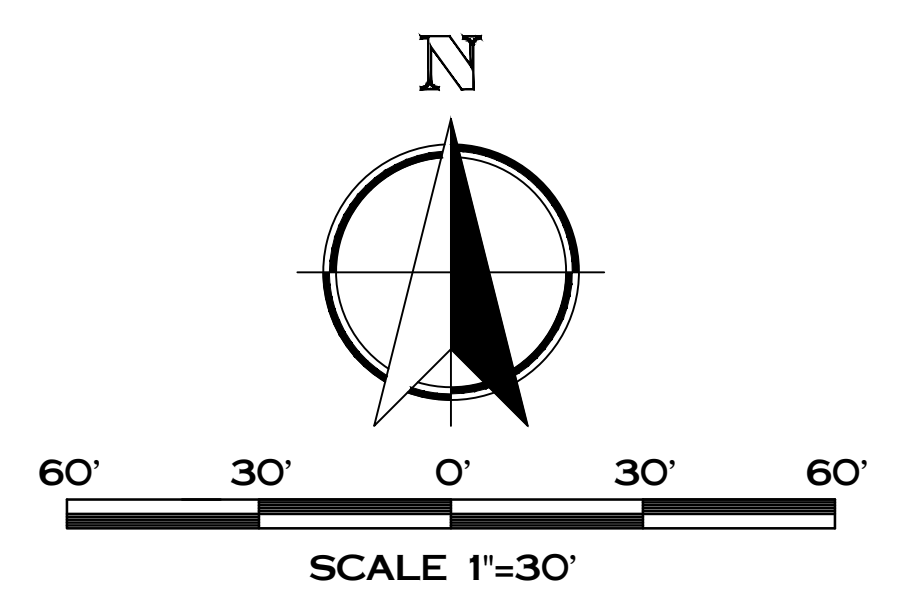
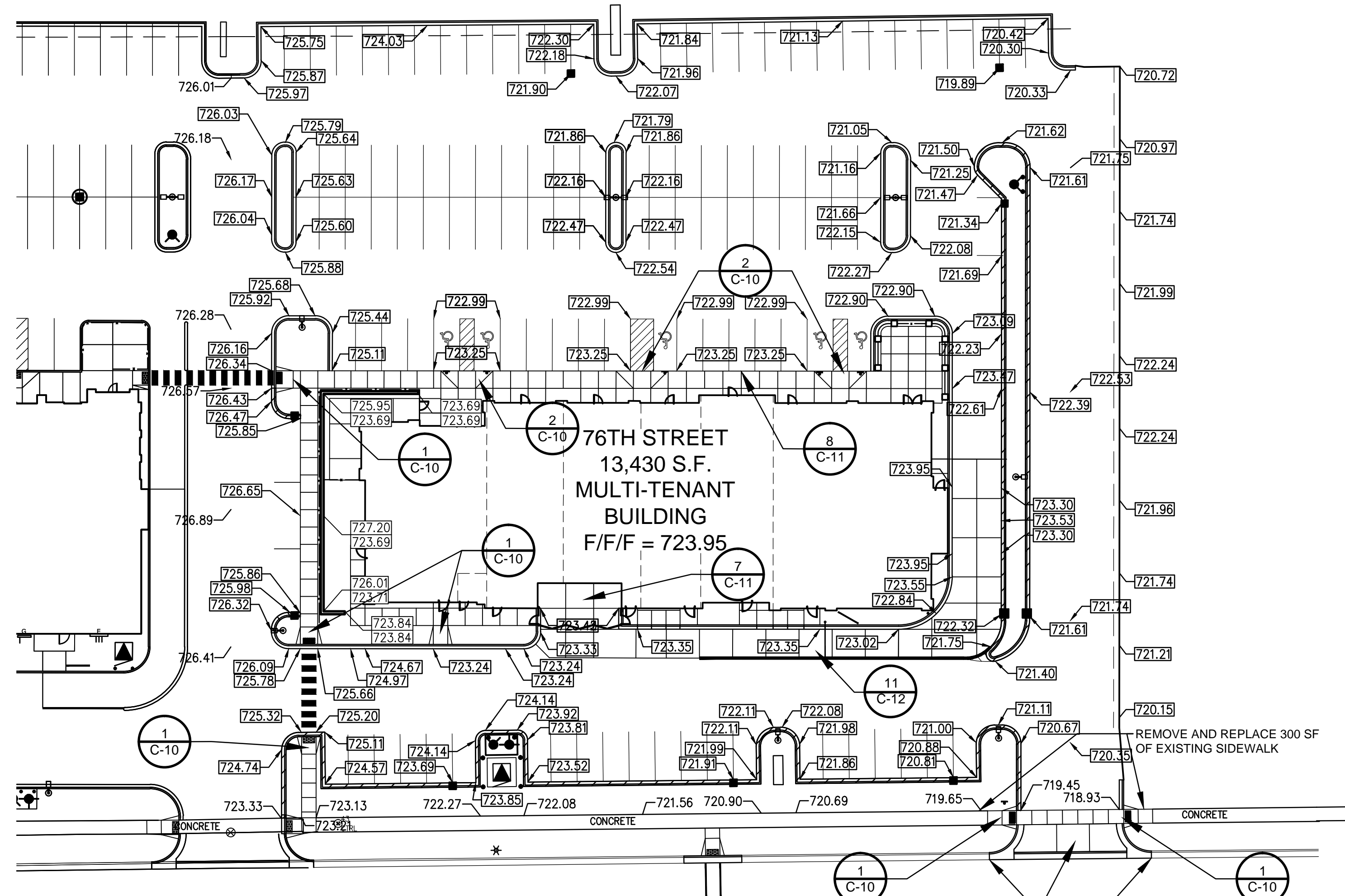
Tenant	Total Area	Restaurant @ 100 s.f.	Retail @ 200 s.f.	Employees Spaces @ 1 per 2	Parking Required
Space A	2,497	2,497		4	28.97
Space B	1,809		1,809	2	11.05
Space C	1,728		1,728	1	9.64
Space D	1,471		1,471	1	8.36
Space E	1,800		1,800	2	11.00
Space F	4,010	4,010		5	45.10

Parking Type	Provided	Required
Regular Spaces	117 Spaces	115 Spaces
HC Spaces	5 Spaces	5 Spaces
Total Parking	122 Spaces	120 Spaces

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
 DRAFTED: NDB
 DATE: 10-7-2015
 CHECKED: MDE
 DATE: 10-8-2015

2015.0066.04
 SHEET
C-4



PAVEMENT GRADING LEGEND

- FINISHED ASPHALT GRADES
- FINISHED SIDEWALK GRADES
- EXISTING SPOT GRADES
- TOP OF WALL GRADE
- BOTTOM OF WALL GRADE
- EXISTING CONTOURS
- PROPOSED CONTOURS

DIGGERS HOTLINE
 Call 611 or (800) 242-8511
 www.DiggersHotline.com

REFERENCES

ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2015 EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WisDOT WEBSITE AT <http://roadwaysstandards.dot.wi.gov/standards/stdspec/index.htm>

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 INCORPORATED.

CHAPTER 405 OF THE VILLAGE OF PLEASANT PRAIRIE MUNICIPAL CODE "PUBLIC IMPROVEMENT PROJECTS", DATED DECEMBER 20, 2004, INCLUDED HEREIN AND REFERRED TO AS THE "VILLAGE SPECIFICATIONS."

ALL EROSION CONTROL, EARTHWORK, SITE GRADING, BASES, PAVEMENTS AND INCIDENTAL CONSTRUCTION ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STATE SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS".

* WHENEVER THE "STATE SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS" DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

* WHENEVER THE "STATE SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

GENERAL NOTES

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE OWNER PRIOR TO CONSTRUCTION.

ANY AND ALL EXISTING SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAWCUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "VILLAGE SPECIFICATIONS".

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

SITE GRADING & SUB-GRADE PREPARATION

ALL EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PADS, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED AND STOCKPILED AT THE LOCATION SHOWN OR AS DIRECTED BY THE OWNER.

EXCAVATE, GRADE AND SHAPE SUBGRADE TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3±1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

THE FILL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION.

UPON COMPLETION OF THE GRADING AND COMPACTION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES THAT RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER OR HIS GEOTECHNICAL ENGINEER.

TEMPORARY SEEDING IS REQUIRED FOR ALL STOCKPILES AND OTHER EXPOSED LAND AREAS IF NOT ACTIVELY WORKED WITHIN 30 DAYS. AT THE COMPLETION OF THE PAVEMENT WORK, RE-SPREAD SALVAGED TOPSOIL OR IMPORT TOPSOIL AS NECESSARY TO PROVIDE A MINIMUM SIX-INCH (6") LAYER IN ALL LANDSCAPE AND LAWN AREAS. ALL DISTURBED AREAS SHALL BE RESTORED PER THE LANDSCAPE PLAN.

ANY TOPSOIL MATERIAL NOT BEING USED FOR THE PROJECT SHALL BE TRUCKED OFF-SITE AND NOT STOCKPILED ON ANY ADJACENT LOT(S).

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT TYPE E-0.3 MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR SIDEWALKS, CURB & GUTTER AND DRIVEWAY APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

ON-SITE CONCRETE SIDEWALKS SHALL BE FIVE INCHES (5") IN THICKNESS ON FIVE INCHES (5") OF DENSE AGGREGATE BASE COURSE AND BE CONSTRUCTED IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. PUBLIC SIDEWALKS SHALL BE PER DETAIL 11 ON SHEET C-11.

CONCRETE PAVEMENT (TRASH ENCLOSURE / APRON) SHALL BE EIGHT INCHES (8") IN THICKNESS ON SIX INCHES (6") OF DENSE AGGREGATE BASE COURSE AND CONCRETE PAVEMENT (DRIVE-THRU) SHALL BE SIX INCHES (6") IN THICKNESS ON EIGHT INCHES (8") OF DENSE AGGREGATE BASE COURSE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET.

ALL CONCRETE CURB AND GUTTER WITHIN THE PUBLIC RIGHT OF WAY SHALL BE 30". ALL OTHER CONCRETE CURB AND GUTTER SHALL BE 18" VERTICAL FACE CONCRETE CURB CONFORMING TO THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SECTION 66 OF THE "STATE SPECIFICATIONS". ALL CURB & GUTTER SHALL BE "REVERSE PAN CURB" OR "STANDARD CURB" AS INDICATED BY THE LEGEND BELOW AND INSTALLED IN A MANNER TO SHED ALL STORM WATER RUNOFF TOWARDS THE DRAINAGE STRUCTURES.

- 18" VERTICAL FACE (REVERSE PAN) CONCRETE CURB & GUTTER
- 18" VERTICAL FACE CONCRETE CURB & GUTTER

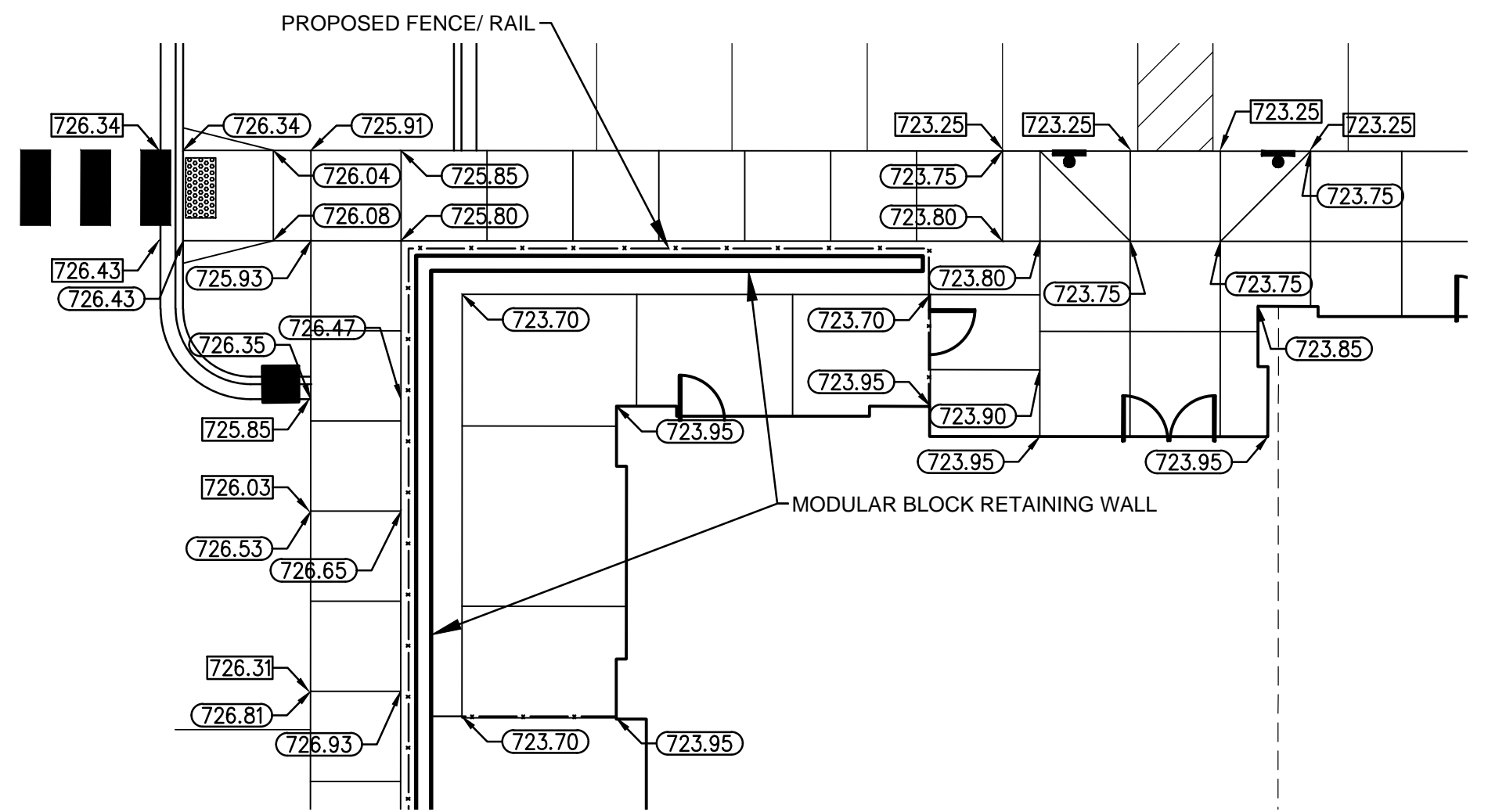
CONTRACTOR MUST CONTACT THE VILLAGE PUBLIC WORKS DEPARTMENT (STEVE WLAHOVICH; 262-925-6767) TO SCHEDULE INSPECTIONS FOR REPLACEMENT OF THE CURB AND GUTTER ALONG 76TH STREET.

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK.

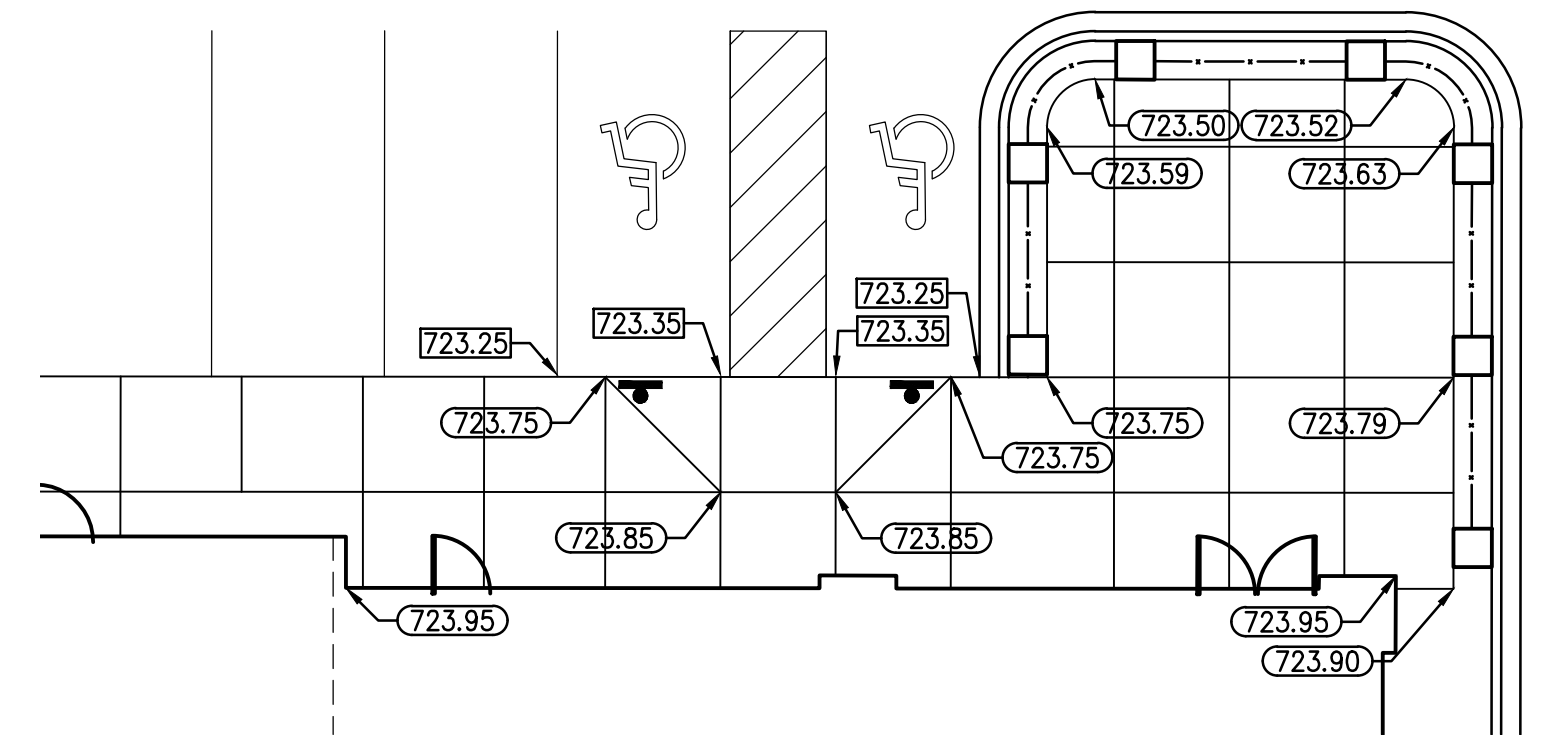
EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

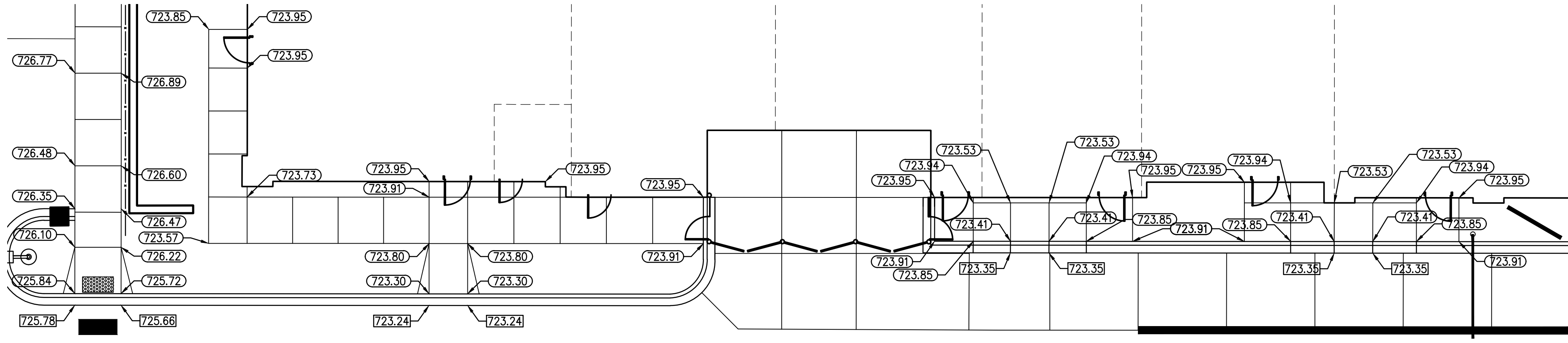
PARKING LOT STRIPING, STOP BARS / WORDS, CROSSWALKS AND HANDICAPPED ACCESSIBLE SYMBOLS SHALL BE INSTALLED WITH WISCONSIN DOT APPROVED TRAFFIC PAINT (WHITE) IN ACCORDANCE WITH SECTION 646 OF THE "STATE SPECIFICATIONS". ALL PARKING STALL STRIPING SHALL BE FOUR INCHES (4") IN WIDTH AND SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER. SEE THE TYPICAL SECTIONS AND CONSTRUCTION DETAILS SHEET(S) OF THE PLAN SET FOR ADDITIONAL INFORMATION ABOUT THE STOP BAR AND CROSSWALK MARKINGS.



NORTHWEST SIDEWALK DETAIL
SCALE 1"=10'



NORTHEAST SIDEWALK DETAIL
SCALE 1"=10'



SOUTHWEST SIDEWALK DETAIL
SCALE 1"=10'



Nielsen Madsen & Barber S.C.
 Civil Engineers and Land Surveyors
 1458 Horizon Blvd, Suite 200, Racine, WI 53406
 Tele: (262)634-4588 Fax: (262)634-5024
 Website www.nmbssc.net

CORNERS AT PRAIRIE RIDGE

PAVEMENT GRADING PLAN FOR HWY 50 PP, LLC

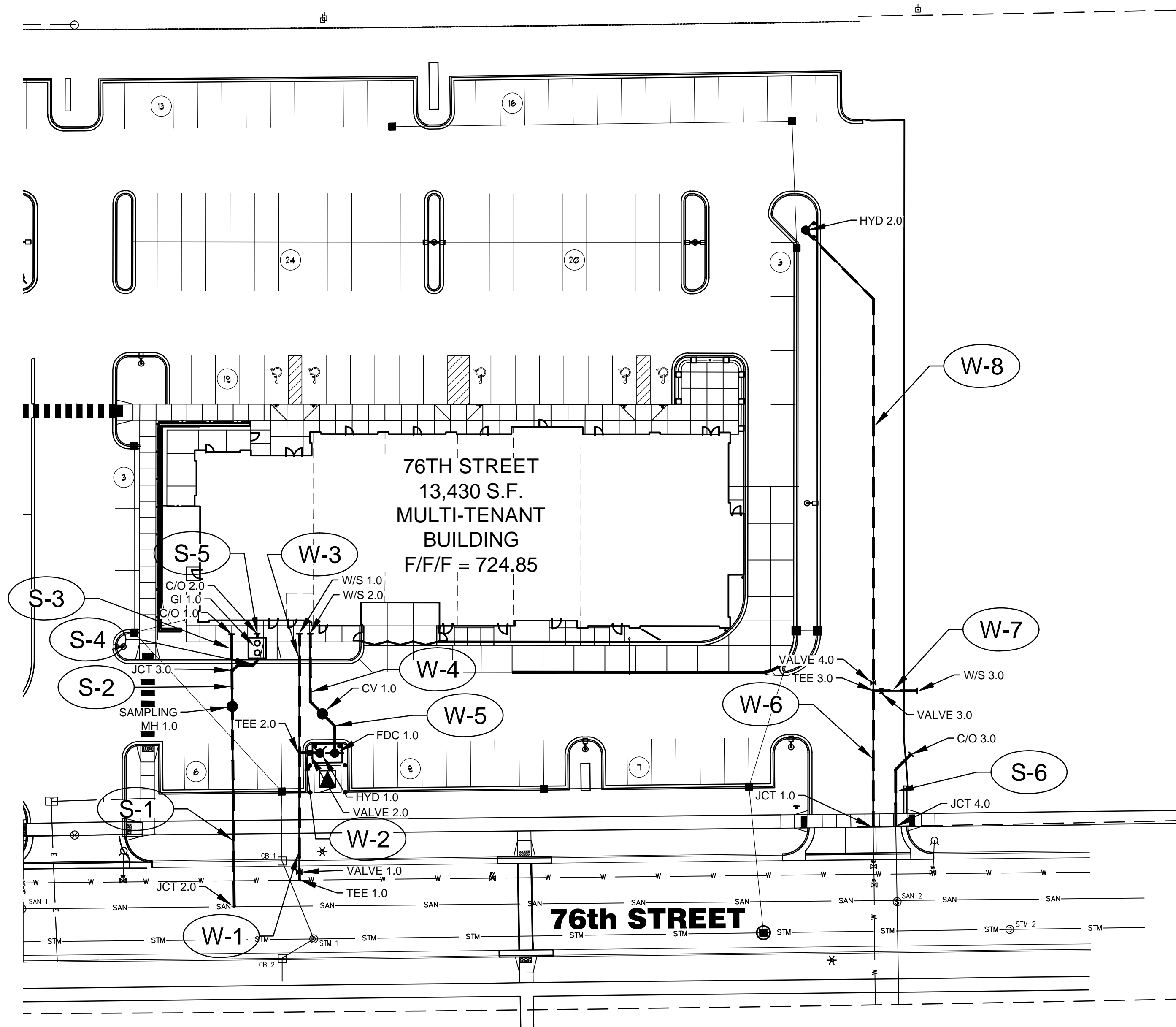
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

FINAL SITE AND OPERATIONAL PLAN - 10-9-2015

NO.	REVISION	BY	DATE

PROJ. MGR: MDE
 DRAFTED: NDB
 DATE: 10-7-2015
 CHECKED: MDE
 DATE: 10-8-2015

2015.0066.04
 SHEET
C-6



REFERENCES

ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:

STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS "STANDARD SPECIFICATIONS".

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2015 EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/standspec/index.htm>

LAND DIVISION ORDINANCE OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, CHAPTER 18, VILLAGE CODE OF ORDINANCES, JUNE 1998, REVISED EDITION MAY 21, 2001.

ALL EROSION CONTROL, EARTHWORK, SITE GRADING, BASES, PAVEMENTS AND INCIDENTAL CONSTRUCTION ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STATE SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".

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* WHENEVER THE "STATE SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

ALL SANITARY SEWER AND WATERMAIN IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".

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* WHENEVER THE "STANDARD SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

PUBLIC UTILITY NOTES

CABLE TV AND TELEPHONE SERVICE INSTALLATION TO BE COORDINATED WITH THE ELECTRICAL SERVICE.

ELECTRICAL SERVICE TO BE COORDINATED WITH WE ENERGIES. EXACT LOCATION OF THE SERVICE ENTRANCE / METER TO BE COORDINATED WITH WE ENERGIES, THE MECHANICAL DESIGNER AND THE ARCHITECT.

SIX (6) INCH CONCRETE FILLED STEEL PIPE BOLLARDS SHALL BE INSTALLED TWO (2) FEET OUTWARD OF THE ELECTRICAL TRANSFORMER PAD AT FOUR (4) FOOT MAXIMUM SPACING MAKING SURE THAT THE BOLLARDS DO NOT INTERFERE WITH THE TRANSFORMER DOOR.

ELECTRICAL TRANSFORMERS AND ALL SURROUNDING PIPE BOLLARDS TO BE PAINTED WITH TWO COATS OF EXTERIOR PAINT (GLIDDEN BURRWOOD 30YY 11/076).

UTILITY COORDINATION

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, AND PHONE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

FIRE PROTECTION NOTES

SIZING AND PERMITTING FOR THE FIRE PROTECTION MAIN SHALL BE COMPLETED BY A LICENSED WISCONSIN FIRE PROTECTION DESIGNER. THE CONTRACTOR SHALL CONFIRM THAT THE 6" WATER SERVICE PROPOSED MEETS THE REQUIRED FIRE PROTECTION DEMAND.

EXISTING UTILITY DATA

STM 1.0 RIM 721.58 IE. 36" E&W 714.93	CB 1 RIM 721.46 IE. 15" SE 718.16 IE. 15" N 718.16	SAN 1.0 RIM 723.40 IE. 8" N&S 711.95 IE. 8" E&W 711.95
STM 2.0 RIM 717.58 IE. 36" E&W 711.08	CB 2 RIM 721.48 IE. 15" NE 717.28 IE. 15" S 717.28	SAN 2.0 RIM 718.49 IE. 8" E&W 710.04 IE. 8" N 710.29 IE. 8" S 710.09



Call 811 or (800) 242-8511
www.DiggersHotline.com

GENERAL NOTES

ALL APPLICATIONS AND CONNECTION FEES FOR SANITARY SEWER AND WATER SERVICES MUST BE SUBMITTED AND PAID PRIOR TO CONNECTION TO THE EXISTING SYSTEMS.

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS, WATER MAINS, GAS & ELECTRIC LINES OR OTHER UTILITIES PRIOR TO STARTING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE OWNER PRIOR TO CONSTRUCTION.

ANY AND ALL EXISTING SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAWCUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "VILLAGE SPECIFICATIONS".

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

MATERIAL FOR SANITARY SEWERS AND WATER MAINS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES (SPS) AND THE "VILLAGE SPECIFICATIONS".

ALL SANITARY SEWER, WATER MAIN AND FIRE PROTECTION LATERALS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

PROVIDE FIVE FEET (5') OF COVER OVER ALL SANITARY SEWERS AND SIX AND ONE HALF FEET (6-1/2') OF COVER OVER ALL WATER MAINS. MINIMUM HORIZONTAL SEPARATION OF UTILITY MAINS IS EIGHT FEET (8'). PROVIDE VERTICAL SEPARATION OF UTILITIES PER CODE.

SANITARY SEWER AND WATER MAIN SPECIFICATIONS

THE CONTRACTOR SHALL PROVIDE 7 DAYS NOTICE TO THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT BEFORE COMMENCING CONSTRUCTION ON ANY SEWER OR WATER MAIN IMPROVEMENTS.

THE CONTRACTOR SHALL CONTACT THE OWNER 24 HOURS PRIOR TO PROPOSED WATER MAIN SHUTDOWNS OR ANY WORK THAT MAY INTERFERE WITH EXISTING WATER SERVICE. ALL EXISTING VALVES, HYDRANTS, AND OTHER WATER INFRASTRUCTURE SHALL BE OPERATED ONLY BY THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE SANITARY SEWERS AND LATERALS PER SPS 382.30(11)(h). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE WITHIN THE PROPOSED STRUCTURES. FOR THE SANITARY SEWER LATERALS, THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "SEWER" ON THE COVER.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, HYDRANT LEADS, FIRE DEPARTMENT CONNECTION LEADS AND LATERALS PER SPS 382.40(8)(k). THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "WATER" OR "FDC" ON THE COVER.

SANITARY SEWER LATERAL PIPE MATERIAL SHALL BE SIX-INCH (6") OR FOUR-INCH (4") PVC CLASS SDR-35 WITH INTEGRAL BELL TYPE ELASTOMERIC JOINTS CONFORMING TO THE REQUIREMENTS OF ASTM D3034, ASTM D3212 AND F-789/P546 WITH RUBBER GASKETS. SANITARY LATERALS SHALL BE PROVIDED WITH A CLEANOUT AT THE BUILDING PER SPS 382.35. LATERAL CLEAN-OUT RISERS SHALL BE FOUR-INCH (4") DIAMETER WITH SIX-INCH (6") DIAMETER FROST SLEEVE CONSTRUCTED OF THE SAME MATERIAL. THE CLEANOUT RISERS SHALL TERMINATE FOUR INCHES (4") BELOW FINISHED (SOD) GRADE WITH A SCREW ON CAP. THE FROST SLEEVE SHALL BE BROUGHT UP TO FINISHED (SOD) GRADE AND COVERED WITH A SCREW ON CAP IF WITHIN A LANDSCAPED AREA OR A NEENAH R-3487 FRAME WITH A SOLID LID IF WITHIN A PAVED AREA.

WATER MAIN AND LATERAL PIPE MATERIAL SHALL BE SIX INCH (6") PVC PIPE CLASS 150, DR 18 (AS SHOWN) MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, IN ACCORDANCE WITH THE "VILLAGE SPECIFICATIONS". HYDRANT LEADS AND FIRE DEPARTMENT CONNECTOR LATERALS SHALL BE SIX INCH (6") POLY-ENCASED DUCTILE IRON PIPE CLASS 53 (AS SHOWN) MEETING THE REQUIREMENTS OF AWWA STANDARD C-151 / ANSI 21.51 AND THE "VILLAGE SPECIFICATIONS".

RESILIENT WEDGE SEATED GATE VALVES CONFORMING TO AWWA C-509 SHALL BE USED FOR FOUR-INCH (4") TO EIGHT-INCH (8") APPLICATIONS. GATE VALVES SHALL BE WATEROUS "SERIES 500" AS MANUFACTURED BY AMERICAN FLOW CONTROL, CLOW F-6100 OR MUELLER A-2370-22 WITH A MINIMUM PRESSURE RATING OF 200 PSI. ALL VALVES SHALL BE MADE WITH STAINLESS STEEL NUTS AND BOLTS AND SHALL CLOSE CLOCKWISE WITH NON-RISING STEMS (GATE VALVE ONLY) AND A TWO-INCH (2") SQUARE TAPERED OPERATING NUT.

VALVE BOXES SHALL BE THREE-PIECE CAST-IRON SHAFT SCREW TYPE WITH A CAST IRON VALVE BOX COVER CLEARLY MARKED "WATER" AND SHALL BE NORTH AMERICAN, SIGMA OR STAR MADE ONLY PER THE "VILLAGE SPECIFICATIONS". VALVE BOX ADAPTERS SHALL BE MANUFACTURED BY ADAPTOR, INC., OR APPROVED EQUAL.

HYDRANTS SHALL CONFORM TO AWWA C-502 FOR DRY BARREL FIRE HYDRANTS AND SHALL BE RED IN COLOR WITH SILVER NOZZLE CAPS AND OPERATING NUT. HYDRANTS SHALL BE MUELLER CENTURION A-423 WITH FACTORY INSTALLED 5" STORZ CONNECTION.

THE FIRE DEPARTMENT CONNECTION (FDC) SHALL CONFORM TO THE "VILLAGE SPECIFICATIONS". THE FDC SHALL HAVE ONE (1) FIVE INCH (5") STORZ CONNECTION WHICH SHALL BE LABELED "AUTO SPRK". THE BOTTOM OF THE STORZ CONNECTION SHALL BE TWENTY FOUR INCHES (24") ABOVE FINISHED GRADE. THE FDC SHALL BE LOCATED A MAXIMUM OF FIVE FEET (5') FROM THE ADJACENT HYDRANT AND A MAXIMUM OF FIVE FEET (5') FROM THE PAVEMENT. THE FDC SHALL BE INSTALLED WITH A CHECK VALVE WITH BALL DRIP. THIS CHECK VALVE SHALL BE CONTAINED WITHIN A VAULT CONSISTING OF A MINIMUM FORTY-TWO INCH (42") DIAMETER MANHOLE. THE VAULT SHALL BE SET ON A MINIMUM OF FOUR INCHES (4") OF #2 STONE AND SHALL BE INSTALLED WITH A NEENAH R-1755-F2 FROST/WATER-TIGHT FRAME AND SOLID LID.

WATERMAIN DESIGN DATA

W-1:	47' - 6" WM @ 2.25%
W-2:	8' - 6" WM @ 1.00%
W-3:	44' - 6" WM @ 2.25%
W-4:	31' - 4" WM @ -2.77%
W-5:	16' - 4" WM @ 1.00%
W-6:	50' - 6" WM @ 1.50%
W-7:	16' - 6" WM @ 1.00%
W-8:	181' - 6" WM @ 1.50%

JUNCTION 1.0 I.E. 6" 711.9± (EX.) I.E. 6" 711.90 (PROP.)	WATER STUB 2.0 I.E. 6" 717.30
TEE 1.0 (12" X 6") I.E. 12" 715.0± I.E. 6" 715.25	WATER STUB 3.0 I.E. 6" 712.81
TEE 2.0 (6" X 6") I.E. 6" 716.31	CHECK VALVE 1.0 RIM 723.95 I.E. 4" 716.44
TEE 3.0 (6" X 6") I.E. 6" 712.65	HYDRANT 1.0 FLANGE ELEVATION - 724.70 CENTER OF LARGE COUPLING - 726.00 I.E. 6" 716.39
VALVE 1.0 I.E. 6" 715.32	HYDRANT 2.0 FLANGE ELEVATION - 723.10 CENTER OF LARGE COUPLING - 724.40 I.E. 6" 715.37
VALVE 2.0 I.E. 6" 716.35	FDC 1.0 FLANGE ELEVATION - 724.60 CENTER OF LARGE COUPLING - 726.60 I.E. 4" 716.60
VALVE 3.0 I.E. 6" 712.68	
VALVE 4.0 I.E. 6" 712.70	
WATER STUB 1.0 I.E. 6" 717.30	

SANITARY DESIGN DATA

S-1:	74' - 6" PVC @ 6.00%
S-2:	13' - 6" PVC @ 6.00%
S-3:	14' - 6" PVC @ 6.00%
S-4:	12' - 4" PVC @ 2.08%
S-5:	2' - 4" PVC @ 2.08%
S-6:	29' - 8" PVC @ 2.08%

JUNCTION 2.0 I.E. 8" (WE) 711.5± (EX.) I.E. 6" (N) 711.58	CLEANOUT 3.0 I.E. 8" (SW) 712.80
JUNCTION 3.0 I.E. 6" (N/S) 716.80 I.E. 4" (E) 716.88	SAMPLING MANHOLE 1.0 RIM 724.75 I.E. 6" (N) 716.02 I.E. 6" (S) 716.02
JUNCTION 4.0 I.E. 8" (S) 712.2± (EX.) I.E. 8" (N) 712.20 (PROP.)	GREASE INTERCEPTOR 1.0 RIM (N) 724.65 RIM (S) 724.60 I.E. 4" (N) 717.33 I.E. 4" (S) 717.13
CLEANOUT 1.0 I.E. 6" (S) 717.64	
CLEANOUT 2.0 I.E. 4" (S) 717.37	



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CORNERS AT PRAIRIE RIDGE
SITE UTILITY PLAN
FOR
HWY 50 PP, LLC
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN
FINAL SITE AND OPERATIONAL PLAN - 10-9-2015

NO.	REVISION	BY	DATE

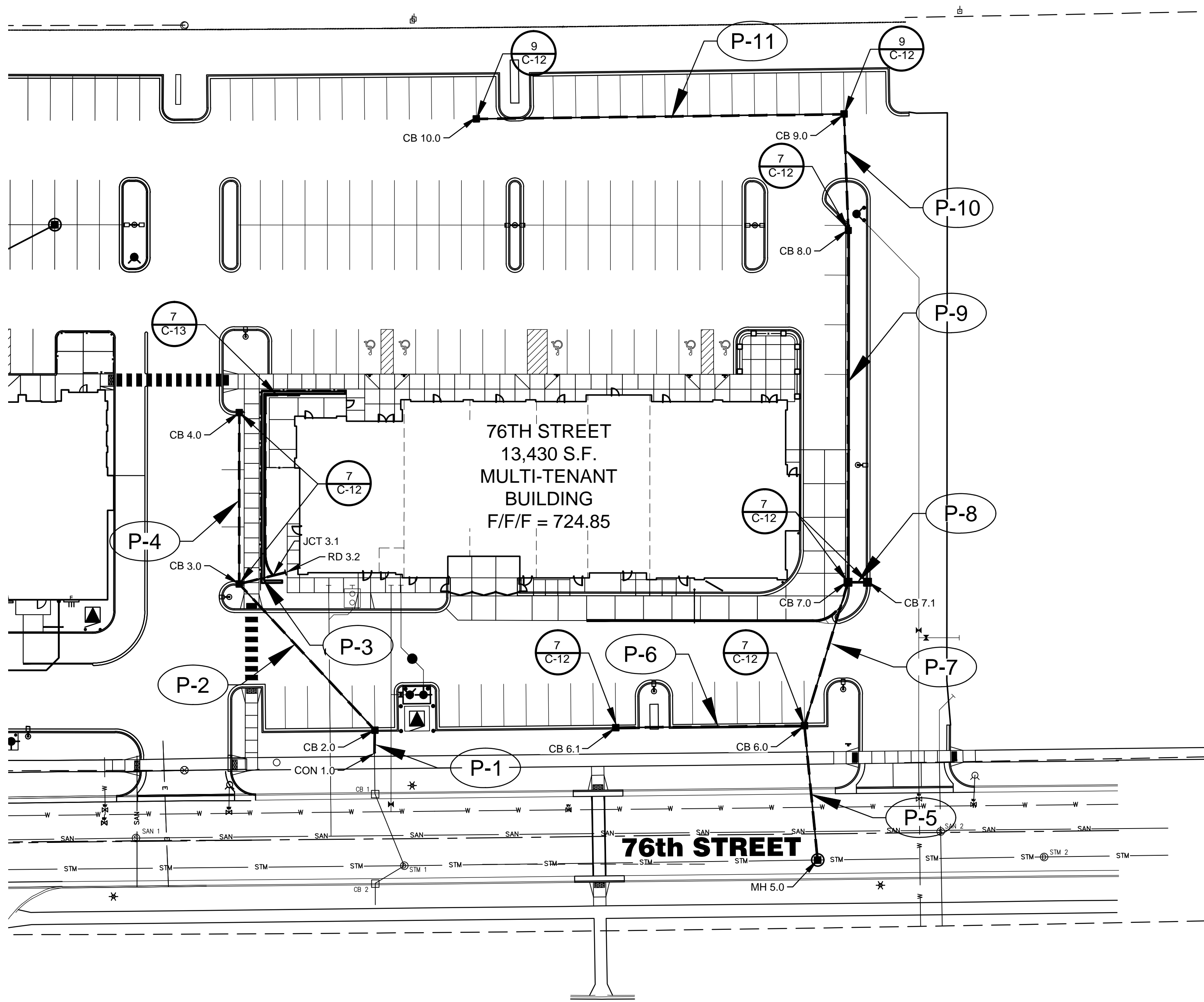
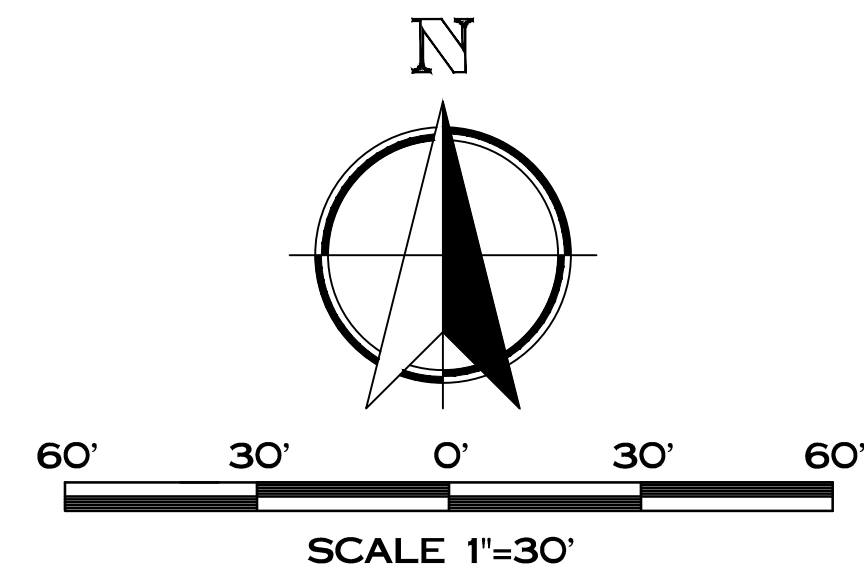
PROJ. MGR: MDE
DRAFTED: NDB
DATE: 10-7-2015
CHECKED: MDE
DATE: 10-8-2015

2015.0066.04

SHEET
C-7

6'36" W 1035.89 N 89'46'36" E 1604.89

STH 50 (75th STREET)



STORM SEWER DESIGN

P-1:	9' - 15" STM @ 1.52%
P-2:	80' - 12" STM @ 0.26%
P-3:	19' - 8" STM @ 1.04%
P-4:	69' - 6" STM @ 2.08%
P-5:	54' - 12" STM @ 1.04%
P-6:	76' - 6" STM @ 4.16%
P-7:	60' - 12" STM @ 1.04%
P-8:	8' - 6" STM @ 4.16%
P-9:	142' - 15" STM @ 0.26%
P-10:	47' - 12" STM @ 0.52%
P-11:	148' - 6" STM @ 1.04%

CONNECTION 1.0 IE. 15" (S) 718.64 (EX) IE. 15" (N) 718.64 (PROP)	CB 6.0 FLANGE 720.81 IE. 12" (S) 713.96 IE. 12" (NE) 714.00 IE. 8" (W) 714.00
CB 2.0 FLANGE 723.69 IE. 15" (S) 718.78 IE. 12" (N) 719.00 IE. 12" (NW) 719.00	CB 6.1 FLANGE 721.91 IE. 6" (E) 717.16
CB 3.0 FLANGE 725.86 IE. 12" (SE) 719.20 IE. 8" (NE) 719.30 IE. 6" (N) 719.30	CB 7.0 FLANGE 722.32 IE. 12" (SW) 714.62 IE. 15" (N) 714.75 IE. 6" (E) 714.75
JUNCTION 3.1 IE. 8" (SW/NE) 719.45 IE. 6" (N) 719.45	CB 7.1 FLANGE 721.61 IE. 6" (E) 715.08
ROOF DRAIN 3.2 IE. 12" (S) 719.50	CB 8.0 FLANGE 721.35 IE. 15" (S) 715.11 IE. 12" (NE) 715.21
CB 4.0 FLANGE 725.85 IE. 6" (S) 720.74	CB 9.0 FLANGE 719.89 IE. 12" (SW) 715.45 IE. 8" (W) 715.55
STM MH 5.0 RIM 719.90 IE. 36" (E/W) 712.44 IE. 12" (N) 713.40	CB 10.0 FLANGE 721.90 IE. 8" (E) 717.09

EXISTING UTILITY DATA

STM 1.0 RIM 721.58 IE. 36" E&W 714.93	CB 1 RIM 721.46 IE. 15" SE 718.16 IE. 15" N 718.16	SAN 1.0 RIM 723.40 IE. 8" N&S 711.95 IE. 8" E&W 711.95
STM 2.0 RIM 717.58 IE. 36" E&W 711.08	CB 2 RIM 721.48 IE. 15" NE 717.28 IE. 15" S 717.28	SAN 2.0 RIM 718.49 IE. 8" E&W 710.04 IE. 8" N 710.29 IE. 8" S 710.09

STORM WATER MAINTENANCE PLAN

THE STORM WATER DRAINAGE / WATER QUALITY SYSTEM BEING INSTALLED AS PART OF THIS DEVELOPMENT SHALL BE INSPECTED ON A SEMIANNUAL BASIS.

AS PART OF THE INSPECTION, ANY SILT, SEDIMENT OR DEBRIS BUILT UP IN THE BOTTOM OF THE STRUCTURE SHALL BE REMOVED AND DISPOSED OF.

IF EXCESSIVE AMOUNTS OF SEDIMENT ARE PRESENT, THE MAINTENANCE SCHEDULE SHALL BE ADJUSTED ACCORDINGLY OR A PAVEMENT SWEEPING PROGRAM ESTABLISHED TO MINIMIZE THE SEDIMENT LOADING ENTERING THE STORM WATER DRAINAGE/WATER QUALITY SYSTEM.

THE PROPERTY OWNER IS ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE STORM WATER LEAVING THE SITE IS AS CLEAN AS PRACTICABLE.

REFERENCES

- ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:
- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS "STANDARD SPECIFICATIONS."
- STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2015 EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WISDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/standspec/index.htm>
- LAND DIVISION ORDINANCE OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, CHAPTER 18, VILLAGE CODE OF ORDINANCES, JUNE 1998, REVISED EDITION MAY 21, 2001.
- ALL EROSION CONTROL, EARTHWORK, SITE GRADING, BASES, PAVEMENTS AND INCIDENTAL CONSTRUCTION ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STATE SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".
- * WHENEVER THE "STATE SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS" DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.
- * WHENEVER THE "STATE SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.
- ALL SANITARY SEWER AND WATERMAIN IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".
- * WHENEVER THE "STANDARD SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS" DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.
- * WHENEVER THE "STANDARD SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS, WATER MAINS, GAS & ELECTRIC LINES OR OTHER UTILITIES PRIOR TO STARTING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE OWNER PRIOR TO CONSTRUCTION.

ANY AND ALL EXISTING SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAWCUT AT THE NEAREST JOINT AND REPLACED IN KIND PER "VILLAGE SPECIFICATIONS".

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

MATERIAL FOR STORM SEWERS AND ROOF DRAINAGE SYSTEMS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY & PROFESSIONAL SERVICES (SPS) REQUIREMENTS AND THE "VILLAGE SPECIFICATIONS".

ALL STORM SEWER AND ROOF DRAIN LEADS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

STORM SEWER SPECIFICATIONS

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(d)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE WITHIN THE PROPOSED STRUCTURES. FOR THE ROOF DRAIN LEADS, THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE DOWNSPOUT RISERS.

* THE STORM SEWER SYSTEM WAS SIZED ACCORDING TO SPS TABLE 382.36-4 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C14". ANY MATERIAL APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE AND THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES MAY BE USED AT THE SLOPES AND SIZES DESIGNED.

STORM SEWER, ROOF DRAIN AND STORM BUILDING SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4"-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

STORM SEWER CATCH BASINS (CB) SHALL BE 42" DIAMETER REINFORCED CONCRETE STRUCTURES IN ACCORDANCE WITH VILLAGE OF PLEASANT PRAIRIE SPECIFICATIONS. CATCH BASINS INSTALLED IN LAWN AREAS SHALL BE FURNISHED WITH A NEENAH R-2560, TYPE "D3" FRAME & GRATE.

ALL STORM SEWERS, MANHOLES, MANHOLE/CATCH BASINS, CATCH BASINS AND INLETS SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.40.

ALL STORM BUILDING LATERALS SHALL BE PROVIDED WITH A CLEANOUT AT THE BUILDING PER SPS 382.35. ALL ROOF DRAIN RISERS AND CLEANOUT STRUCTURES SHALL BE 6" DIAMETER AND INSTALLED WITH A 8" FROST SLEEVE. ALL CLEANOUT STRUCTURES AND ROOF DRAIN FROST SLEEVES SHALL BE SET TO FINISHED YARD GRADE BY THE SITE UTILITY CONTRACTOR. ONLY THE "WHITE" PUSH-ON CAP SHALL BE EXPOSED ADJACENT TO THE BUILDING.



Nielsen Madsen & Barber S.C.
Civil Engineers and Land Surveyors
1458 Horizon Blvd., Suite 200, Racine, WI. 53406
Tel: (262)634-5588 Fax: (262)634-5024
Website www.nmbcsc.net

CORNERS AT PRAIRIE RIDGE

STORM SEWER PLAN FOR HWY 50 PP, LLC

VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

FINAL SITE AND OPERATIONAL PLAN - 10-9-2015

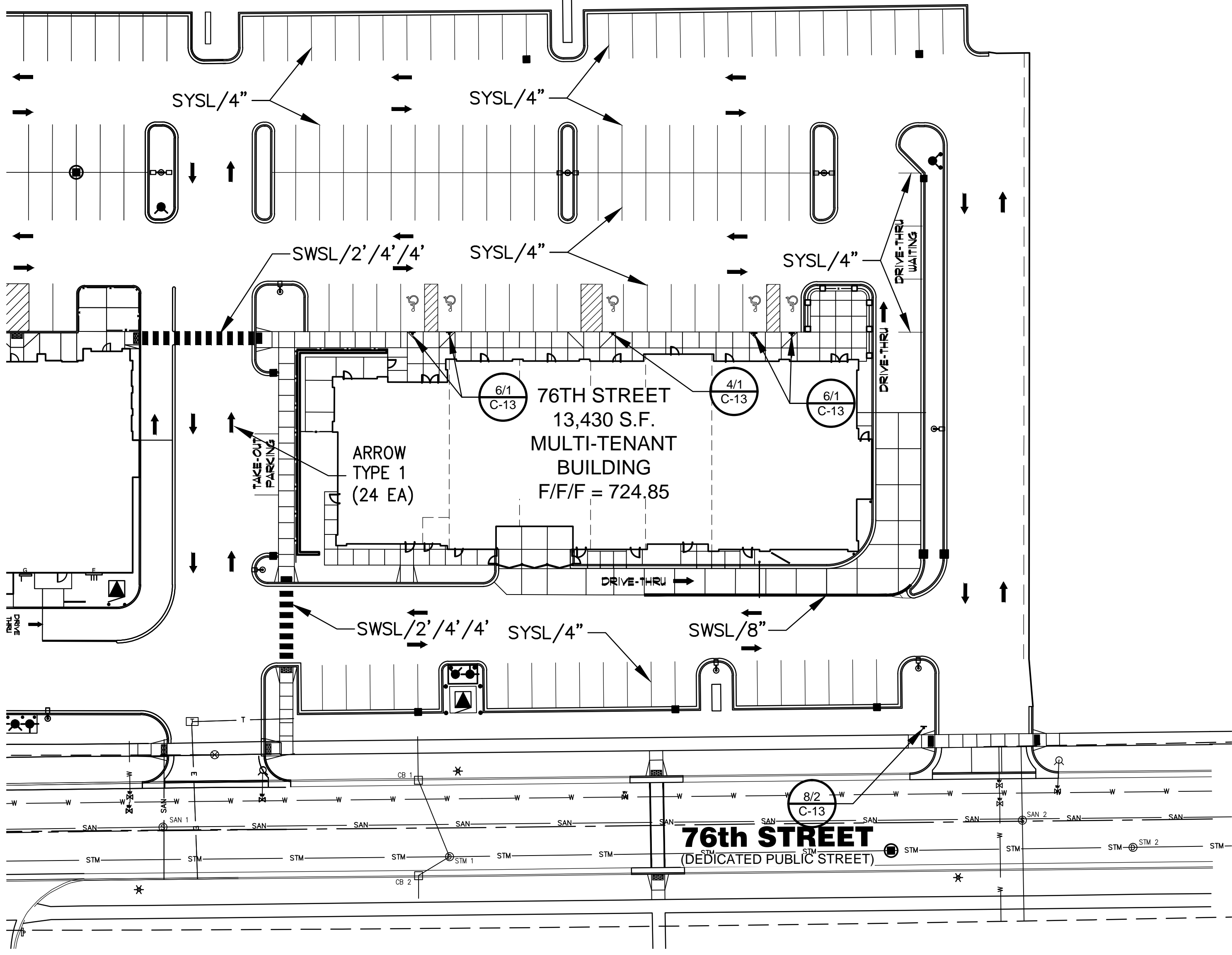
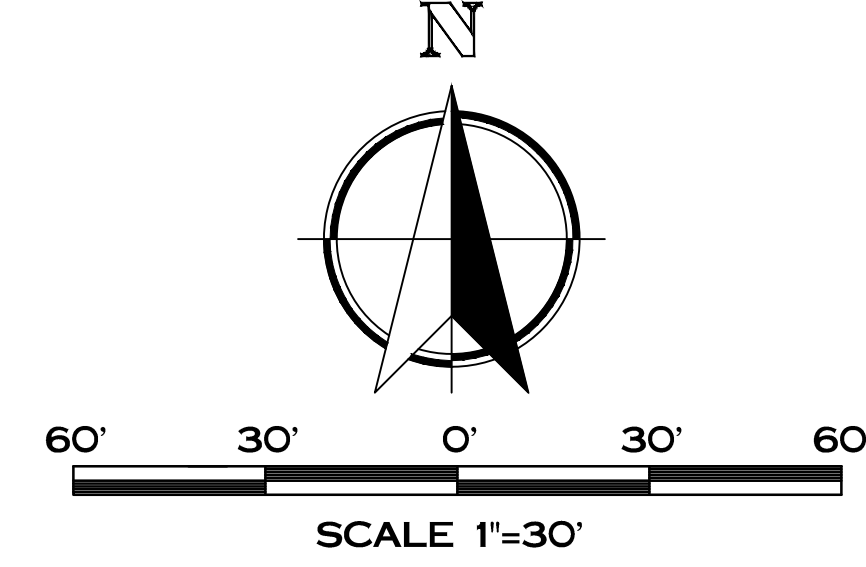
NO.	REVISION	BY	DATE

PROJ. MGR: MDE
DRAFTED: NDB
DATE: 10-7-2015
CHECKED: MDE
DATE: 10-8-2015

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C-8



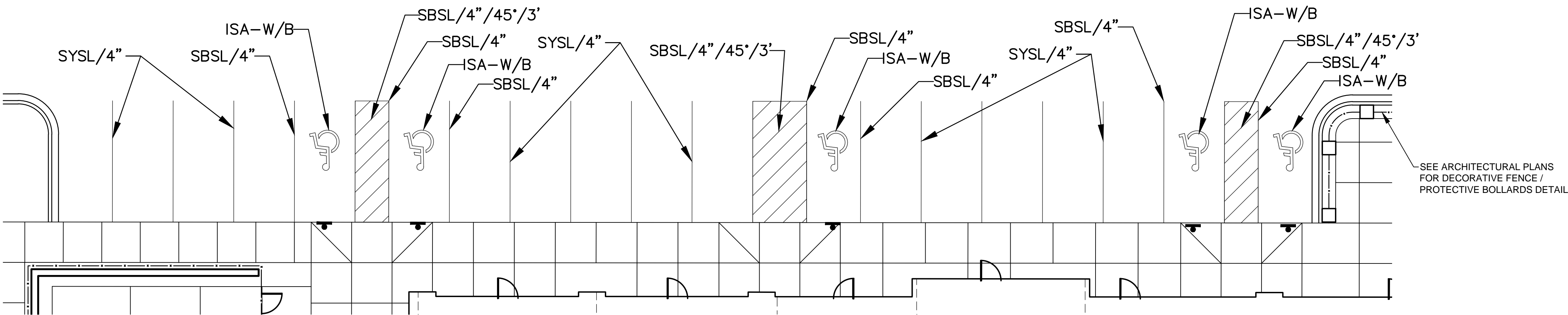
STH 50 (75th STREET)
(DEDICATED PUBLIC STREET)



PAVEMENT STRIPING LEGEND

- ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND
- SYSL/4\"
- SBSL/4\"
- SYSL/6\"
- SWSL/8\"
- SBSL/4\"/45'/3'
- SWSL/2'/4'/4'
- ARROW, TYPE - SOLID YELLOW ARROWS PER WISDOT S.D.D. 15C7-12C

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com



ADA PARKING DETAIL
SCALE 1" = 10'



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**CORNERS AT PRAIRIE RIDGE
PAVEMENT MARKING &
SIGNAGE PLAN
FOR
HWY 50 PP, LLC**

VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

FINAL SITE AND OPERATIONAL PLAN - 10-9-2015

NO.	REVISION	BY	DATE

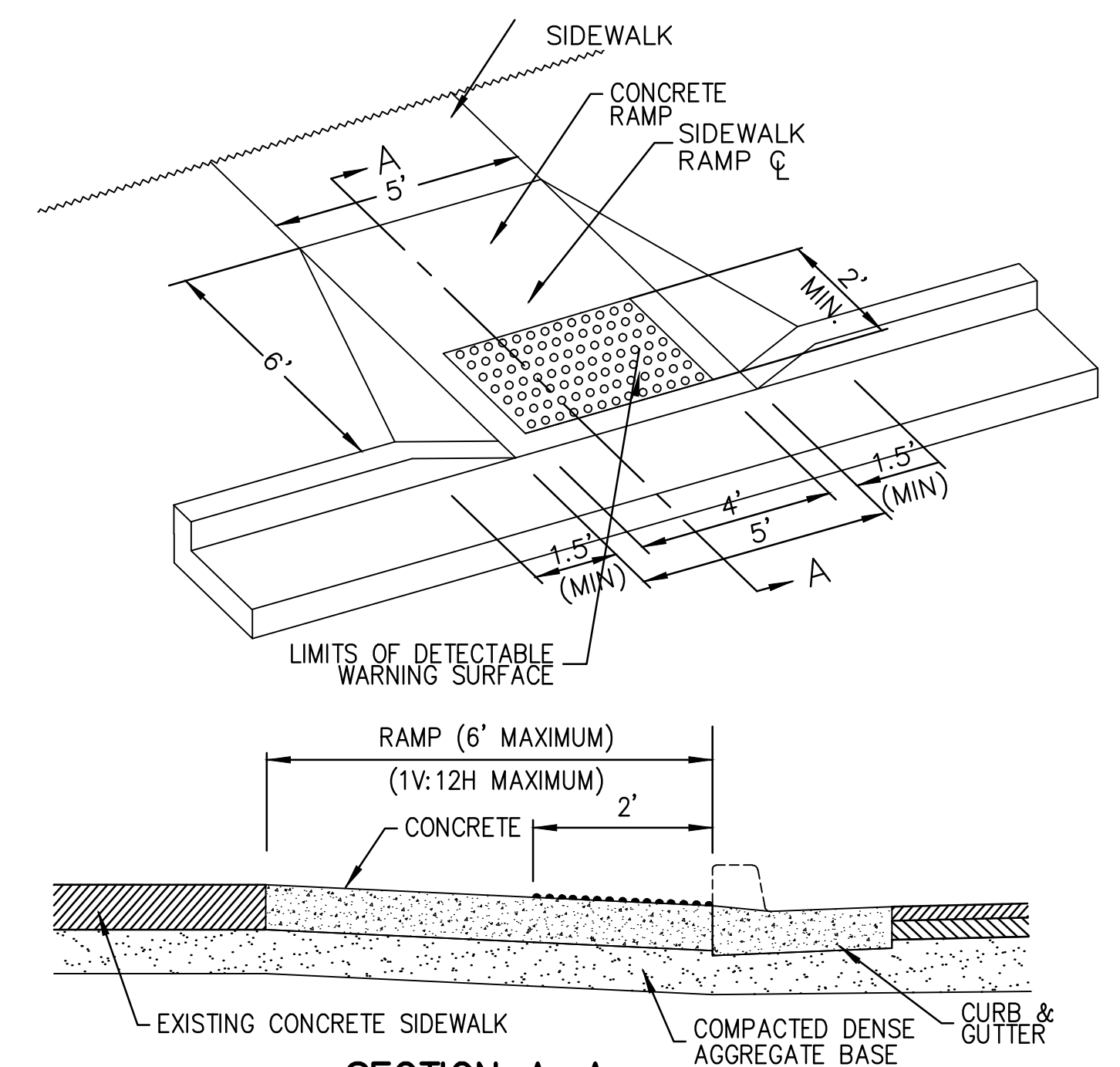
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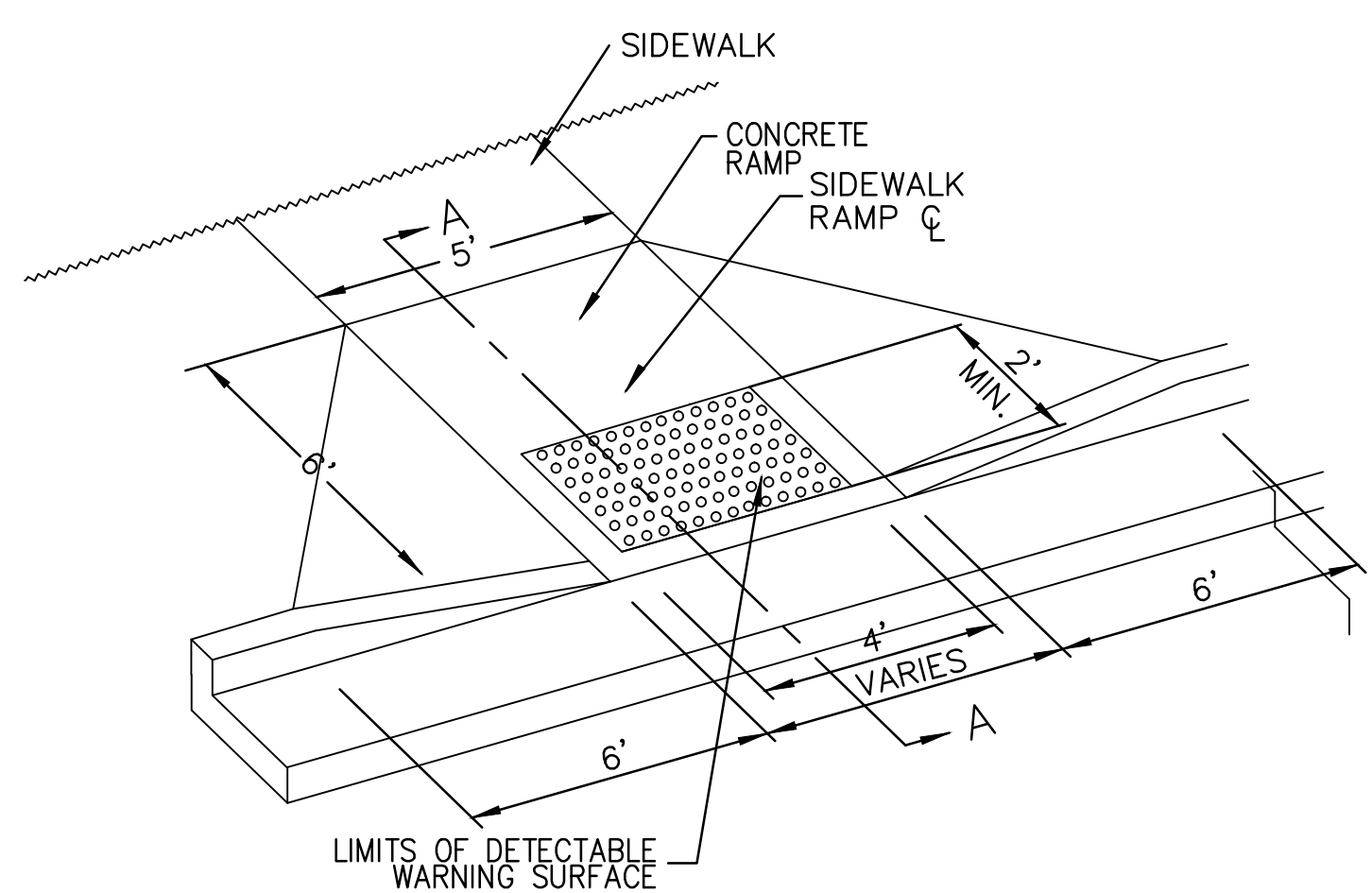
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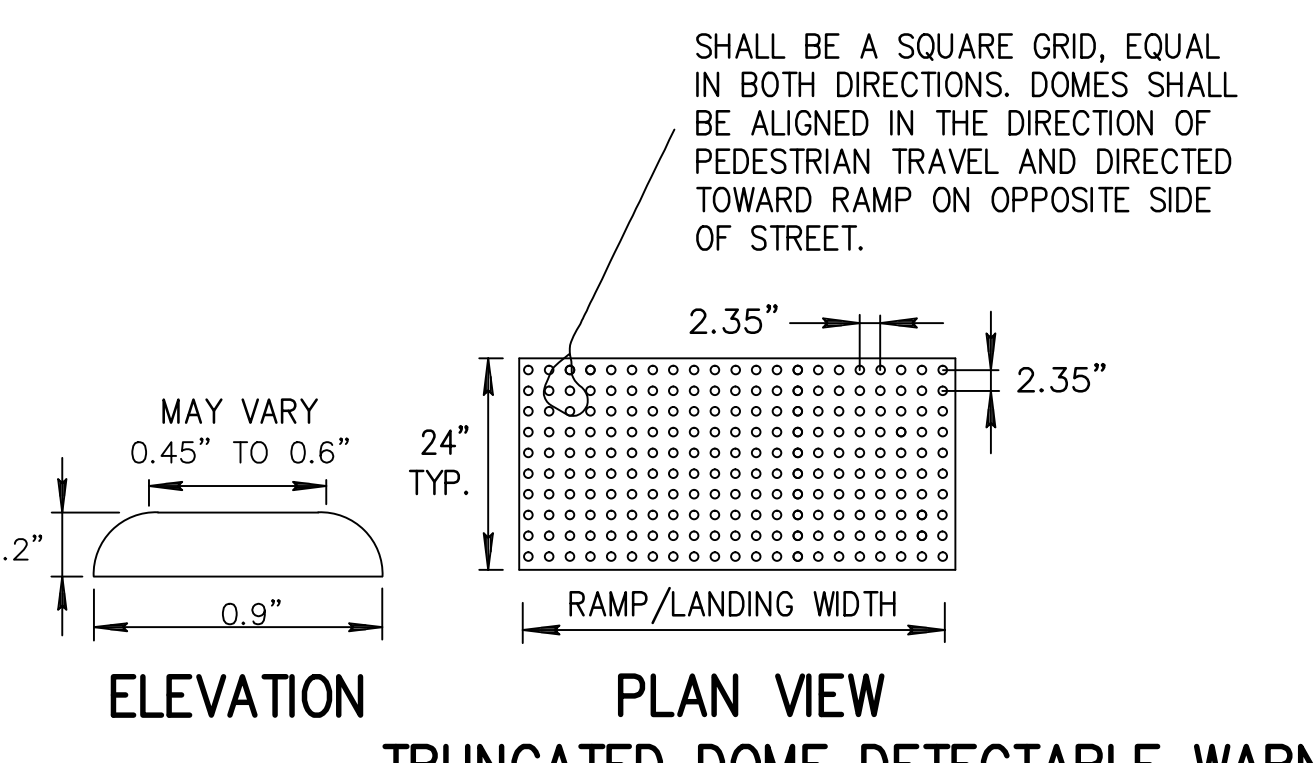


1 ACCESSIBLE RAMP DETAIL
NOT TO SCALE

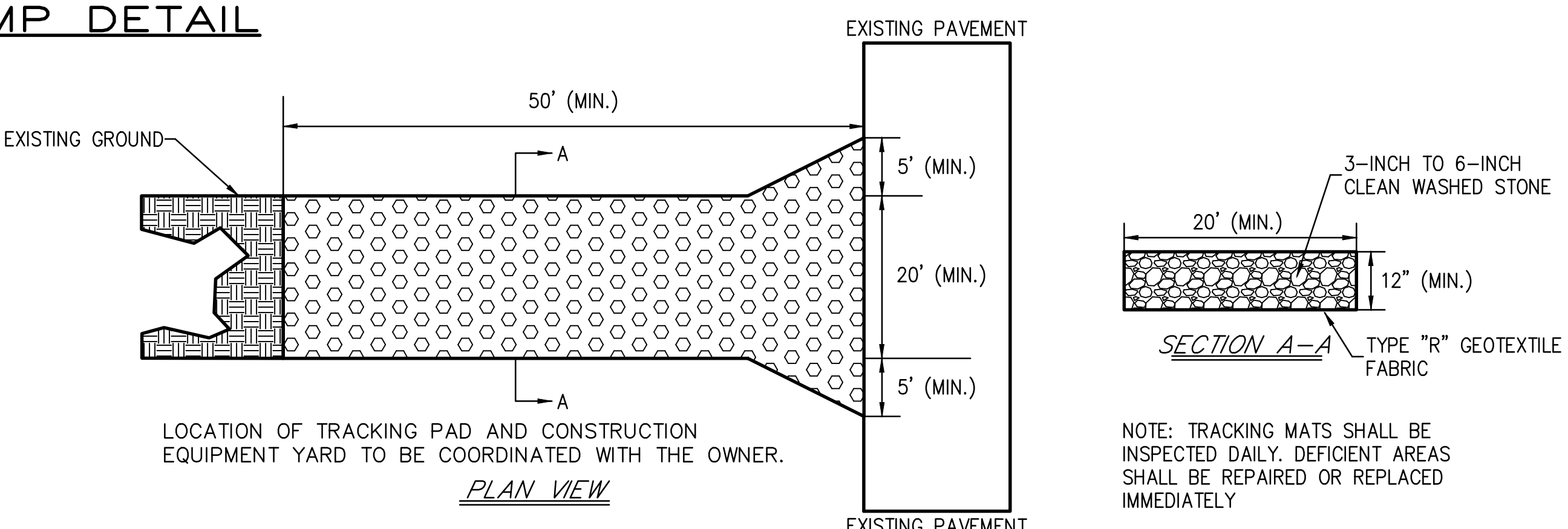


2 ACCESSIBLE RAMP DETAIL
NOT TO SCALE

- NOTES**
- THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS.
 - THE DEVICES SHALL COMPLY WITH THE DETECTABLE WARNINGS ON WALKING SURFACES SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES.)
 - DETECTABLE WARNING SURFACES SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE (GENERALLY 48 INCHES WIDE).
 - THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE BACK OF THE CURB OR EDGE OF PAVEMENT.
 - DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECT OF TRAVEL.
 - AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - "CAST IN PLACE REPLACEABLE TACTILE PAVERS" MANUFACTURED BY ADA SOLUTIONS, OR PRE-APPROVED EQUAL.
 - THE COLOR OF THE "ON-SITE" PRIVATELY OWNED DETECTABLE WARNING FIELDS SHALL BE BRICK RED (VERIFY WITH OWNER PRIOR TO INSTALLATION).
 - THE COLOR OF THE DETECTABLE WARNING FIELDS WITHIN THE PUBLIC RIGHT-OF-WAY OF 76TH STREET SHALL BE FEDERAL YELLOW.
 - THE SPECIFICATIONS OF THE CONCRETE SEALANT AND RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.

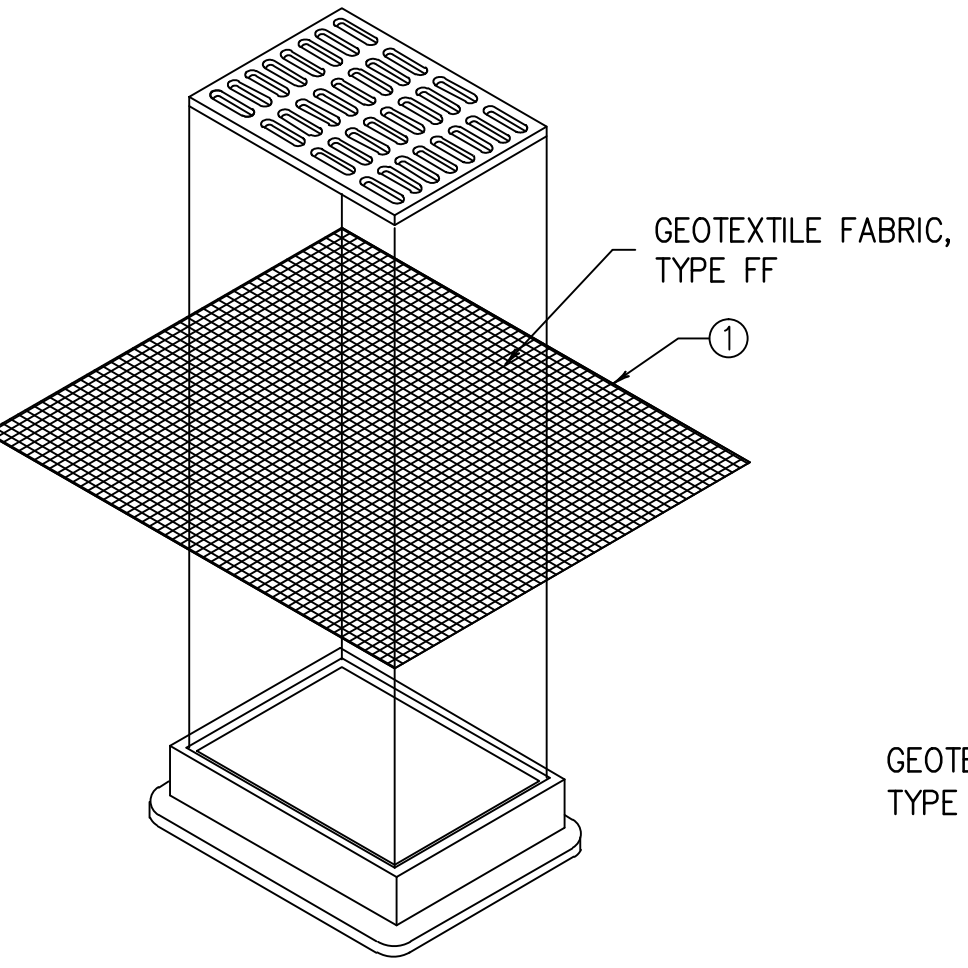


3 DETECTABLE WARNING SURFACE
(TO BE INSTALLED ON ALL PUBLIC RAMPS)
NOT TO SCALE



5 TRACKING PAD DETAIL
NOT TO SCALE

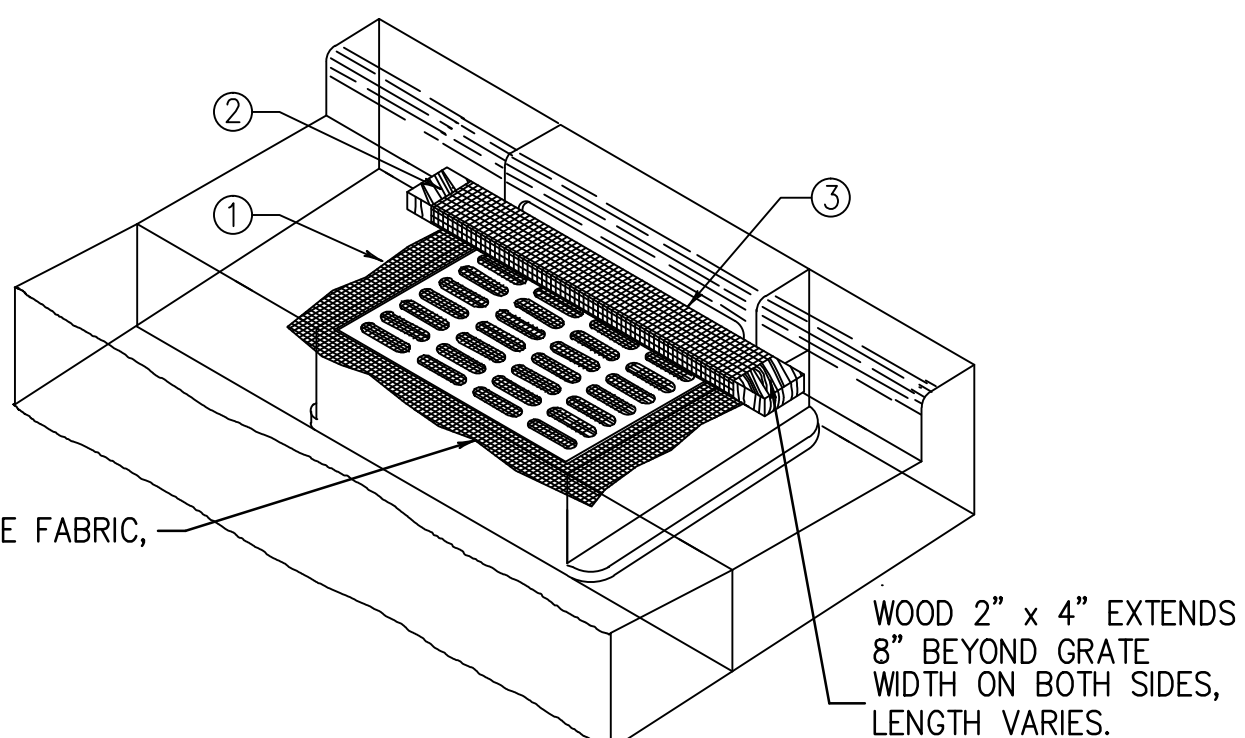
- INSTALLATION NOTES**
- TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.



4 TYPICAL STORMWATER INLET PROTECTION DETAIL
NOT TO SCALE

GENERAL NOTES

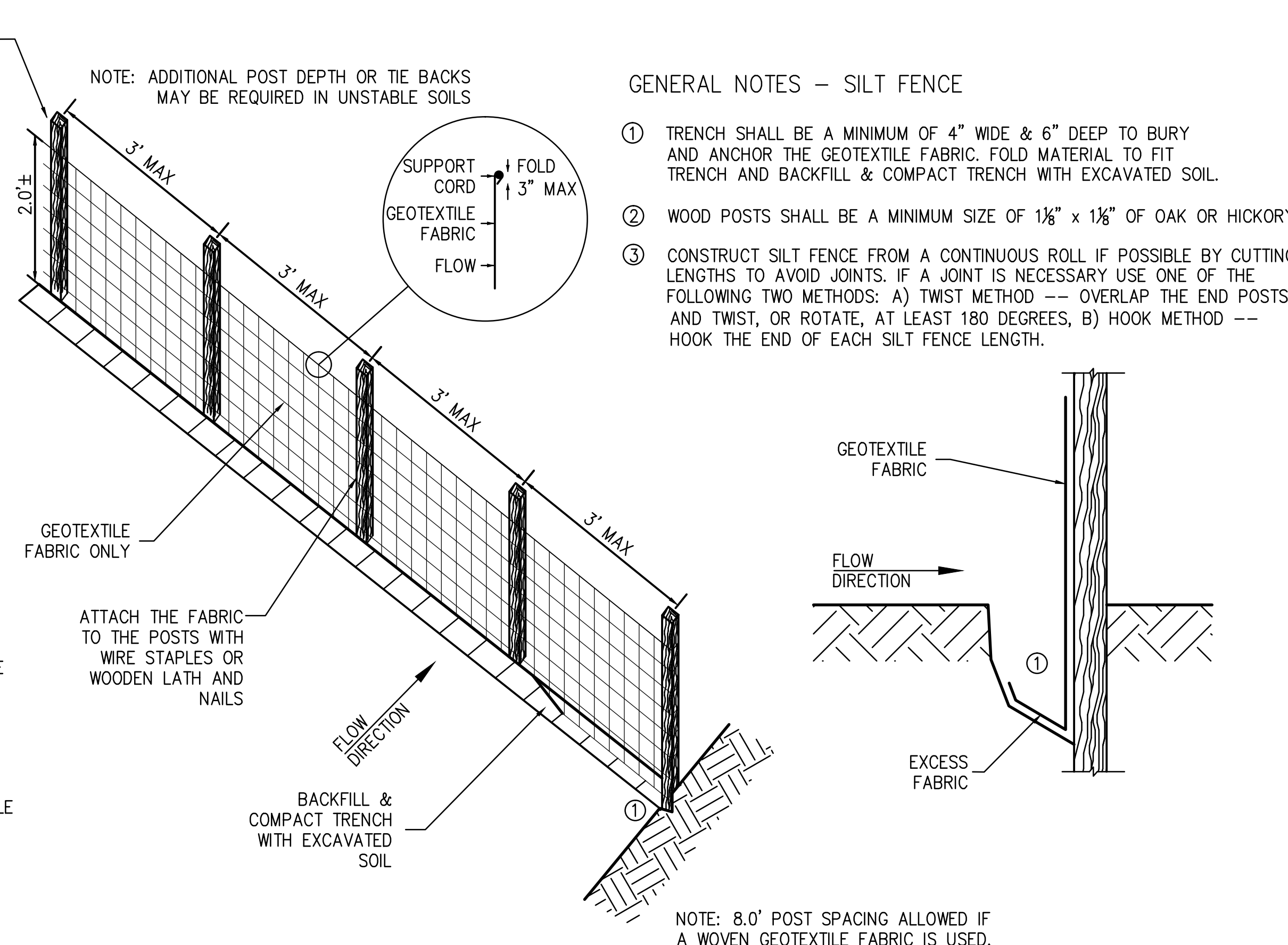
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WI DOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES.
 - THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



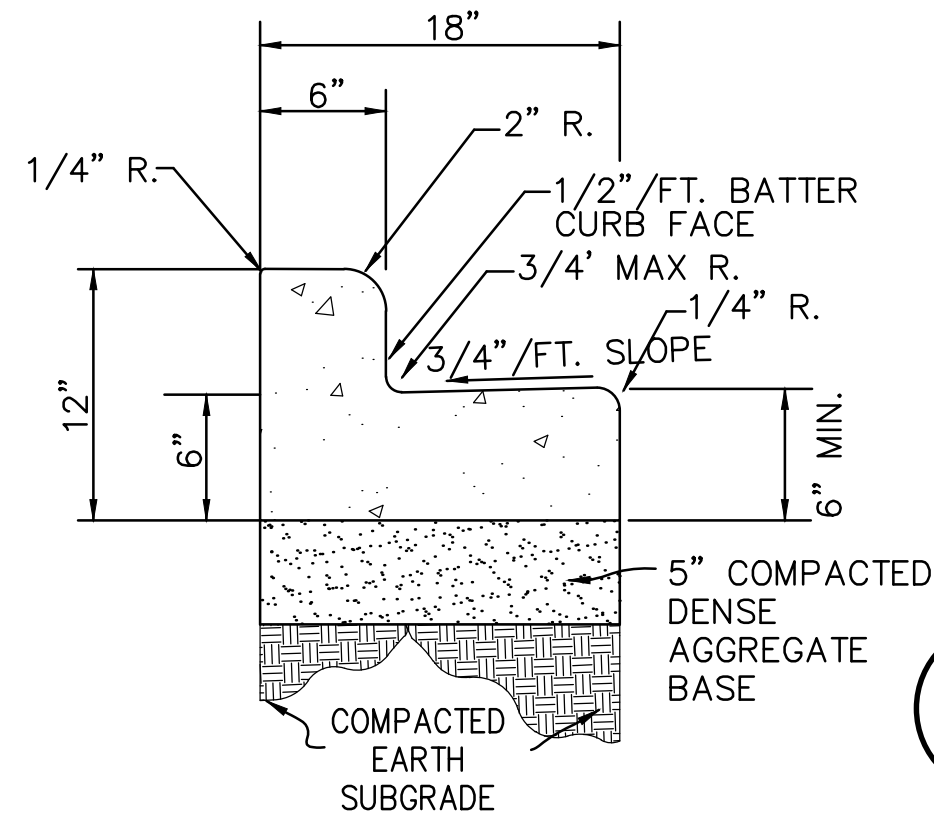
4 TYPICAL STORMWATER INLET PROTECTION DETAIL
NOT TO SCALE

GENERAL NOTES - SILT FENCE

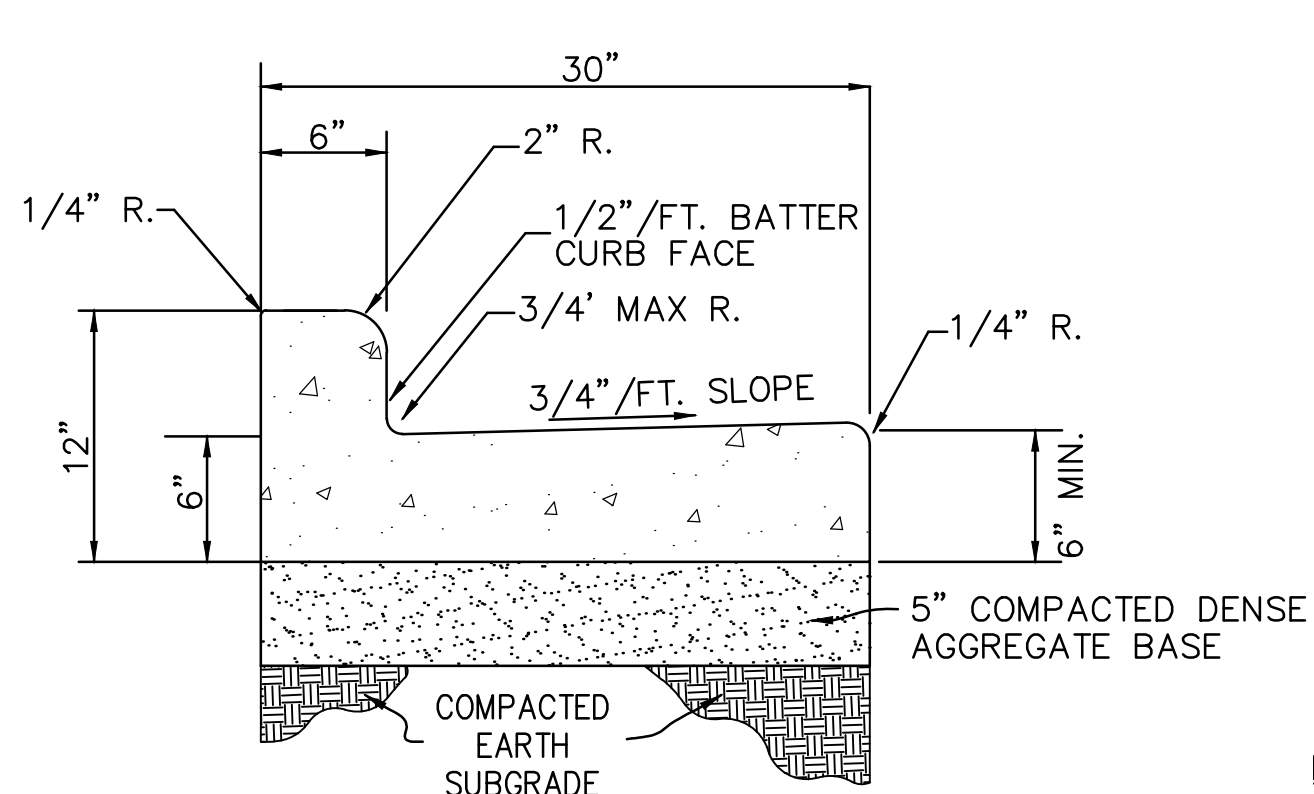
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD --- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD --- HOOK THE END OF EACH SILT FENCE LENGTH.



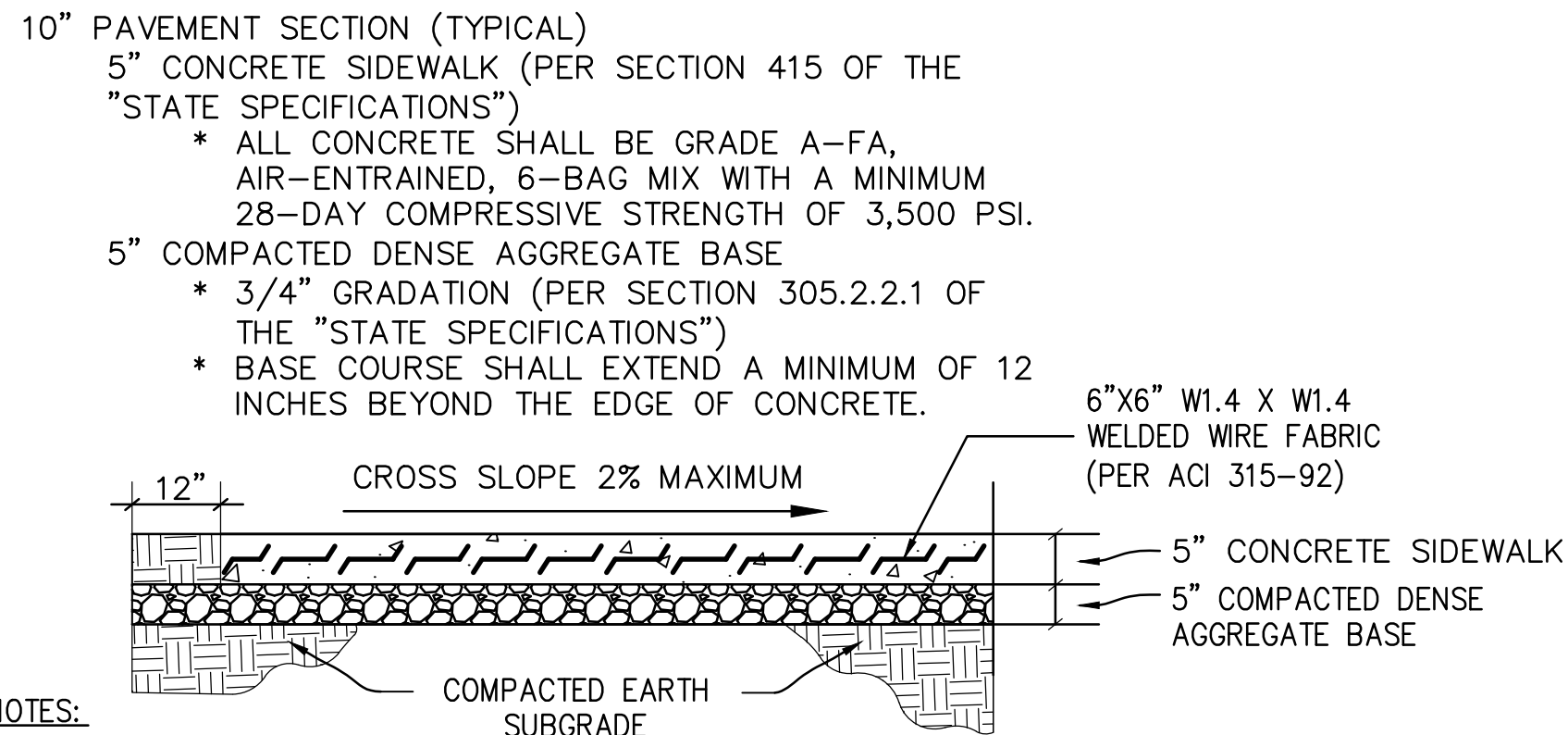
6 TYPICAL SILT FENCE DETAIL
NOT TO SCALE



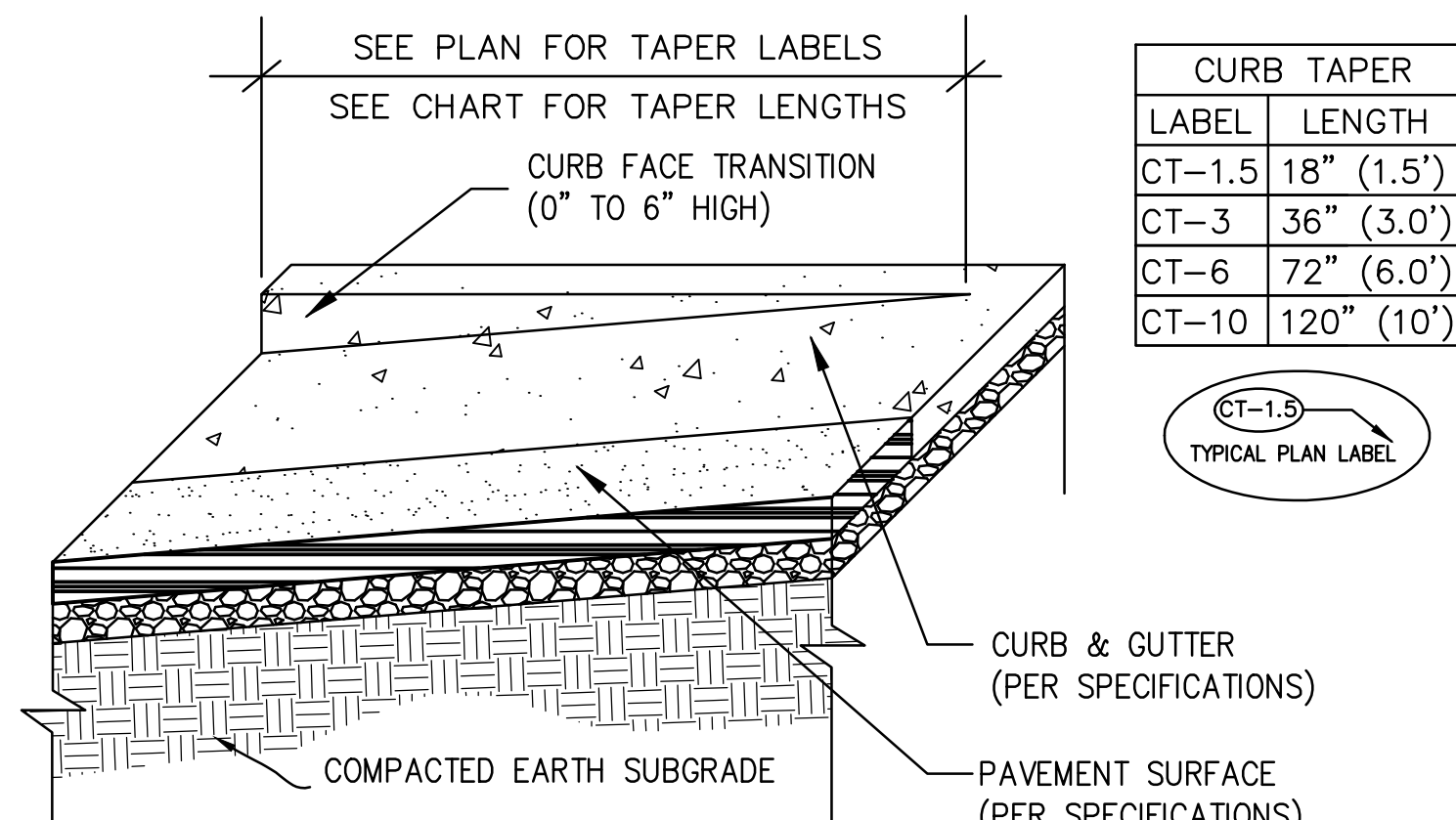
1 18" VERTICAL FACE CURB AND GUTTER DETAIL
NOT TO SCALE



2 30" VERTICAL FACE CURB AND GUTTER DETAIL
NOT TO SCALE

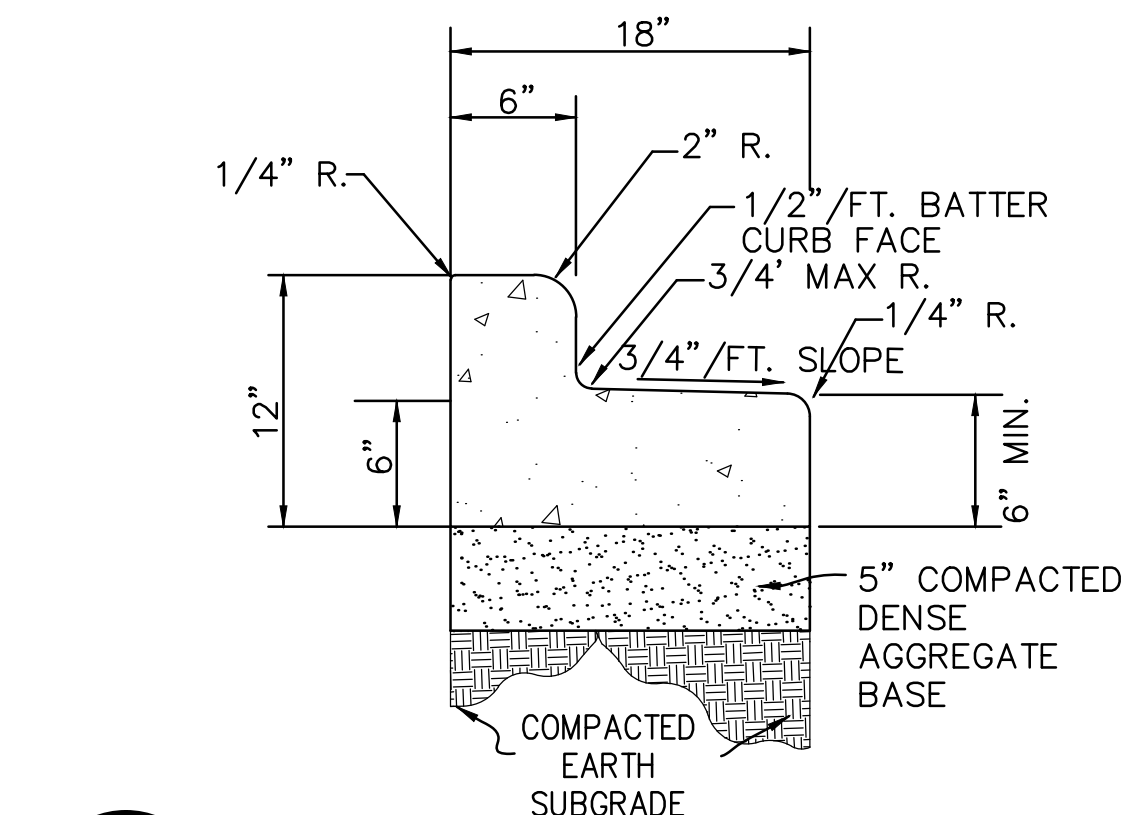
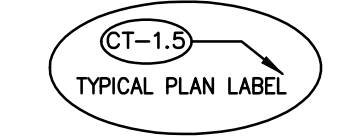


3 ONSITE "PRIVATE" CONCRETE SIDEWALK (TYPICAL SECTION)
NOT TO SCALE

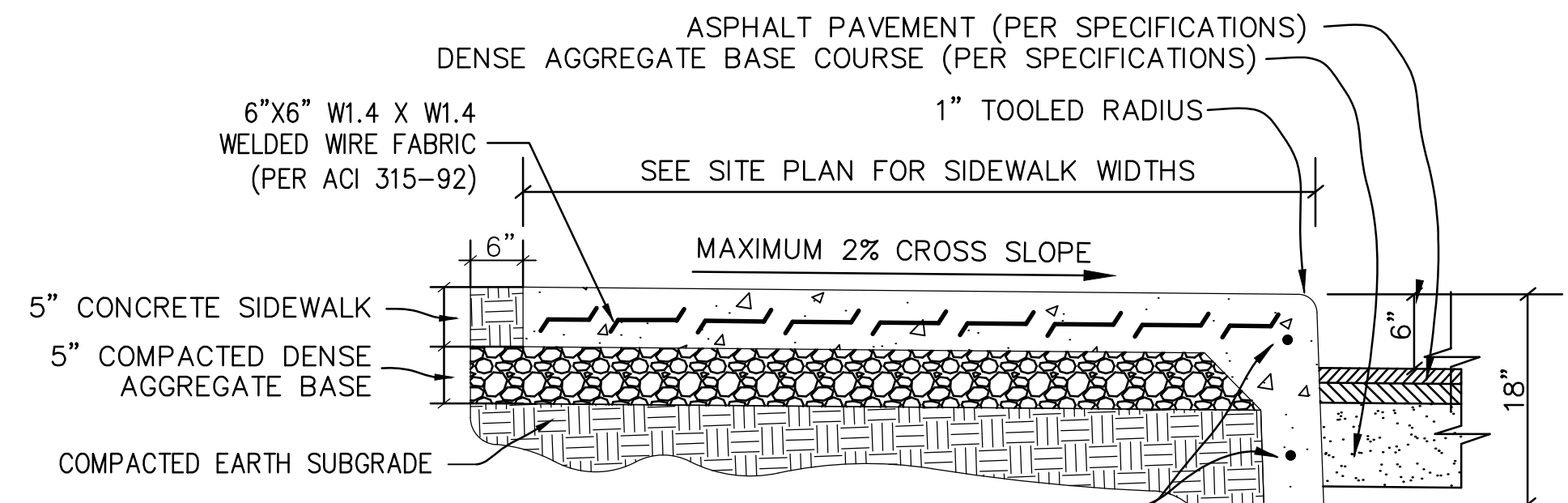


4 CURB TAPER DETAIL
NOT TO SCALE

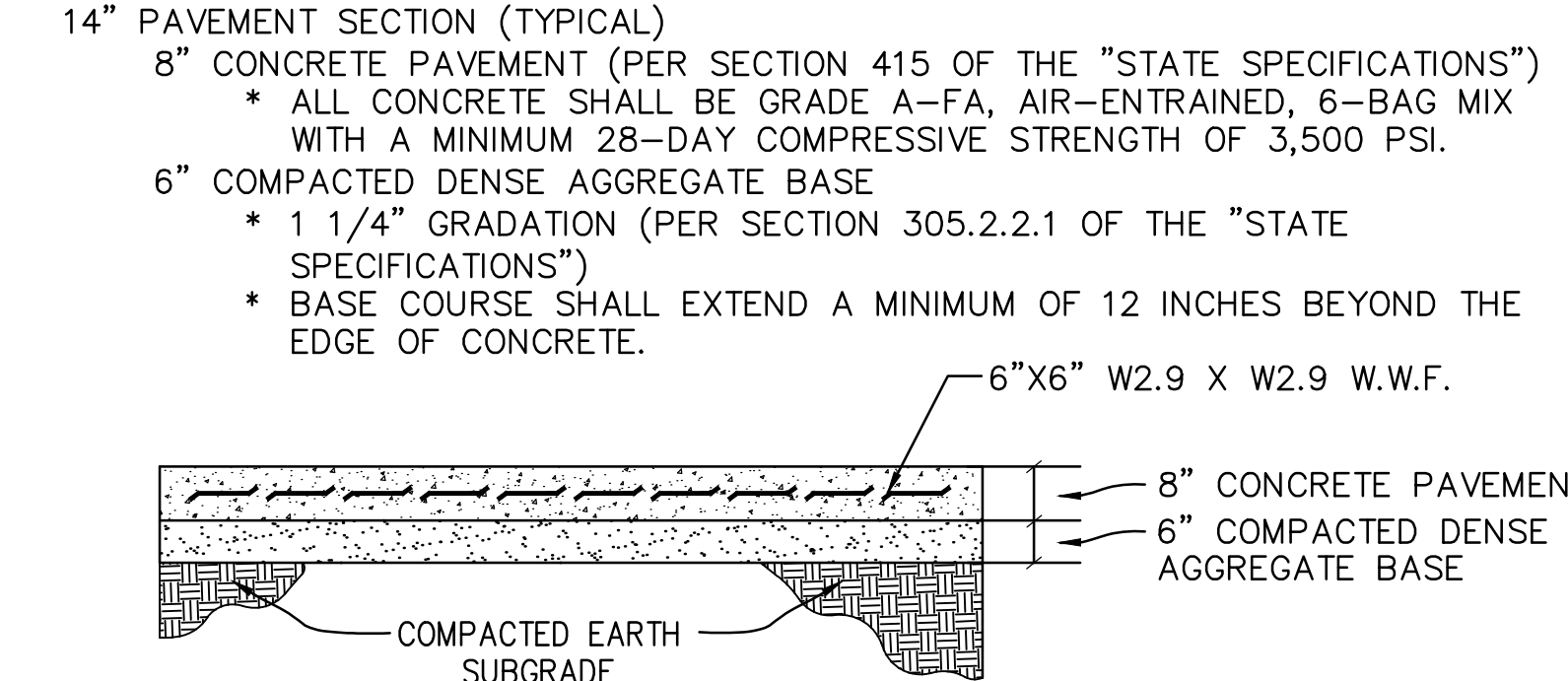
CURB TAPER	
LABEL	LENGTH
CT-1.5	18" (1.5')
CT-3	36" (3.0')
CT-6	72" (6.0')
CT-10	120" (10')



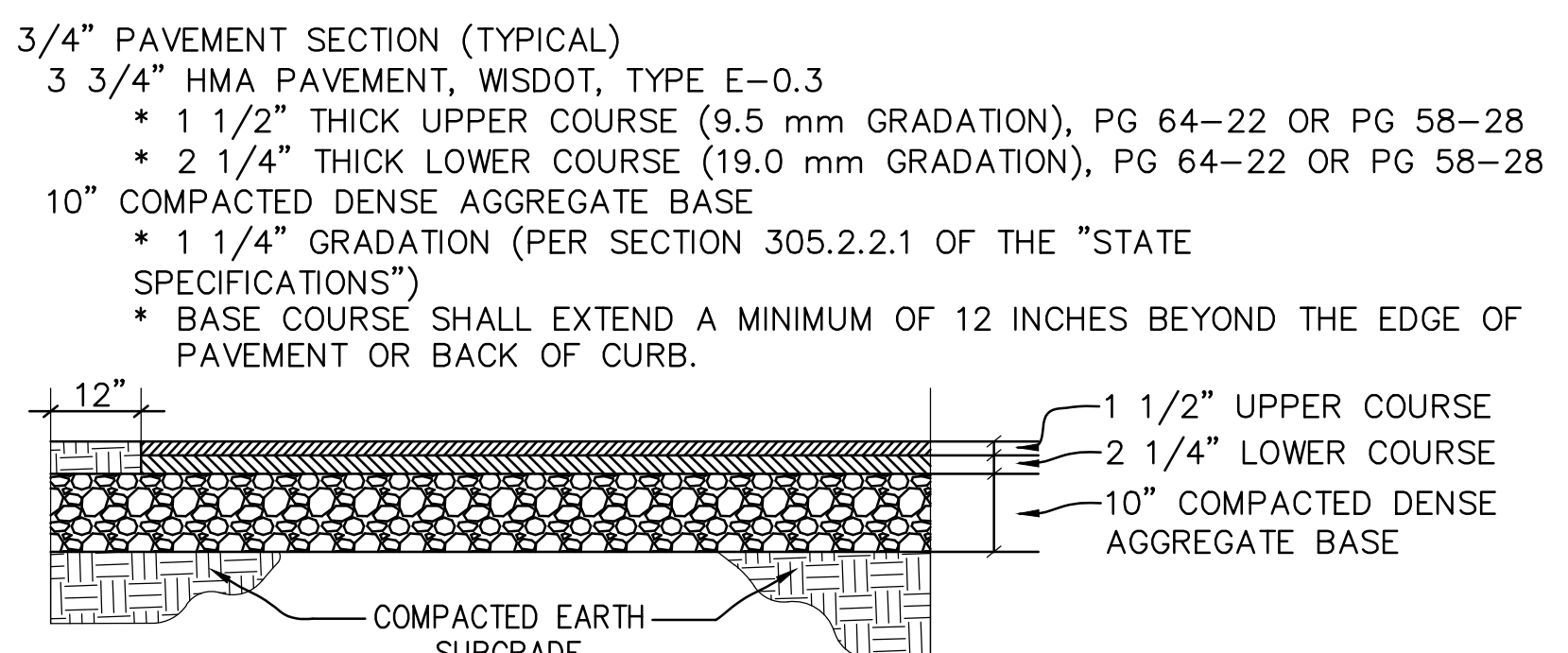
5 18" VERTICAL FACE REVERSE PAN CURB AND GUTTER DETAIL
NOT TO SCALE



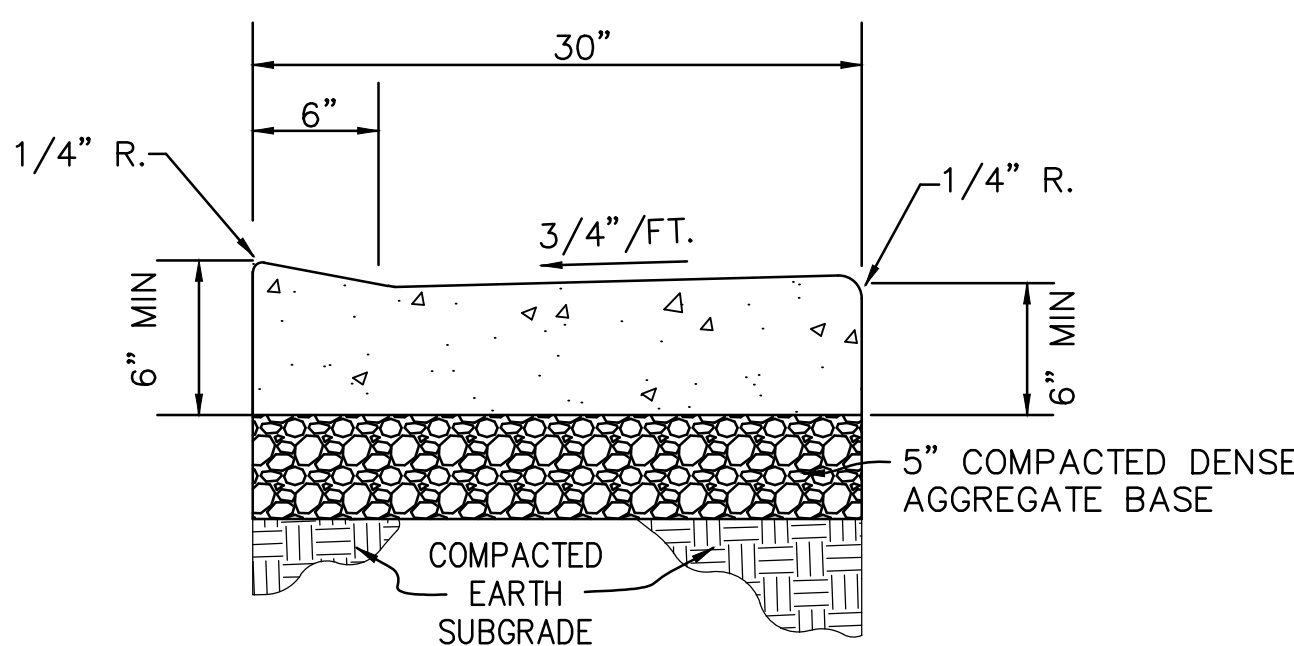
8 SIDEWALK / BARRIER CURB (TYPICAL SECTION)
NOT TO SCALE



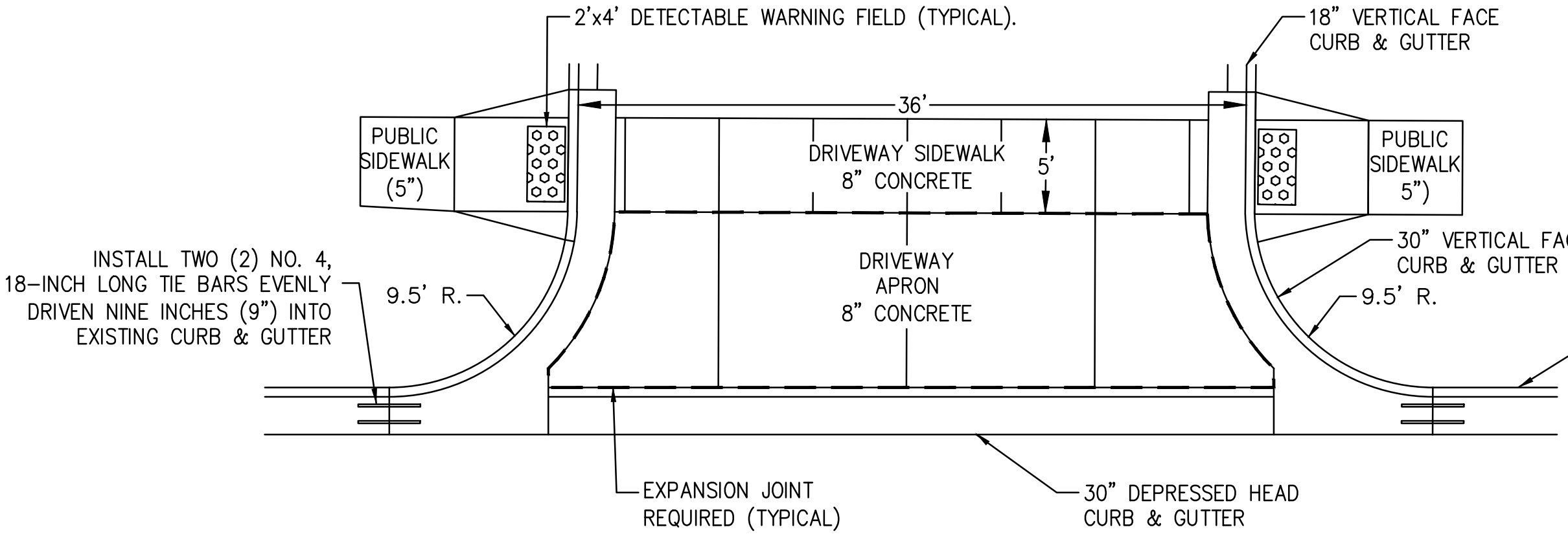
7 TRASH ENCLOSURE / APRON CONCRETE PAVEMENT SECTION (TYPICAL SECTION)
NOT TO SCALE



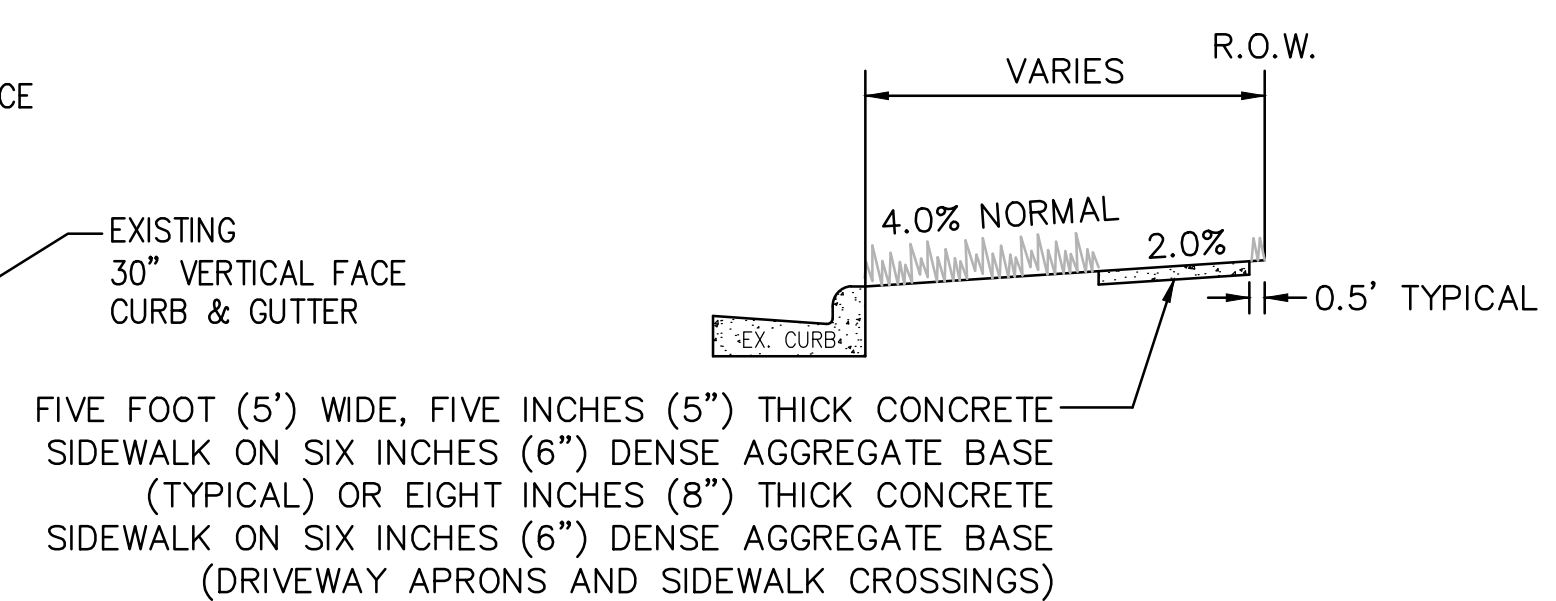
9 ASPHALT PAVEMENT - MEDIUM DUTY (TYPICAL SECTION)
NOT TO SCALE



6 30" TYPE "D" DEPRESSED HEAD CURB AND GUTTER DETAIL
NOT TO SCALE



10 ENTRANCE DRIVE APPROACH PLAN VIEW
(DRIVEWAY APRONS AND ADJACENT SIDEWALKS WITHIN PUBLIC RIGHT-OF-WAY)
NOT TO SCALE



11 PUBLIC SIDEWALK CONCRETE PAVEMENT SECTION (TYPICAL SECTION)
NOT TO SCALE

- NOTES FOR ALL CURB AND GUTTER DETAILS:
- LATERAL CONTRACTION JOINTS TO BE PLACED AT AN INTERVAL OF 10 FEET. JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH.
 - EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES 200 FEET IN DIAMETER OR LESS, AT ANGLE POINTS OR AS DIRECTED BY THE ENGINEER. EXPANSION JOINT FILLER MATERIAL SHALL BE ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS THE CURB & GUTTER AND SHALL BE 1/2 INCH THICK.
 - IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACES ON THOROUGHLY COMPACTED DENSE AGGREGATE BASE COURSE.
 - INSTALL TWO (2) NO. 4, 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN NINE INCHES (9") INTO EXISTING CURB AND GUTTER ALL ALL CONNECTION POINTS.

mb
Nielsen Madsen & Barber S.C.
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Website www.nmbssc.net

**CORNERS AT PRAIRIE RIDGE
TYPICAL SECTIONS &
CONSTRUCTION DETAILS
FOR
HWY 50 PP, LLC
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN**

NO.	REVISION	BY	DATE

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DATE: 10-7-2015
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DATE: 10-8-2015

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SHEET
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No.	Revision/Issue	Date
1		
2		
3		
4		

CORNERS AT PRAIRIE RIDGE
 LANDSCAPE PLAN
 FOR
 KVG BUILDING CORPORATION
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

Thomas H. Nordloh
 Landscape Architect
 Reg. # 051-000624

Project
 Date 10-9-15
 Scale

Sheet

L-1

LANDSCAPER TO CLEAN UP/MOW TURF
 IN R.O.W. DURING LANDSCAPE OPERATIONS.
 REMOVE SCRUB TREES AROUND ANY UTILITY
 POLES.

- (2)MAL RE2
- (15)ROS HOM
- (6)JUN OLD
- (32)CAL KA2
- (15)COR ISA
- (1)TIL GRE

- (2)AME AU2
- (8)RHU GRO
- (18)CAL OV3

- (10)CAL OV3
- (6)SYR IVO
- (109)HEM HAP
- (23)DIE SES
- (24)ROS DAG

INSTALL TURF ALONG NEW ENTRY
 ROAD UNLESS ADJACENT PROPERTY IS
 DEVELOPED

NOTE: ALL STREET TREES SHALL BE
 PRUNED, MULCH BEDS AROUND STREET
 TREES RE-ESTABLISHED AND STAKED
 AS NEEDED

REPLACE ANY STREET TREES
 THAT DIE DURING DURING CONSTRUCTION

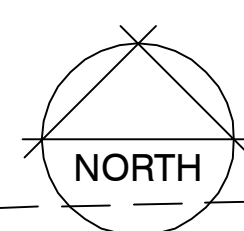
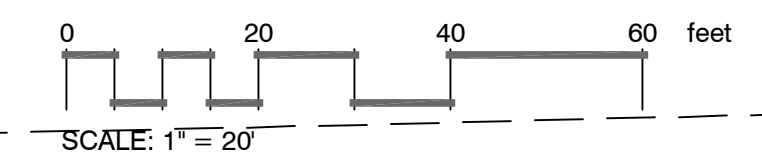
LANDSCAPE CONTRACTOR TO OBTAIN
 VILLAGE OF PLEASANT PRAIRIE LICENSE
 IF ANY WORK IS PERFORMED IN R.O.W.

- (7)CAL ST2
- (3)JUN FOR
- (22)NEP WAL
- (7)RHU GRO
- (1)GLE SH2

76th STREET

2 EXISTING MAPLES
 3 EXISTING LINDENS

REMOVE AND REPLACE WITH A
 NEW TREE ON THE NORTH PROPERTY LINE



LANDSCAPE PLAN

Tom Nordloh

PLANT SCHEDULE

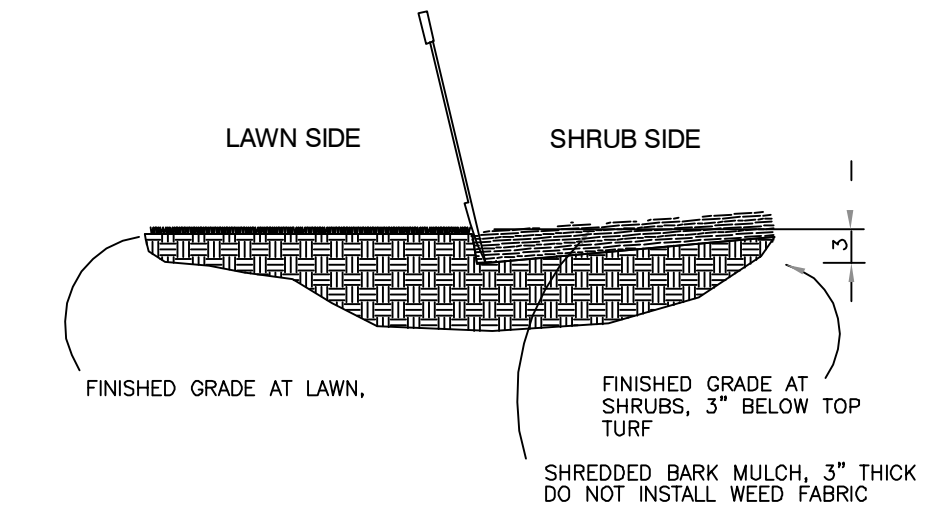
TREES	COMMON NAME / BOTANICAL NAME	CONT	CAL	2015-10-07 09:02	QTY
AME AU2	Autumn Brilliance Serviceberry / Amelanchier canadensis 'Autumn Brilliance'	6'			4
GLE SH2	Shademaster Locust / Gleditsia triacanthos inermis 'Shademaster' TM	B & B	2.5" Cal		1
MAL RE2	Crab Apple / Malus x 'Red Jewel'	6'			2
SYR IVO	Ivory Silk Japanese Tree Lilac / Syringa reticulata 'Ivory Silk'	7-8'			6
TIL GRE	Greenspire Littleleaf Linden / Tilia cordata 'Greenspire'	B & B	2.5" Cal		1
EVERGREEN TREES	COMMON NAME / BOTANICAL NAME	CONT	CAL	2015-10-05 15:02	QTY
THU SM2	Emerald Green Arborvitae / Thuja occidentalis 'Smaragd'	5'			5
SHRUBS	COMMON NAME / BOTANICAL NAME	SIZE	FIELD2	QTY	
COR ISA	Isanti Redosier Dogwood / Cornus sericea 'Isanti'	5 gal		15	
COT ACU	Peking Cotoneaster / Cotoneaster acutifolius	3'		3	
DIE SES	Southern Bush-honeysuckle / Diervilla sessilifolia 'Butterfly'	5 gal		23	
HEM OR2	Stella de Oro Daylily / Hemerocallis x 'Stella de Oro'	1 gal		15	
HYD INV	Invincibelle Spirit Hydrangea / Hydrangea arborescens 'Invincibelle Spirit' TM	5 gal		6	
HYD L64	Little Lime Hydrangea / Hydrangea paniculata 'Little Lime'	3 gal		7	
HYD QU2	Hydrangea / Hydrangea paniculata 'Quick Fire'	7 gal	Tree Form	5	
PHY DI2	Diablo Ninebark / Physocarpus opulifolius 'Diablo'	5 gal		33	
RHU GRO	Gro-Low Fragrant Sumac / Rhus aromatica 'Gro-Low'	3 gal		31	
ROS DO3	Rose / Rosa x 'Double Knockout'	3 gal		9	
ROS DAG	Rose / Rosa x 'Frau Dagmar Hastrup'	3 gal		24	
ROS HOM	Rose / Rosa x 'Homereun'	3 gal		15	
ROS RA2	Rose / Rosa x 'Knockout' TM	3 gal		10	
SYR PU2	Purple Panda Lilac / Syringa patula Purple Panda	3 gal		8	
VIB JUD	Judd Viburnum / Viburnum x Juddii	24"		3	
ANNUALS/PERENNIALS	COMMON NAME / BOTANICAL NAME	SIZE	FIELD2	QTY	
ECH HI1	Hot Papaya Coneflower / Echinacea x 'Hot Papaya'	1 gal		39	
HEM BE2	Daylily / Hemerocallis x 'Bela Lugosi'	1 gal		22	
HEM CAT	Catherine Woodbery Daylily / Hemerocallis x 'Catherine Woodbery'	1 gal		20	
HEM HAP	Happy Returns Daylily / Hemerocallis x 'Happy Returns'	1 gal		109	
HEM JAN	Daylily / Hemerocallis x 'Janice Brown' TM	1 gal		20	
HEM RT2	Ruby Stella Daylily / Hemerocallis x 'Ruby Stella'	1 gal		20	
NEP WAL	Walkers Low Catmint / Nepeta x faassenii 'Walkers Low'	1 gal		22	
RUD IND	Coneflower / Rudbeckia fulgida 'Indian Summer'	1 gal		14	
GRASSES	COMMON NAME / BOTANICAL NAME	SIZE	FIELD2	QTY	
CAL KA2	Feather Reed Grass / Calamagrostis x acutiflora 'Karl Foerster'	1 gal		71	
CAL OV3	Overdam Feather Reed Grass / Calamagrostis x acutiflora 'Overdam'	1 gal		46	
CAL ST2	Feather Reed Grass / Calamagrostis x acutiflora 'Stricta'	1 gal		7	
SPO TAR	Prairie Dropseed / Sporobolus heterolepis 'Tara'	1 gal		29	
SHRUB EVERGREENS	COMMON NAME / BOTANICAL NAME	SIZE	FIELD2	QTY	
JUN PFI	Kallay Compact Pfitzer Juniper / Juniperus chinensis 'Kallays Compact'	5 gal		4	
JUN OLD	Old Gold Juniper / Juniperus chinensis 'Old Gold'	5 gal		6	
JUN FOR	Sea Green Juniper / Juniperus chinensis 'Sea Green'	5 gal		6	
TAX HIC	Hicks Yew / Taxus x media 'Hicksii'	24"		13	
SEASONAL ANNUAL COLOR		4" POT		85 SF	

REFERENCE NOTES SCHEDULE

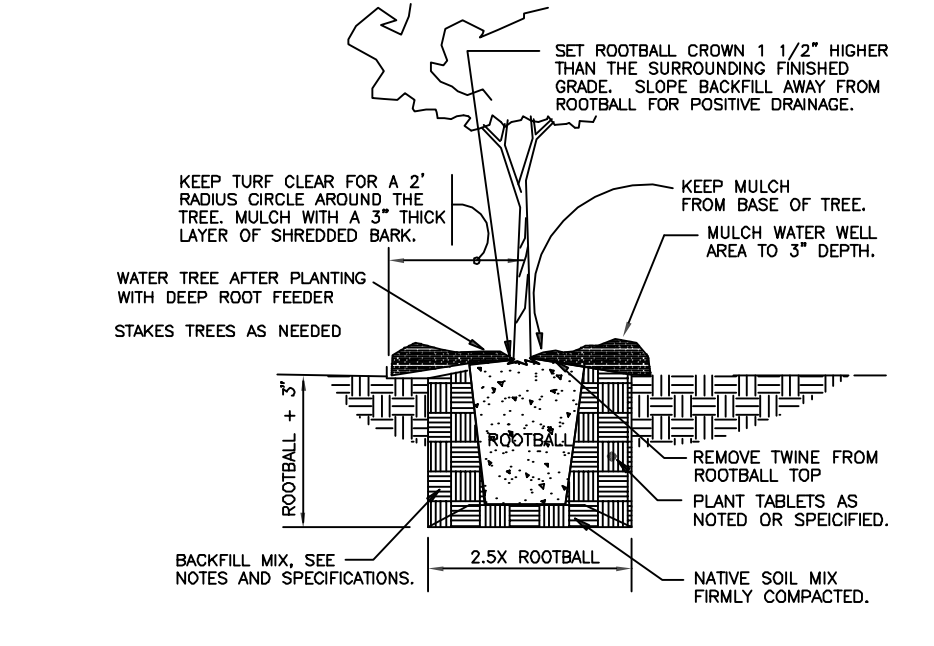
SYMBOL	AGGREGATE SURFACE DESCRIPTION	QTY
32-15	2" WASHED STONE, 3" THICKNESS OVER WEED FABRIC	96 sf
32-93-20	BLUEGRASS SOD, MINERAL BASED ONLY, PEAT SOD IS NOT PERMITTED	1320 SY
32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	446 lf

GENERAL LANDSCAPE NOTES:

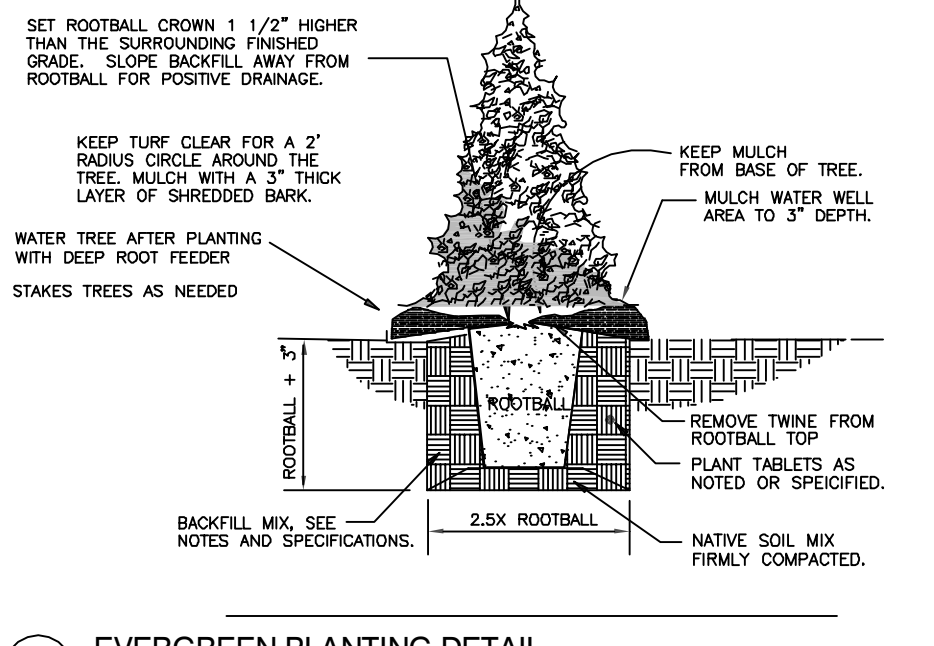
1. Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
2. Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.
3. Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
4. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs.
5. Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by Landscape Architect.
6. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3' diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
7. Spade cut plant beds and tree rings with a 4" deep shovel cut.
8. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
9. Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
10. Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
11. Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. Single net, double net or Turf Reinforcement Mats shall be used as per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
12. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
13. If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
14. Warranty of plants, trees, evergreens, shrubs shall be for a period of one (1) year from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.



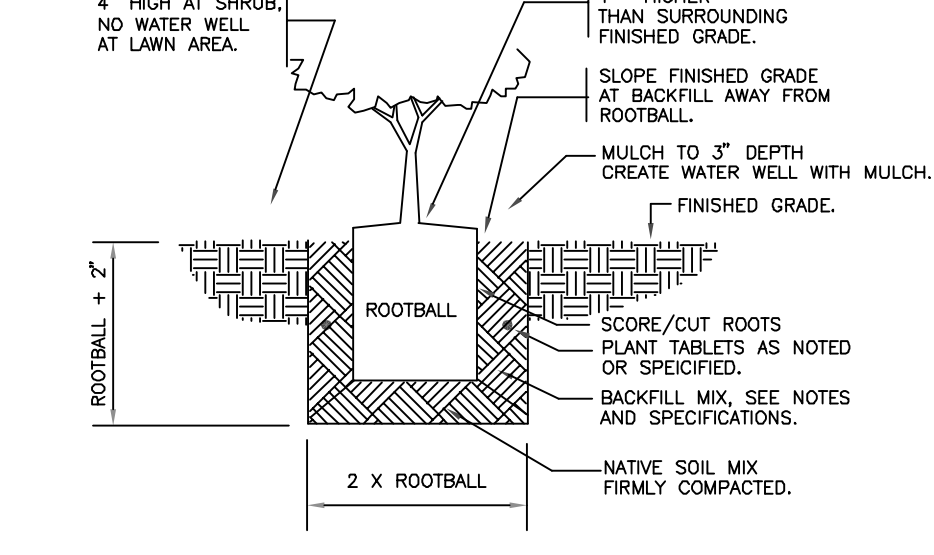
201 SHOVEL CUT BED EDGE
3' x 1'-0"



100 TREE PLANTING DETAIL
1' x 1'-0"



102 EVERGREEN PLANTING DETAIL
1' x 1'-0"



103 SHRUB PLANTING
1' x 1'-0"

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

811 Know what's below. Call before you dig.

THOMAS NORDLOH ASSOCIATES
Landscape Architecture
Project Management
4111 Taft Rd, Kenosha WI 53142

TNA
Landscape Architecture
Project Management

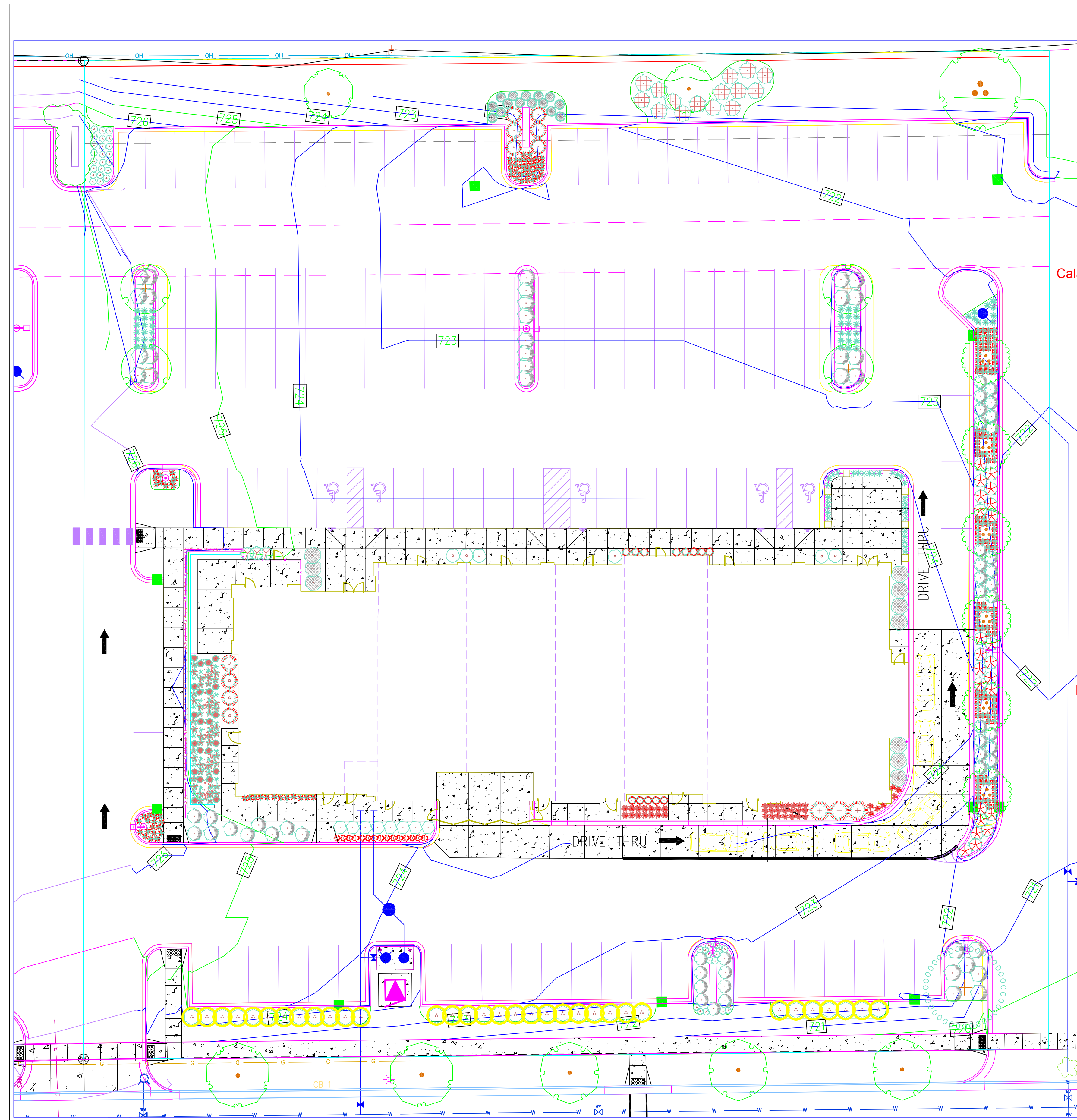
Date	Revision/Issue	1	2	3	4

CORNERS AT PRAIRIE RIDGE
LANDSCAPE PLAN DETAILS
FOR
KVG BUILDING CORPORATION
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

Thomas H. Nordloh
Landscape Architect
Reg. # 057-000629

Project
Date 10-9-15

Scale
Sheet



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TNA
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 Project Management

No.	Revision/Issue	Date
1		
2		
3		
4		

CORNERS AT PRAIRIE RIDGE
 LANDSCAPE PLAN PICTURES
 FOR
 KVC BUILDING CORPORATION
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY WISCONSIN

Thomas H. Nordloh
 Landscape Architect
 Reg. # 051-000624

Project
 Date 10-9-15
 Scale

Sheet

LANDSCAPE PLAN PICTURES

L-3

Tom Nordloh

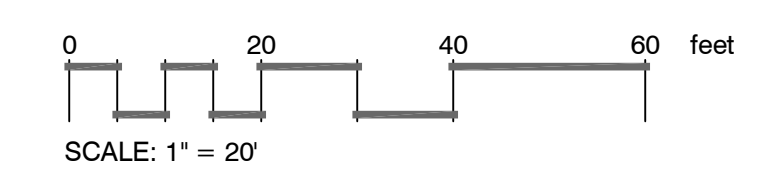
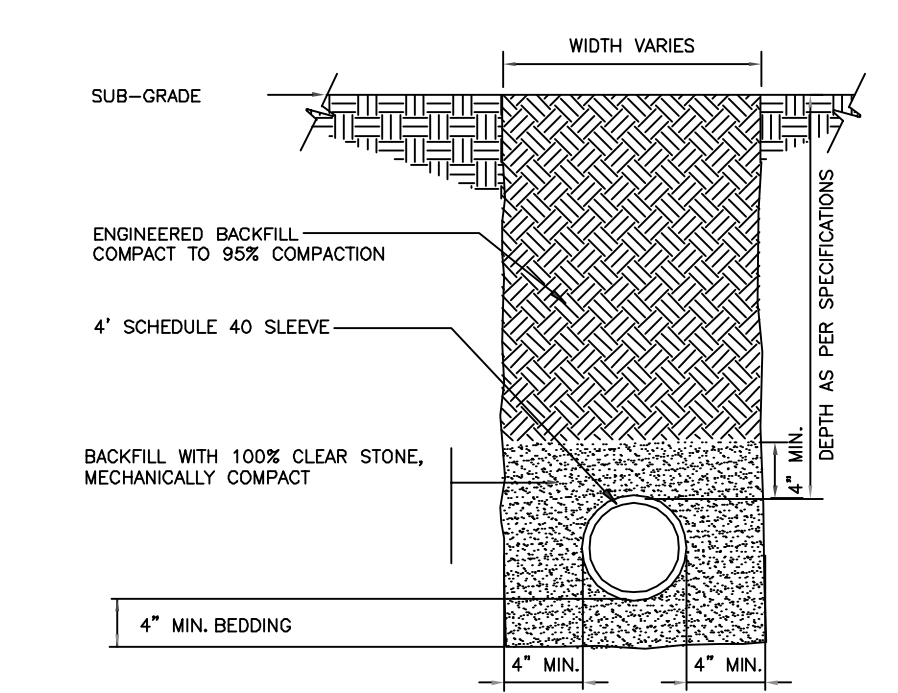
Date	No.	Revision/Issue
	1	
	2	
	3	
	4	

- IRRIGATION NOTES:**
1. INSTALLATION OF BACK FLOW PREVENTOR, WATER METER (IF REQUIRED) AND ELECTRICAL OUTLET FOR CONTROL PANEL ARE BY OTHERS BUT MUST BE INSTALLED BY A LICENSED PLUMBER AND ELECTRICIAN.
 2. PLUMBER IS TO BRING IRRIGATION MAINLINE TO THE OUTSIDE OF THE BUILDING APPROXIMATELY 6" BELOW GRADE.
 3. BUILDING IS TO HAVE ONE IRRIGATION SYSTEM PER THE AREAS DEFINED ON THE PLAN.
 4. QUANTITIES, VALVE LOCATIONS, MAIN LINES, SLEEVES ETC. ARE FOR INFORMATIONAL PURPOSES ONLY. IRRIGATION CONTRACTOR IS TO REVIEW PLANS AND SITE BEFORE INSTALLATION AND INSTALL AS NEEDED.
 5. SLEEVES ARE TO BE INSTALLED BY GENERAL CONTRACTOR AND ARE LOCATED FOR THE CONVENIENCE OF THE INSTALLER. SLEEVE LOCATIONS MAY CHANGE WITHOUT NOTICE DUE TO SITE AND BUILDING CONDITIONS. IF ADDITIONAL SLEEVES ARE REQUIRED CONTACT OWNER OR GENERAL CONTRACTOR.
 6. EXISTING WATER PRESSURE HAS BEEN SHOWN ON THIS PLAN AS PER THE VILLAGE OF PLEASANT PRAIRIE FIRE DEPARTMENT. IRRIGATION CONTRACTOR IS RESPONSIBLE TO VERIFY THESE CONDITIONS AND ADJUST THE IRRIGATION SYSTEM ACCORDINGLY.
 7. IRRIGATION HEADS HAVE BEEN SPECIFIED AS RAINBIRD, HOWEVER ALTERNATE MANUFACTURERS ARE ACCEPTED UPON APPROVAL OF THE OWNER.
 8. IRRIGATION CONTRACTOR IS RESPONSIBLE TO CHECK WITH LOCAL BUILDING CODES AND LICENSES.
 9. IRRIGATION CONTRACTOR IS TO SUPPLY OWNER WITH ALL MANUALS AND LIST ALL ZONES AND WATERING SCHEDULE ON THE INSIDE OF THE CONTROLLER.
 10. IRRIGATION CONTRACTOR IS TO INCLUDE A FALL CLOSE AND SPRING START UP.
 11. WARRANTY: IRRIGATION CONTRACTOR IS TO PROVIDE A ONE (1) YEAR MATERIAL AND LABOR WARRANTY. CONTRACTOR IS NOT RESPONSIBLE TO REPAIR DAMAGE CAUSED BY NEGLIGENCE OF OTHERS, SNOW EQUIPMENT AND/OR ABUSE.
 12. WATER MAIN FLOW TEST GUIDELINES BASED ON OUTLOT 21*
 HYDRANT STATIC PRESSURE: 48 PSI
 HYDRANT RESIDUAL PRESSURE: 40 PSI
 FLOWING HYDRANT PRESSURE: 38 PSI
 FLOW: 931 GPM
- * IRRIGATION CONTRACTOR TO VERIFY BUILDING PSI/GPM

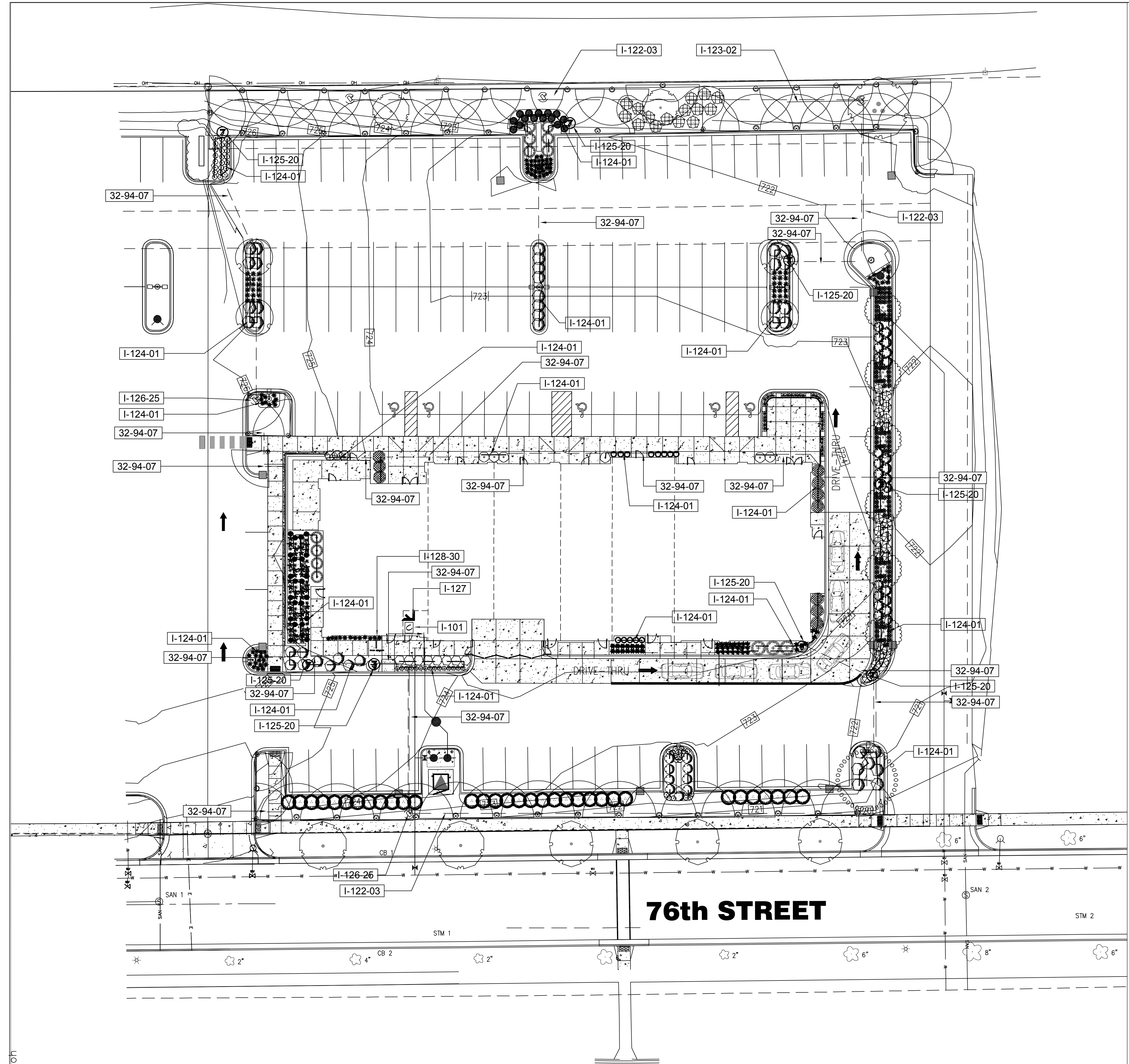
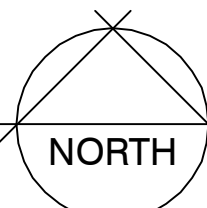
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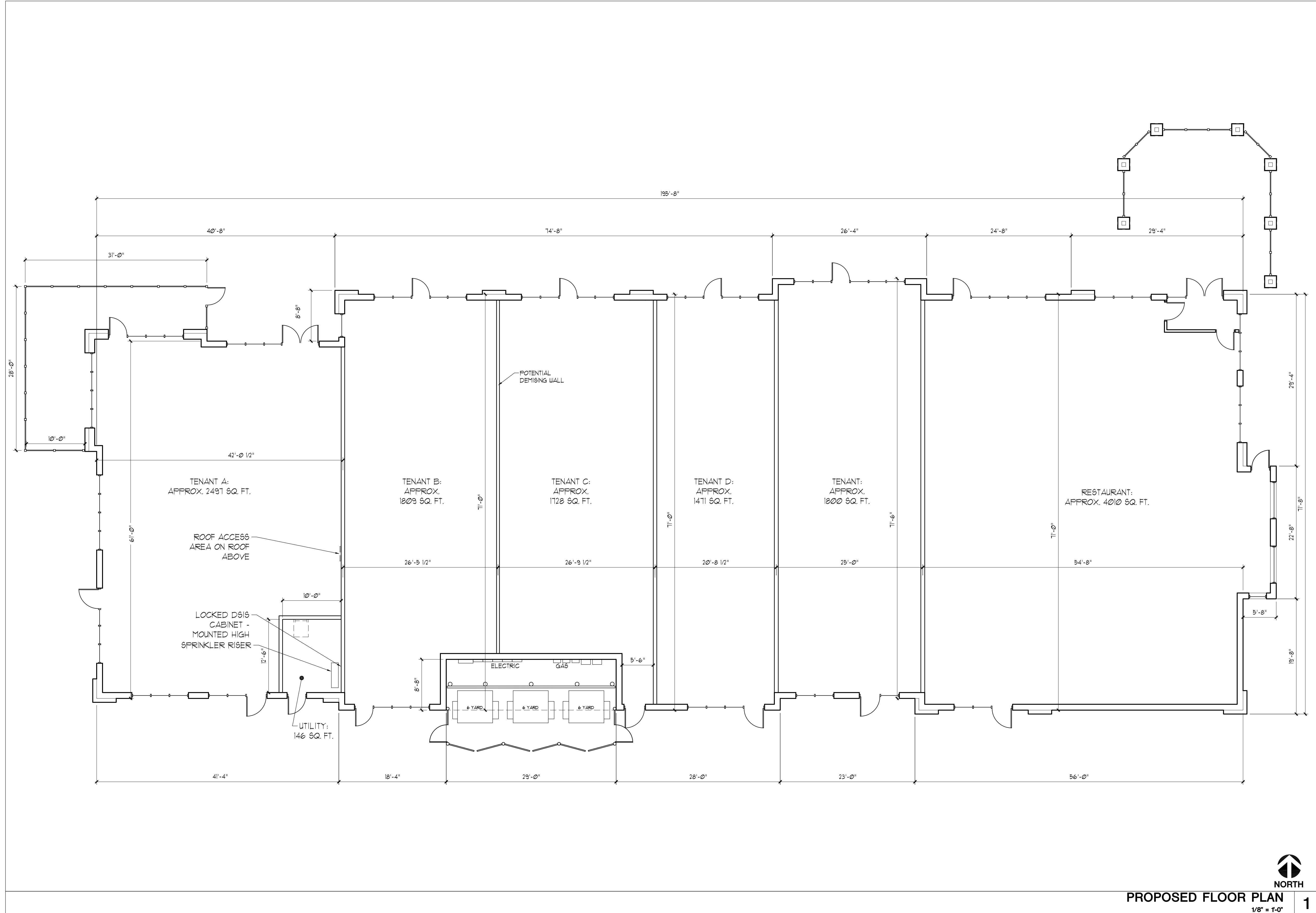
2015-10-06 14:5

SYMBOL	PLANTING ACCESSORIES DESCRIPTION	QUANTITY
32-94-07	SLEEVE, 4" PVC SCHEDULE 40	505 LF
I-101	RAINBIRD ESP-LX Basic Controller, 12-48 Stations	1
I-103	RAINBIRD 1800 SPRAY HEAD, FULL SPRAY, NOZZEL	1
I-104	RAINBIRD 1800 SPRAY HEAD, HALF SPRAY, NOZZEL	47
I-105	RAINBIRD 1800 SPRAY HEAD, QUARTER SPRAY, NOZZEL	8
I-122-03	IRRIGATION MAIN LINE, SIZE TBD	940 LF
I-123-02	IRRIGATION LATERALS, SIZE TBD	FIELD VERIFY
I-124-01	IRRIGATION SOAKER HOSE, 1/2"	1,268 LF
I-125-20	DRIP VALVE	8
I-126-25	IRRIGATION VALVE	5
I-127	BACK FLOW PREVENTOR, USE PER VILLAGE/CITY REQUIREMENTS AND INSTALLED BY LICENSED PLUMBER	1
I-128-30	RAIN SENSOR, WIRELESS	1



IRRIGATION PLAN





PROPOSED FLOOR PLAN
1/8" = 1'-0" **1**

FULL SIZE PRINT = 24" x 36" SHEET

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Job:	-
Sheet:	A1.1

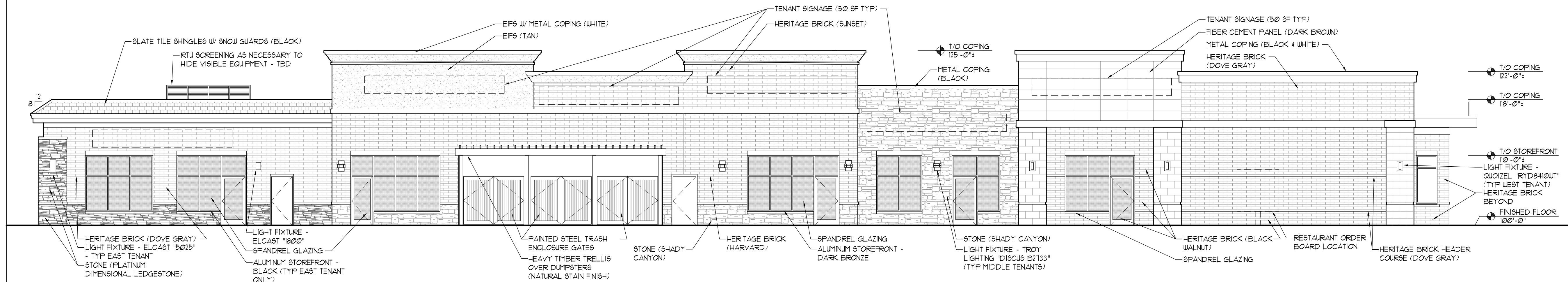
PERSPECTIVE DESIGN, INC.
11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1751

Site Plan For:
Corner Bakery Cafe Building
91st Avenue & HWY 50
Pleasant Prairie, WI

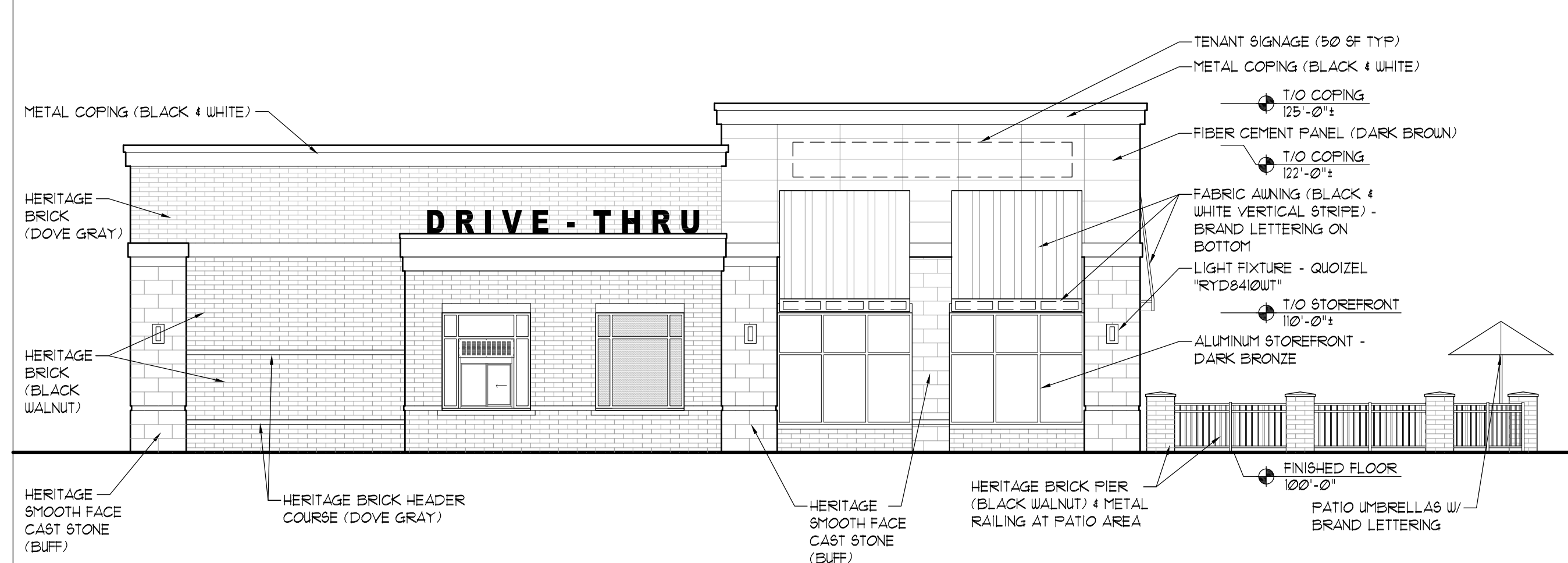
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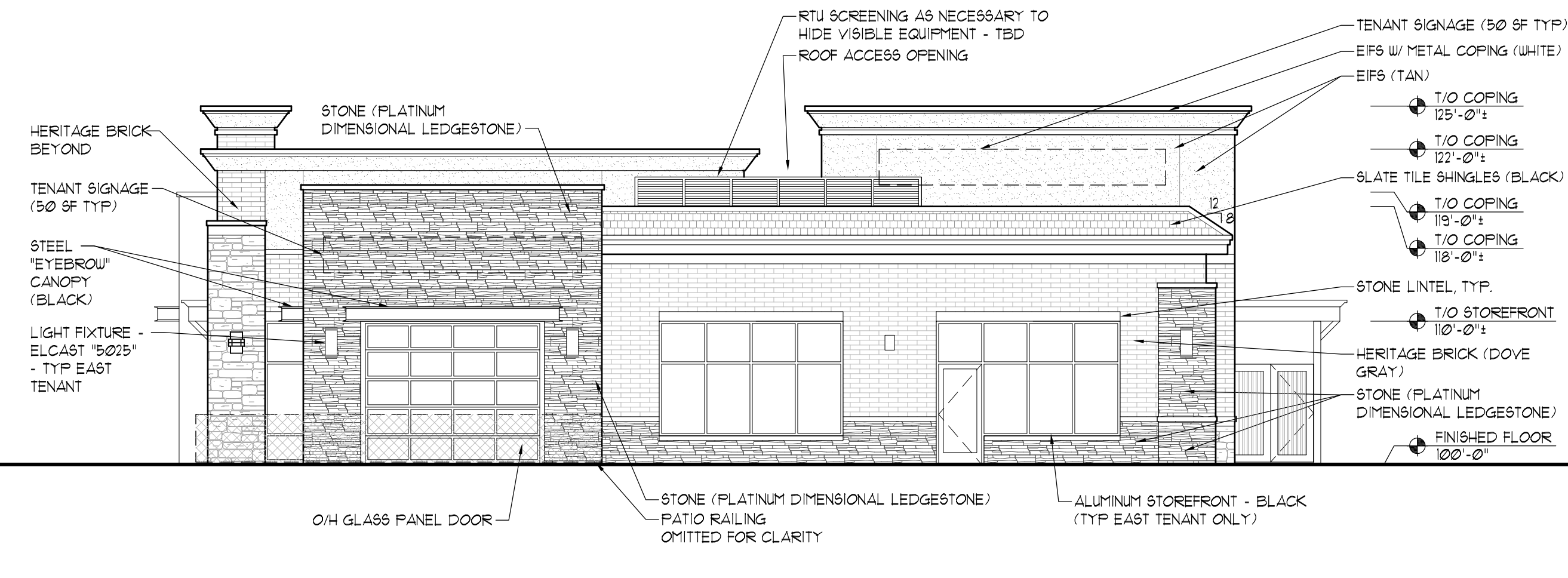
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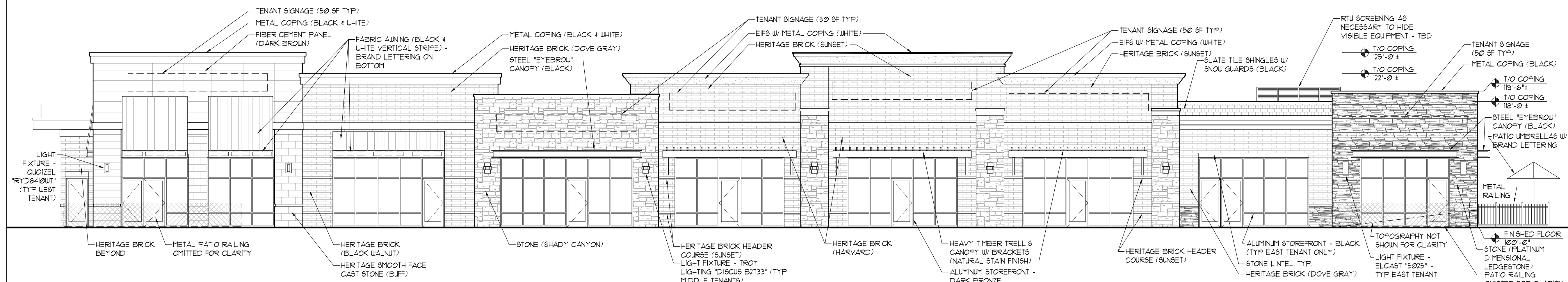
PROPOSED SOUTH ELEVATION 3
1/8" = 1'-0"



PROPOSED EAST ELEVATION 4
1/8" = 1'-0"



PROPOSED WEST ELEVATION 2
1/8" = 1'-0"



PROPOSED NORTH ELEVATION 1
1/8" = 1'-0"

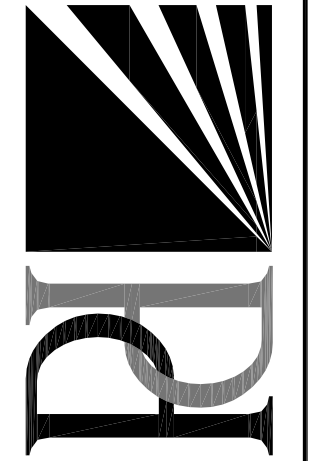
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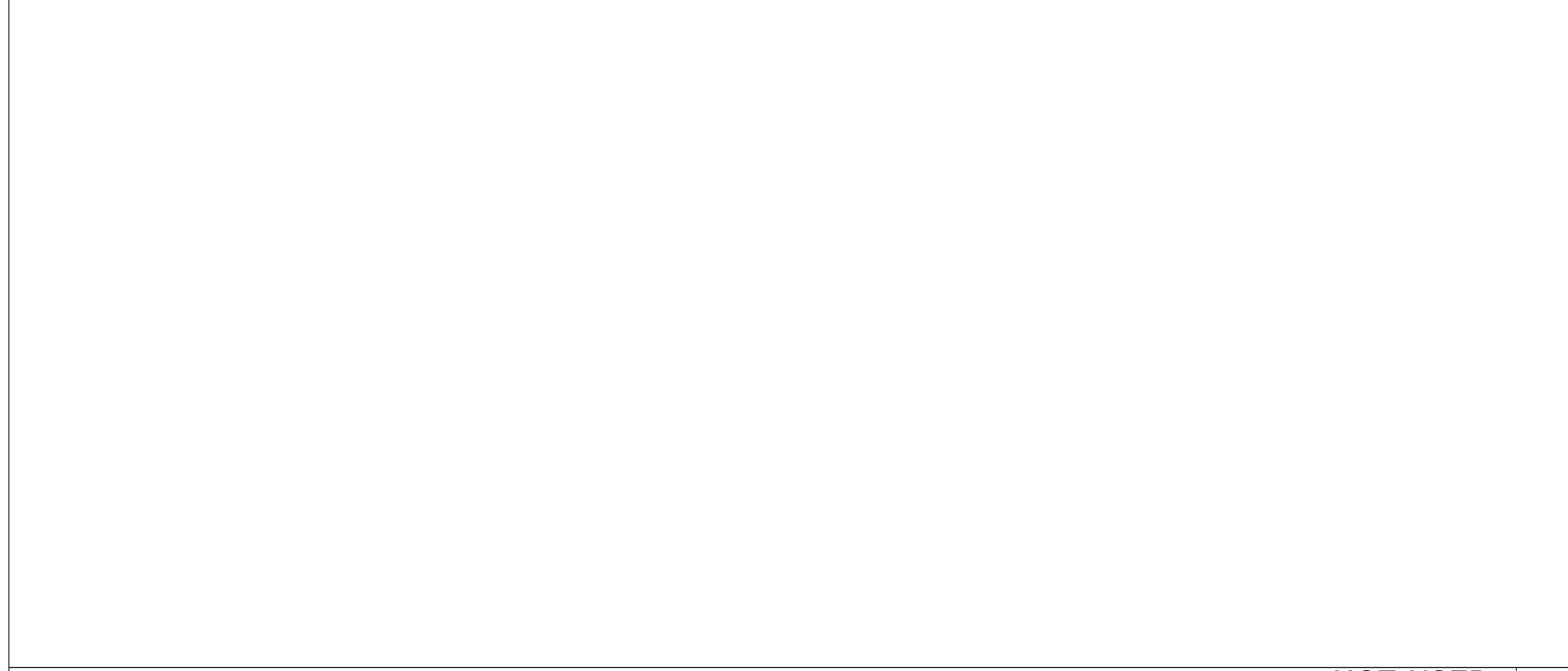
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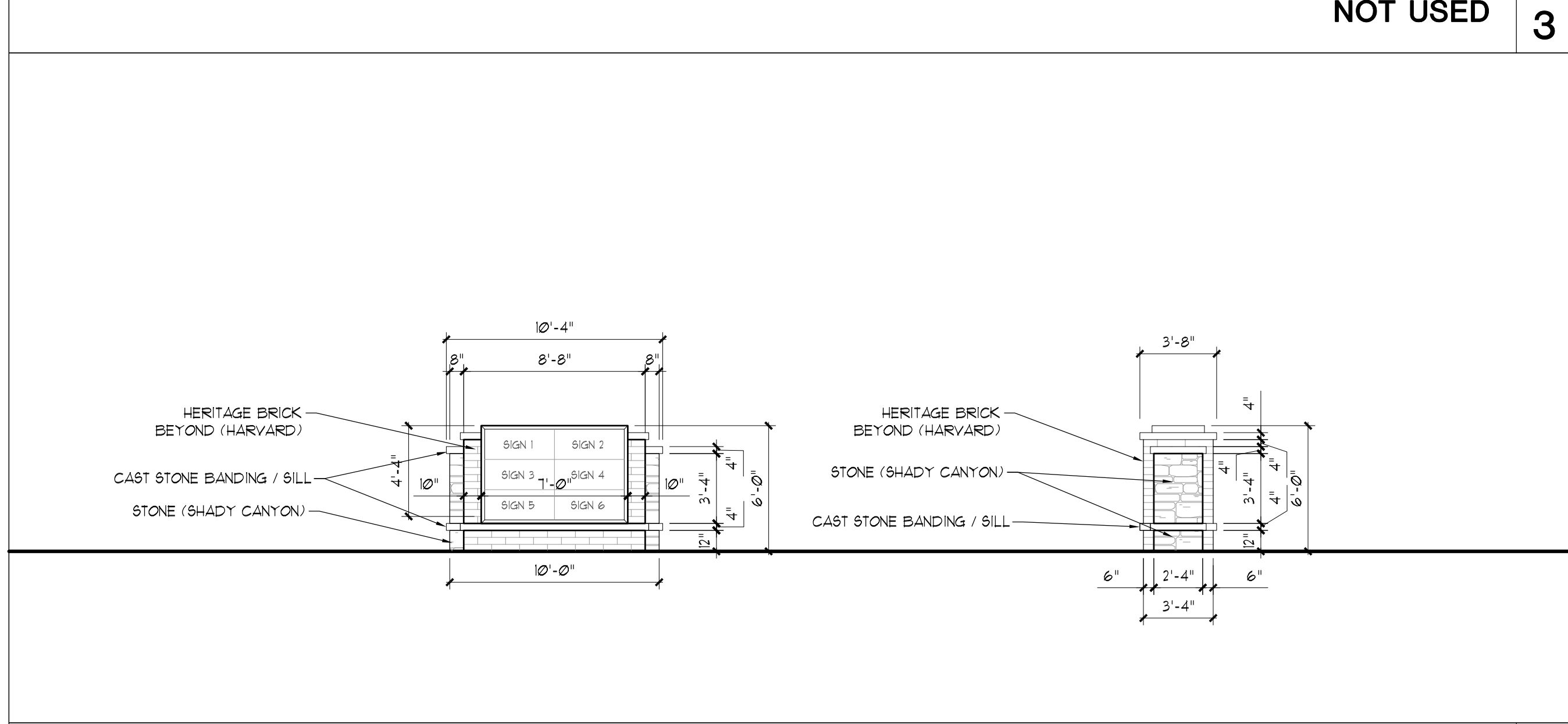


NOT USED 4



PROPOSED SMALL MONUMENT SIGN
3/16" = 1'-0" 2

NOT USED 3



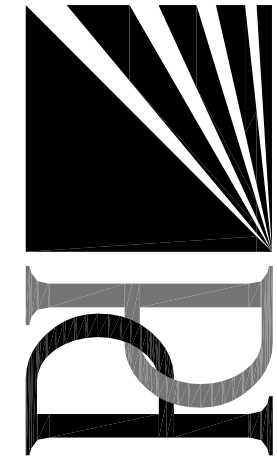
PROPOSED LARGE MONUMENT SIGN
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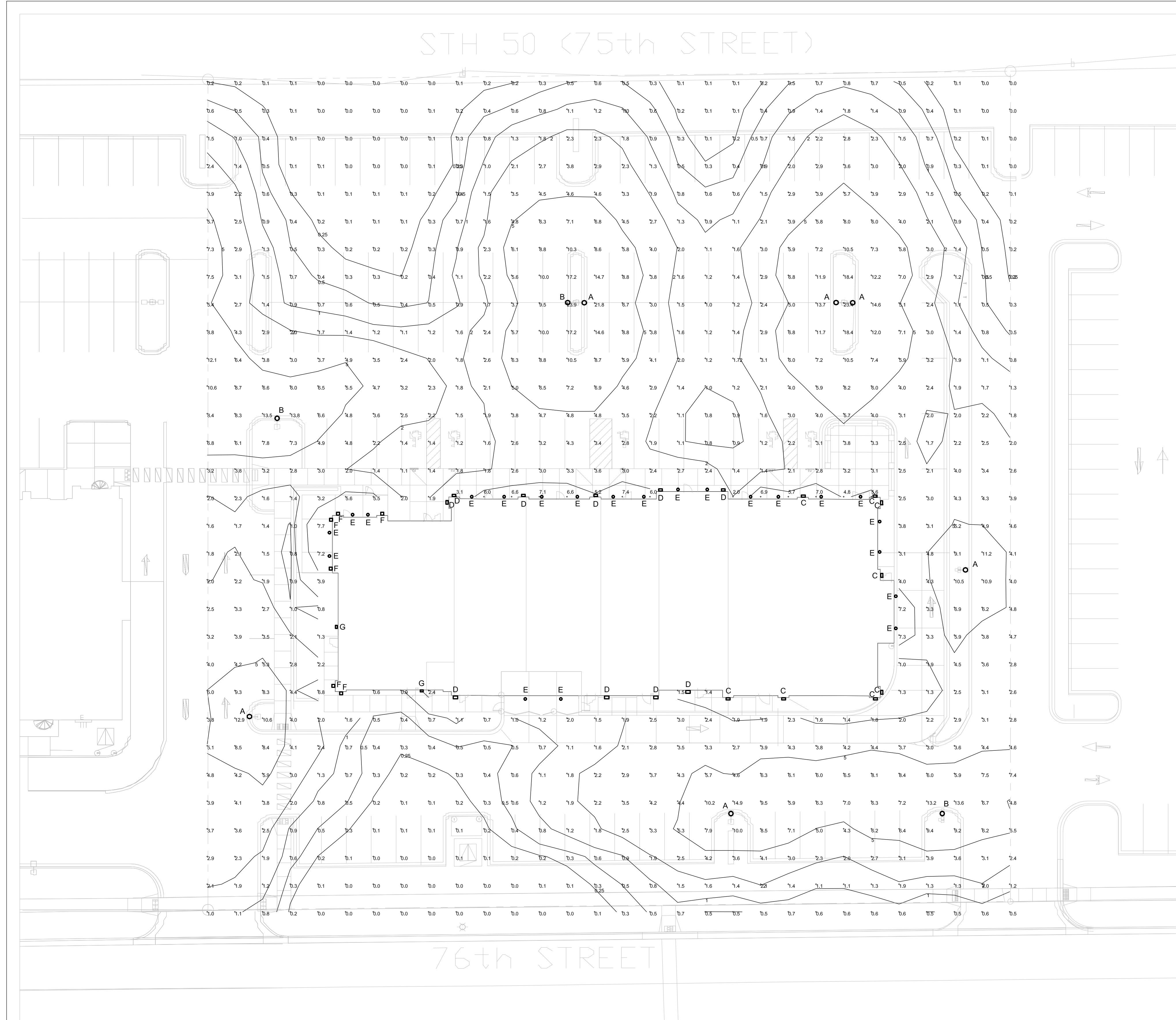
Site Plan For:
Corner Bakery Cafe Building
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Pleasant Prairie, WI

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Plan View
Scale: 1" = 20'



LUMINAIRE SCHEDULE					
Symbol	Label	Qty	Manufacturer/Model	Description	Lamp
○	A	6	ACUITY BRANDS LIGHTING ANTIQUE STREET LAMPS MUNICH PENDANT EML25 LED	EUROPEAN SHAPED PENDANT WITH CLEAR GLASS SAG LENS 18" POLE MOUNTED ON 18" CONCRETE BASE	63 LED MODULE TYPE 2 DISTRIBUTION
○	B	3	ACUITY BRANDS LIGHTING ANTIQUE STREET LAMPS MUNICH PENDANT EML25 LED	EUROPEAN SHAPED PENDANT WITH CLEAR GLASS SAG LENS 18" POLE MOUNTED ON 18" CONCRETE BASE	63 LED MODULE TYPE 3 DISTRIBUTION
□	C	8	QUOIZEL LIGHTING RYD8410WT	HALF ROUND DECORATIVE WALL SCONCE WITH ETCHED GLASS DIFFUSER MOUNTED APPROX. 9' AFF	21 LED MODULE
□	D	6	TROY LIGHTING DISCUS B2733	HALF ROUND DECORATIVE WALL SCONCE WITH ETCHED GLASS DIFFUSER	(2) LED
○	E	22	MAXIM LIGHTING 86122ABZ	WALL MOUNTED CYLINDER DOWN LIGHT	10W LED
□	F	6	ELCAST LIGHTING 5025 SERIES	HALF ROUND DECORATIVE WALL SCONCE WITH ETCHED GLASS DIFFUSER AND UP/DOWN LIGHTING	LED MODULE
□	G	2	ELCAST LIGHTING 1800 SERIES	WALL MOUNTED CYLINDER LIGHT WITH UP/DOWN CLEAR GLASS LENSES	36W LED (18W UP-18W DOWN)

STATISTICS				
Description	Symbol	Avg	Max	Min
Site calculation	+	3.0 fc	23.9 fc	0.0 fc

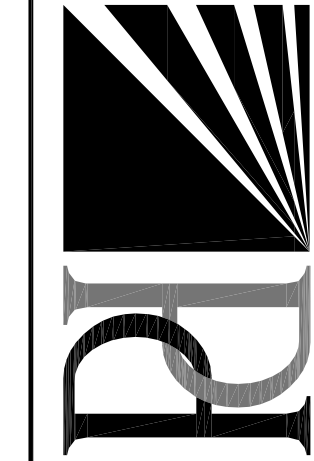
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PROPOSED PHOTOMETRIC SITE PLAN

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PSP1.1

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PROPOSED SOUTH ELEVATION
1/8" = 1'-0" 3



PROPOSED EAST ELEVATION
1/8" = 1'-0" 4



PROPOSED WEST ELEVATION
1/8" = 1'-0" 2



PROPOSED NORTH ELEVATION
1/8" = 1'-0" 1

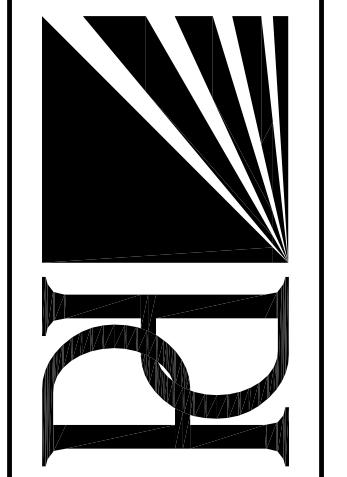
FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION	REV. BY:
02/06/15		CITY PLAN COMMISSION SUBMITTAL	PJO

Site Plan For:
Corner Bakery Cafe Building
 91st Avenue & HWY 50
 Pleasant Prairie, WI

PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel: (414) 302-1780 Fax: (414) 302-1751



Drawing Title:
PROPOSED COLORED ELEVATIONS

Date:	10/09/15
Scale:	NOTED
Drawn:	KBJ
Job:	-
Sheet:	

R2.1

NOT FOR CONSTRUCTION

- PRELIMINARY -
 FOR ESTIMATING AND REVIEW ONLY



NORTHEAST PERSPECTIVE
NTS 2



SOUTHWEST PERSPECTIVE
NTS 1

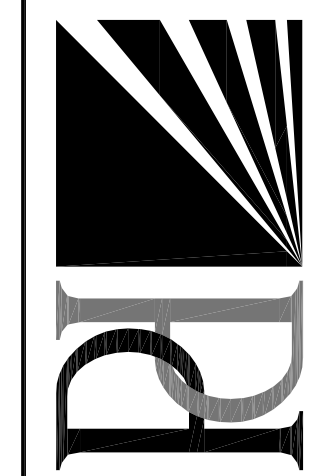
FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION	REV. BY:
1	10/06/15	CITY PLAN COMMISSION SUBMITTAL	PJO

Site Plan For:
Corner Bakery Cafe Building
 91st Avenue & HWY 50
 Pleasant Prairie, WI

PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel (414) 302-1780 Fax (414) 302-1781



Drawing Title:
PERSPECTIVES

THIS BOX IS 1/2" x 1/2"

Date: 10/09/15

Scale: NOTED

Drawn: KBJ

Job: -

Sheet:

R2.2

NOT FOR CONSTRUCTION

- PRELIMINARY -
 FOR ESTIMATING AND REVIEW ONLY

*Freedom*TM Retaining Wall System

The logo for Freedom Retaining Wall, featuring a stylized American flag with stars and stripes.

FREEDOM
Retaining WallTM

Freedom™ Retaining Wall System



FREEDOM Retaining Wall™

Freedom Retaining Wall™ is unique in its design and its double-sided split surface. This retaining wall is appealing from all angles and can be used to create walls which are seen from front and back. The Freedom Cube system also allows for creating serpentine curves and angled walls with ease like never before.

Colors shown may vary from actual hues and should only be used as a guide. Refer to actual product samples for final color selection. Because concrete units are manufactured with high quality, naturally-mined aggregates and materials, variations in color or shading should be expected in products that are manufactured at different times and in units having different shapes. This color or shading variation is acceptable in the industry.

Caution: Deicing products may be harmful to concrete surfaces and concrete products, especially when used in excess. Sand is recommended to be used for slip resistance.

Traditional Splitface Color Options



Haven



Hush



Serenity



Timeless

Rustic Color Options



Haven-Rustic



Hush-Rustic



Serenity-Rustic



Timeless-Rustic



Size Selection

Freedom Junior Retaining Wall Splitface or Rustic (Two-Sided)

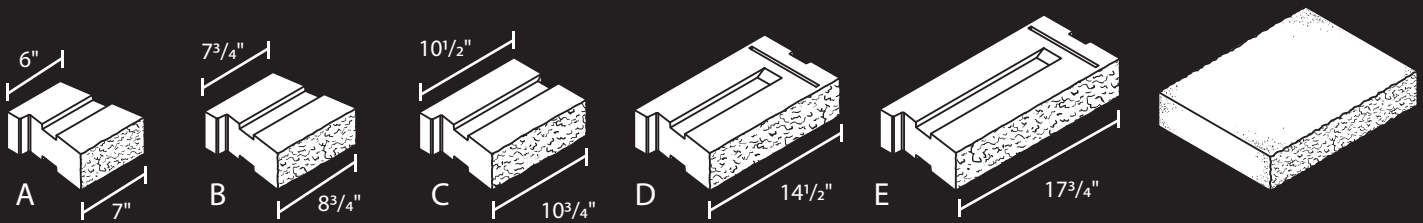
Product	Size D x H x L (inches and mm)
Freedom Junior Splitface or Rustic (Two-Sided) - A	8 1/2 x 3 1/2 x 6 (7) 216 x 90 x 152 (178)
Freedom Junior Splitface or Rustic (Two-Sided) - B	8 1/2 x 3 1/2 x 7 3/4 (8 3/4) 216 x 90 x 197 (223)
Freedom Junior Splitface or Rustic (Two-Sided) - C	8 1/2 x 3 1/2 x 10 1/2 (10 3/4) 216 x 90 x 267 (273)
Freedom Junior Splitface or Rustic (Two-Sided) - D	8 1/2 x 3 1/2 x 14 1/2 216 x 90 x 368
Freedom Junior Splitface or Rustic (Two-Sided) - E	8 1/2 x 3 1/2 x 17 3/4 216 x 90 x 451
Freedom Cap	10 1/2 x 3 5/8 x 15 1/2

Freedom Block

SF/ Layer	Layers/ Pallet	SF/ Pallet	Lbs./ Pallet
4	7	28	2754

Freedom Cap

SF/ Unit	Units/ Pallet	Lbs./ Unit	Lbs./ Pallet
-	70	50	3550



Freedom Standard Retaining Wall Splitface or Rustic (Two-Sided)

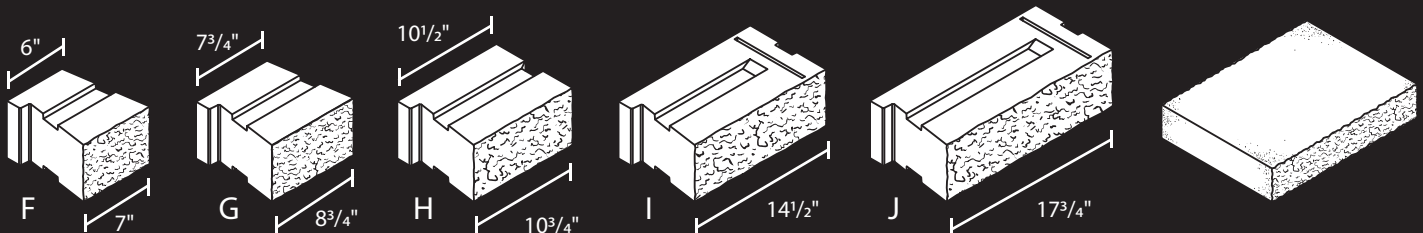
Product	Size D x H x L (inches and mm)
Freedom Standard Splitface or Rustic (Two-Sided) - F	8 1/2 x 5 1/4 x 6 (7) 216 x 135 x 152 (178)
Freedom Standard Splitface or Rustic (Two-Sided) - G	8 1/2 x 5 1/4 x 7 3/4 (8 3/4) 216 x 135 x 197 (223)
Freedom Standard Splitface or Rustic (Two-Sided) - H	8 1/2 x 5 1/4 x 10 1/2 (10 3/4) 216 x 135 x 267 (273)
Freedom Standard Splitface or Rustic (Two-Sided) - I	8 1/2 x 5 1/4 x 14 1/2 216 x 135 x 368
Freedom Standard Splitface or Rustic (Two-Sided) - J	8 1/2 x 5 1/4 x 17 3/4 216 x 135 x 451
Freedom Cap	10 1/2 x 3 5/8 x 15 1/2

Freedom Block

SF/ Layer	Layers/ Pallet	SF/ Pallet	Lbs./ Pallet
6.1	5	30.5	2772

Freedom Cap

SF/ Unit	Units/ Pallet	Lbs./ Unit	Lbs./ Pallet
-	70	50	3550



Note: Freedom Retaining Wall units require Freedom Cubes to be used during installation for proper setback and other design features. Freedom Cubes are packaged and shipped separately; quantities are confirmed per project specifications.

Freedom™ Retaining Wall System



FREEDOM Retaining Wall™

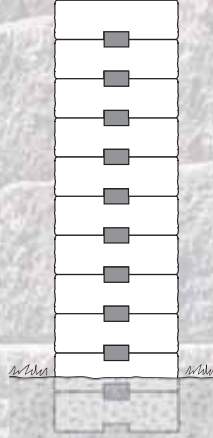
Freedom Retaining Wall™

Units are manufactured in 2 Heights: 3 1/2" high & 5 1/4" high (packaged on separate pallets) and offered in Standard Splitface or Rustic textures for an aged aesthetic finish.

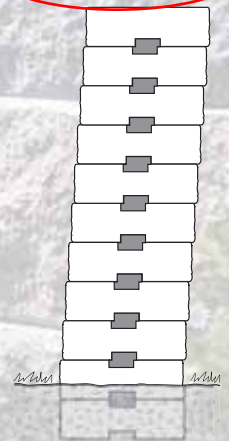
- Available in 4 Blended Colors
- Innovative Freedom Cube system allows for multiple set back options
- Design flexibility for radius and straight walls, columns, steps and 90 degree corners
- Factory finished on both faces with splittable ends mixed in

Wall Options with Freedom Cube

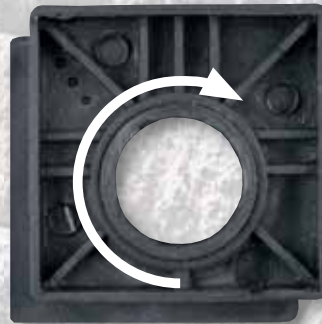
Straight Wall



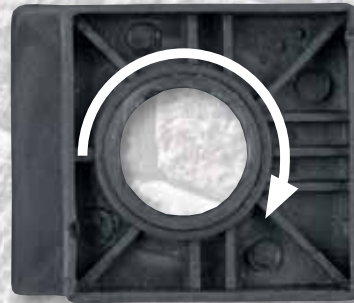
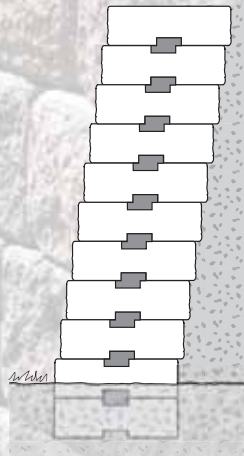
5° Angled Wall



The Freedom Cube should not be used to support the wall in any way.



10° Angled Wall



(800) 289-2569

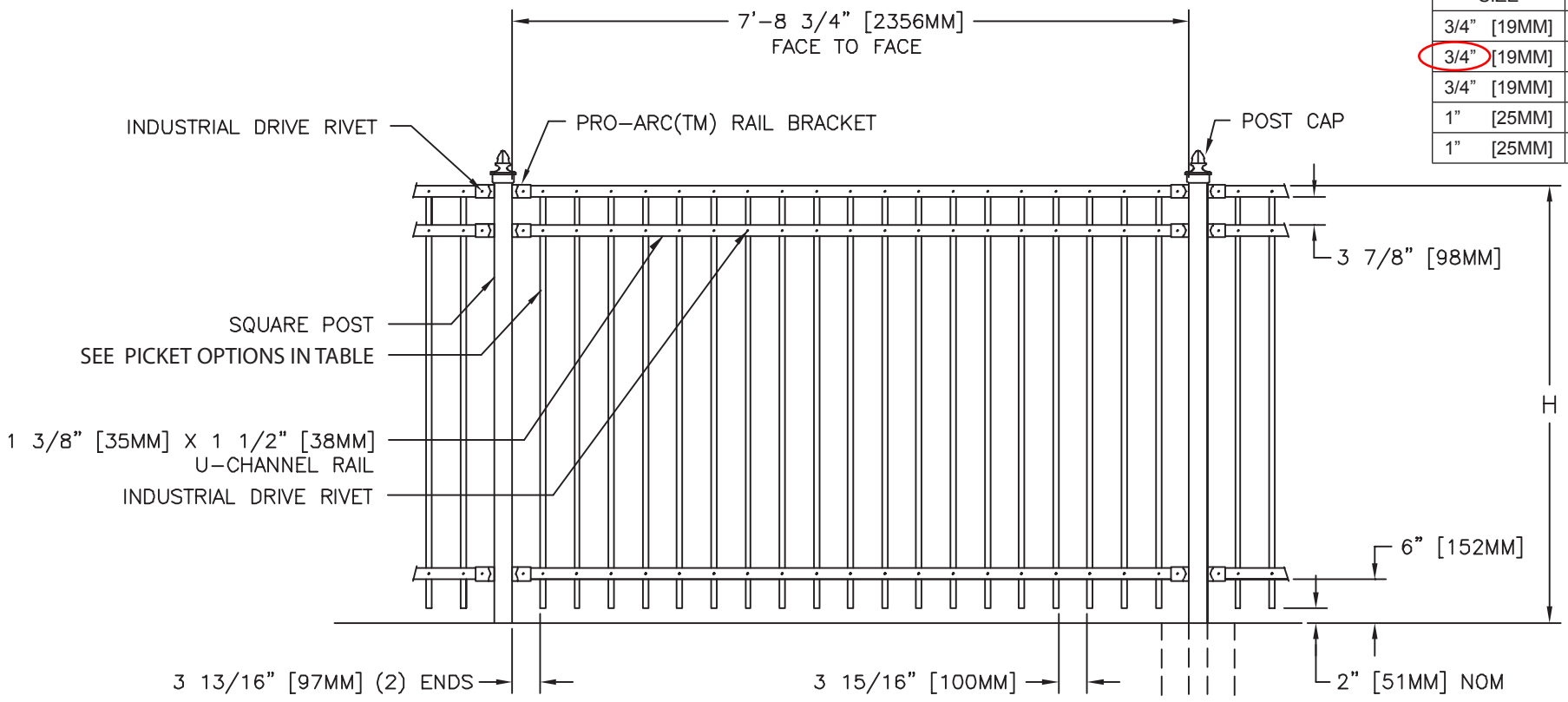
www.countymaterials.com

Freedom Retaining Wall™ is a trademark of County Materials Corporation

©2014 County Materials Corporation • 0606_0914_web

Distributed by:

PICKET SIZE	GAUGE
3/4" [19MM]	SOLID
3/4" [19MM]	14 GA
3/4" [19MM]	16 GA
1" [25MM]	14 GA
1" [25MM]	16 GA



FENCE SECTION ELEVATION

- NOTES:
1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH.
 4. SEE PANEL & POST SELECTION SHEET FOR AVAILABLE POST SIZES.
 5. FOR MATCHING GATE SEE DRAWING 6-5010M (SINGLE) OR 6-5015M (DOUBLE).

MIN DEPTH
 IN: 36"
 MM: 914

WIDTH
 IN: _____
 MM: _____

NOM HEIGHT (H)
3' - 0" [914MM]
3' - 6" [1067MM]
4' - 0" [1219MM]
5' - 0" [1524MM]
6' - 0" [1829MM]
7' - 0" [2134MM]
8' - 0" [2439MM]

POST CAP OPTIONS		
ACORN	BALL	FLAT



MONUMENTAL IRON WORKS
 BY MASTER HALCO, INC. IRVING, TX
 PHONE 800-729-0580
 WWW.MASTERHALCO.COM

IMPERIAL FENCE - STYLE B

BY:	JRR
DATE:	04-27-95
REV:	E
REV DATE:	2-21-12

DWG:	6-1110
LAYER:	1
SCALE:	NOT TO SCALE



The Corners at Prairie Ridge

Site Accessories
and
Light Fixtures

10/09/15

ANTIQUE STREET LAMPS™

EML25 LED MUNICH PENDANT

LABEL A and B

CATALOG #

PROJECT

TYPE



This European shaped pendant or wall mount luminaire consists of a driver housing and skirt with an internal light engine with a choice of two lens options.

- Choice of a flat or sag glass lens
- Stainless steel hardware
- Driver and Light engine assembly mount on a removable assembly plate and are furnished with quick-disconnect plugs for ease of installation and maintenance
- CSA listed and labeled as suitable for wet locations
- TGIC powder coat finish
- Mounts via 1-1/2" NPT threaded swivel nipple to the Urban 4" or 5" diameter arms (specify PNJP6 option when ordering 4" arm); see arm specification sheets for details on mounting options.



Max EPA: 1.86 sq feet
Max Height: 26-1/2" (67.3cm)
Max Width: 25" (63.5cm)
Max Weight: 60 lbs (27.2 kg)
Listing: CSA listed for wet locations

Sample Catalog number:

EML25	ST	49LED 350MA	3K	GCF	MVOLT	R3	SF	DBL
Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distrib.	Options	Finish

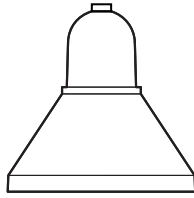
Ordering Guide:

Fixture	Base	Source & Wattage	Color Temp	Lens Option	Voltage	Distribution	Options	Finish
EML25	ST RT FT	49LED 350MA 49LED 525MA 63LED 350MA 63LED 525MA	3K 4K 5K	GCF GCSG	MVOLT 120 208 240 277 347 480	R2 R3 R4 R5	SF DF SPD	DBL DDB DNA DWH CS CM ANBK ANDB ANDG ANVG

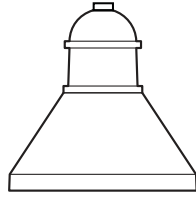
Data is considered accurate as of the revision date shown.
 Antique Street Lamps reserves the right to modify specifications without notice.

EML25 LED

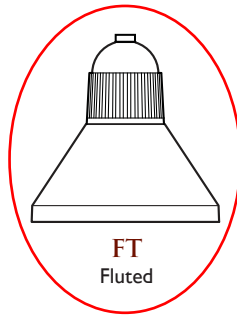
BASE



ST
Smooth



RT
Ringed



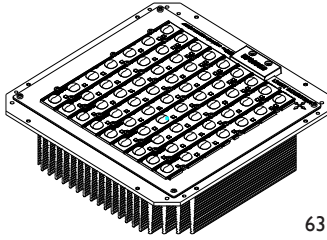
FT
Fluted

SELECT YOUR OPTIONS FROM

- ST** Smooth Ballast Housing
- RT** Ringed Ballast Housing
- FT** Fluted Ballast Housing

Notes:
Must select ST, RT, or FT style; optional IDS feature can be specified in addition to any selection (ex: EHL16 GCF ST IDS)

SOURCE AND WATTAGE



63LED light engine module

SELECT YOUR CHOICE FROM

- 49LED 350MA** 49 chips, 350 mA
- 49LED 525MA** 49 chips, 525 mA
- 63LED 350MA** 63 chips, 350 mA
- 63LED 525MA** 63 chips, 525 mA

Performance Package	Lens Type	Dist.	Input Watts	3000K CCT (opt)			4000K CCT (opt)			5000K CCT (opt)			L70 Life (hrs) @ 25°C
				Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	Delivered Lumens	Efficacy (LPW)	CRI	
63LED 350mA	GCSG	R3	72.7	6421	88.32	66	6421	88.32	66	6421	88.32	66	70000
		R4	72.5	6272	86.51	66	6272	86.51	66	6272	86.51	66	70000
		R5	72.4	6657	91.95	66	6657	91.95	66	6657	91.95	66	70000

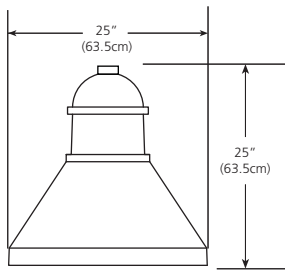
Data is considered accurate as of the revision date, shown in the highest operating temperature available.
Antique Street Lamps reserves the right to modify specifications without notice.

COLOR TEMP

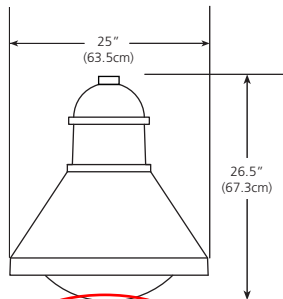
SELECT YOUR OPTIONS FROM

- 3K** 3000K
- 4K** 4000K
- 5K** 5000K

LENS OPTION



GCF
Glass, Clear Flat



GCSG
Glass, Clear Sag

SELECT YOUR OPTIONS FROM

- GCF** Glass, Clear Flat (Standard)
- GCSG** Glass, Clear Sag



Notes:
Nighttime Friendly™ distributions available with GCF lens only.

EML25 LED

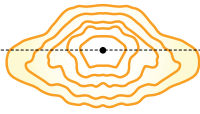
VOLTAGE

SELECT YOUR OPTIONS FROM

- MVOLT MVOLT
- 120 120V
- 208 208V
- 240 240V
- 277 277V
- 347 347V
- 480 480V

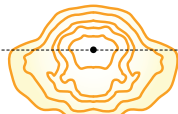
DISTRIBUTION

House Side
Street Side



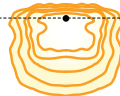
R2 Type II

Distributes light slightly ahead of luminaire location with significant lateral spread.



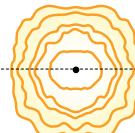
R3 Type III

Provides light farther ahead of the luminaire than a Type II pattern but maintains a significant lateral spread.



R4 Type IV

Sharp Cutoff
Distributes light almost exclusively forward with an emphasis on eliminating light trespass and spill light behind the pole.



R5 Type V

Provides improved uniformity with a variance of the Type V distribution with a slightly square pattern compared to the regular Type V.

SELECT YOUR OPTIONS FROM

- R2 Type II LABEL A
- R3 Type III LABEL B
- R4 Type IV
- R5 Type V

OPTIONS

SELECT YOUR OPTIONS FROM

(Fuse Not Included)

- SF Single Fuse
- DF Double Fuse
- SPD Surge Protection Device

FINISH

The luminaire has a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process which consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.

For a complete listing of colors, visit:
www.acuitybrandslighting.com/architecturalcolors

Notes:

- Consult factory for CM option.

Data is considered accurate as of the revision date shown.
Antique Street Lamps reserves the right to modify specifications without notice.

SELECT YOUR OPTIONS FROM

- DBL Black
- DDB Dark Bronze
- DNA Natural Aluminum
- DWH White
- CS Custom Select (RAL colors)
- CM Custom Match
- ANBK ASL Black
- ANDB ASL Dark Bronze
- ANDG ASL Dark Green
- ANVG ASL Verde Green

Refer to website

EML25 LED

RYD8410WT

Product technical report

QUOIZEL

General Product Information:

Item no.: RYD8410WT

Item class: Ryland Outdoor Lantern

Base material: Aluminum

Finish: Bronze

Finish description: Bronze

Item description: Minimal design and energy saving sensibilities are combined to create the unassuming style of the Ryland outdoor wall fixture. The base is constructed as an open half panel with a rectangular "window" cut vertically to show the opal etched glass column. This gives the illusion of the glass floating in the center. It houses an LED module and is finished in a smooth Western Bronze finish.

Item family: Ryland

Suggested room(s): Outdoor

Energy Star rated: No

LABEL C

Dimensional Information:

Height(H): 16.50 "

Length(L):

Diameter(D):

Width(W): 10.00 "

Depth(Dp): 4.00 "

Extension(Ext):

Net weight: 5.20 lbs.

HCWO: 14.500

Please note that the HCWO dimension represents the distance from the wall outlet box center to highest point of mounted product.

Canopy/backplate: 4.750 Inch"H x 4.750 Inch" W

ADA compliant: No

Listed Mark: No

Listed Mark Rated Wet
for:

Instruction sheet: IS-RYD8410WT

Electrical Information:

Bulb Type: 21 LED (Li, Switch Type: None, Wire Length: 0 ft 6.000 in, Voltage: 120

Shade Information:

1. OPAL ETCHED GLASS

Mounting Hardware:

Please refer to instructions where applicable

Product Photo:

RYD8410WT

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Quoizel Inc., 6 Corporate Parkway, Goose Creek SC 29445 www.quoizel.com

Tuesday, October 06, 2015

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RYD8410WT

Product technical report



RYD8410WT

Page 2 / 2

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DISCUS

LABEL D



B2733

SCONCE

Hand-Worked Wrought Iron

Opal Glass

Satin Stainless Steel

Graphite Finish

13.5"W 18.25"H 6.75"P 9.5" TCD

2-60W Med Base **w/ LED Bulbs**

Closed Top Only.

P = Projection, TCD = Top to Center Dimension

BF2733 2-18W GU24 CFL (Included)



TROY LIGHTING

Est. 1963

14508 Nelson Avenue, City of Industry, CA, USA (91744) Phone: 626-336-4511 Fax: 626-330-4266 www.troy-lighting.com



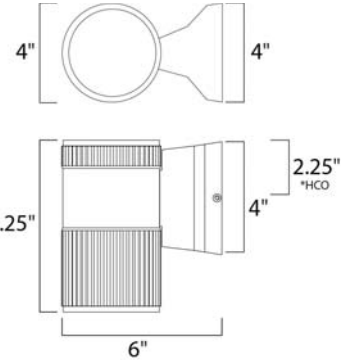
Lighting Your Life Since 1970

Product Specifications - 86122ABZ

Job Name:	Job Type:
Quantity:	Comments:



86122ABZ
Lightray 1-Light LED Wall Sconce



*height from center of outlet to the top of the fixture

Finish

Architectural Bronze

Glass/Shade

Product Category

Outdoor Wall Mount

Lamping

Number of Bulbs	1
Light Type	LED
Bulb Type	LED
Max Bulb Wattage	10
Max Fixture Wattage	10
Rated Life	
Rated Lumens	±700
Color Temp	±3,000 K
Bulb(s)	Included
Light Up/Down	N/A
Beam Spread	N/A
CRI	80
Photo Cell Included	N/A
Ballast/Driver/Transformer	Yes

Measurements

Width	4.00"
Height	6.25"
Length	N/A
Extension	6"
Back Plate Width	4.00"
Back Plate Height	4.00"
HCO	2.25"
Min Overall Height	0.00"
Max Overall Height	N/A
Hanging Weight	2.43 lbs
Height Adjustable	N/A
Slope	N/A
Chain Length	N/A
Wire Length	N/A
Canopy Width	N/A
Canopy Height	N/A
Canopy Length	N/A

Shipping

Carton Weight	2.87 lbs
Carton Width	6"
Carton Height	9"
Carton Length	8"
Carton Cubic Feet	0.25
Master Pack	12
Master Pack Weight	37.76 lbs
Master Pack Width	14.17"
Master Pack Height	8.11"
Master Pack Length	25.40"
Master Cubic Feet	1.69
UPS Shippable	Yes

Dimmable

Standard/Lutron® CL
or Leviton® LED
Recommended

Certification

Safety Rating	Wet
Energy Star	No
CA Title 24	No
CA Title 20	No
ADA	No
Dark Sky	Yes

Other

UPC Code	783209109049
Shades Included	N/A
Crystals Included	N/A
Diffuser Included	N/A
Conversion Kit	N/A
Material	N/A

Equivalents

Incandescent Watts	N/A
Fluorescent Watts	N/A

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Always consult a qualified, licensed electrician before installation of any product weighing 35 pounds or more. We recommend that a qualified, licensed electrician do the installation. Always install to a mechanically sound structure.

Catalog Number	
Project/Location	Type
Approved By	

5025 SERIES WALL SCONCE

LABEL F

LED, HID ARCHITECTURAL WALL SCONCE

HOUSING

Heavy gauge formed aluminum. Decorative frames shall be made from extruded aluminum. Stainless steel hardware. Custom designed frames available.

GASKET

Closed cell silicone foam gasket seals out moisture, dust, and insects for weather-tight operation.

LENS

1/8" thick, half-round shaped, opal acrylic. Provides shadow-free illumination.

BALLASTS

HID electronic ballast
LED: solid state electronic driver

SOCKET

HID 4kv pulse rated, medium base

MOUNTING

Surface wall mount.

FINISH/COLOR

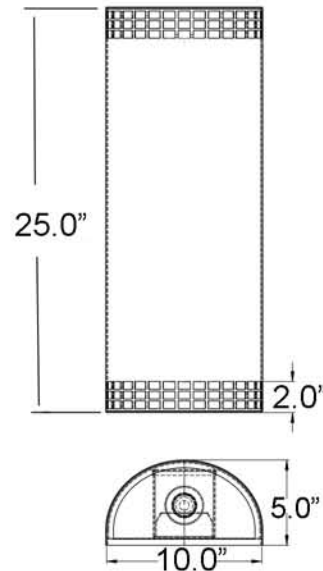
Polyester powder coat finish over zinc based primer. Available in matte black (MB), matte bronze (BZ), matte white (MW), silver gray (SG), or custom color (CC).

OPTIONS

F1 single fuse
LED-ET emergency ballast (LED only)

Suitable for wet location.
Conforms to UL Standard 1598.

Series	Lamp	Wattage
5025	HID LED	2/39W MH-PAR 20 consult factory



Ordering Example



Specifications are subject to change without notice. Consult factory for verification.

ELCASTLIGHTING

815 S KAY AVE ADDISON, IL 60101 USA
630.543.5390 • FAX: 630.543.5392
elcastltg@elcastltg.com • www.elcastltg.com

Catalog Number	
Project/Location	Type
Approved By	

1800 SERIES UP/DOWN CYLINDER

LABEL G

LED, HID, CFL ARCHITECTURAL CYLINDER

HOUSING

One-piece, heavy-duty extruded aluminum.
Separate aluminum ballast box.

GASKET

Closed cell silicone foam gasket seals out moisture, dust, and insects for weather-tight operation.

LENS

Tempered clear 1/8 thick, retained with die cast aluminum frame and hidden stainless steel set screws.

BALLASTS

- CF: electronic, thermally protected high power factor
- HID: electronic, thermally protected or magnetic core and coil
- LED: solid state electronic driver**

SOCKET

- HID: G 12 BI-PIN, 4KV pulse rated or 4KV pulse rated nickel plated shell medium base
- CF: four pin plug in type

MOUNTING

Surface wall over STD J-box.

FINISH/COLORS

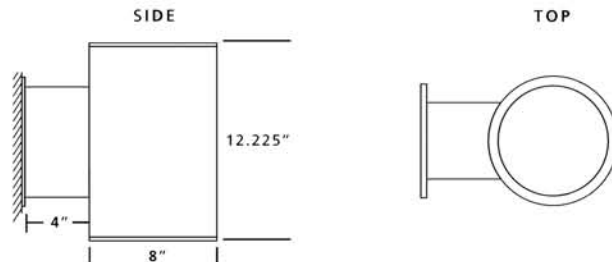
Polyester powder coat finish available in matte **Black (MB)**, matte bronze (BZ), matte white (MW), silver gray (SG), or custom color (CC).

OPTIONS

- F1 single fuse
- PC photo cell
- TP tamper proof
- ETR emergency ballast remote only (CFL)
- STP screwdriver for TP
- ET extreme temperature (-30°C to +90°C)
- GC glass clear
- AA adjustable arm for Up or Down only
- CB custom beams available- consult factory

Suitable for wet location.
Conforms to UL Standard 1598.

Series	Lamp	Wattage/Max
1800	PLT	42W
	HPS	70W
	MH	100W
	LED	28W (14W/UP-14W/DOWN)
	LED	36W (18W/UP-18W/DOWN)



LED MODULES

14W	3500K	700 Lumens	60°
14W	3500K	800 Lumens	80°
18W	3500K	1100 Lumens	30°

POWER SUPPLY CONSTANT CURRENT

	Nominal Input Power (W)	Output Power Range (W)	Output Current (A)	Output Voltage (V)
14W	20	13-17	0.7	18-24
18W	30	12-25	1	12-24

Ordering Example

1800 — 32 PLT — 120 — MB — QRS,ET

Specifications are subject to change without notice. Consult factory for verification.

ELCAST LIGHTING

815 S KAY AVE ADDISON, IL 60101 USA
630.543.5390 • FAX: 630.543.5392
elcastltg@elcastltg.com • www.elcastltg.com

EUROTIQUE™ ARMS

EAL Series • 4" dia. Arms
& Wall Bracket

SPECIFICATIONS

CONSTRUCTION

The arms and wall bracket shall be one-piece construction. The cast rectangular arms shall be welded to a center spool and plumbizer housing. For the wall bracket, the arm shall be welded to a flat wall plate. All welding shall be per ANSI/AWS D1.2. All welders shall be certified.

MATERIALS

The arms, finials, plumb housing and swivel nipple shall be cast aluminum. The center spool, arm spools and wall bracket mounting plate shall be aluminum. All hardware shall be stainless steel. All exterior hardware shall be tamper resistant.

INSTALLATION

The arms shall slip-fit a 3.375" O.D. x 8" post top tenon and attach with (8) socket set screws. Matching Eurotique poles shall be 4" diameter or 4"/6.63" diameter. The center finial and arm finial shall be removable. The wall bracket shall have four 1/2" dia. holes for mounting to the wall. (Bracket mounting hardware furnished by others. 2" x 3" vertical junction box recommended) Both arms and wall bracket shall have a plumizer housing for luminaire mounting.

Optional twist-lock photocontrol installed at center spool top instead of finial.

For finish specifications and color options, see "Finish" section in catalog.

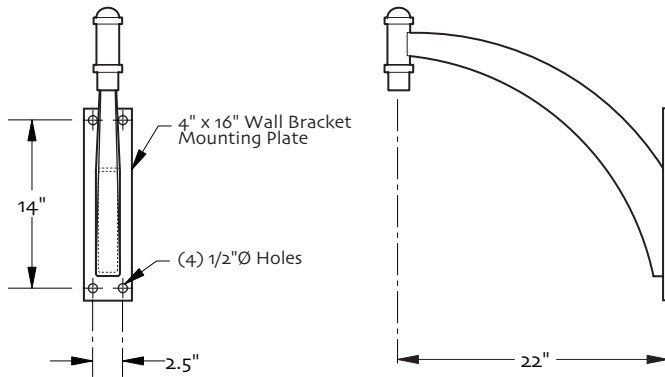
ORDERING INFORMATION

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.

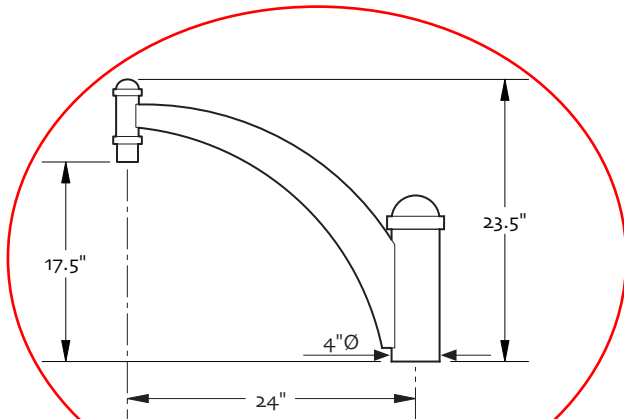
Example: **EAL4/1 ANBK PER PE1**

Series		Finish ¹	
EAL4WB	one	ANBK	Black
EAL4/1	one	ANDB	Dark Bronze
EAL4/2	two	ANDC	Dark Green
	# of Luminaires required	ANVG	Verde Green
		ANPP	Prime Painted
		CM	Custom Match
		CS	Custom Select
			RAL colors
Options ²			
PER	NEMA Twist-Lock Receptacle only		
PE1	NEMA Twist-Lock Photocontrol 120,208,240V		
PE3	NEMA Twist-Lock Photocontrol 347V		
PE4	NEMA Twist-Lock Photocontrol 480V		
PE7	NEMA Twist-Lock Photocontrol 277V		

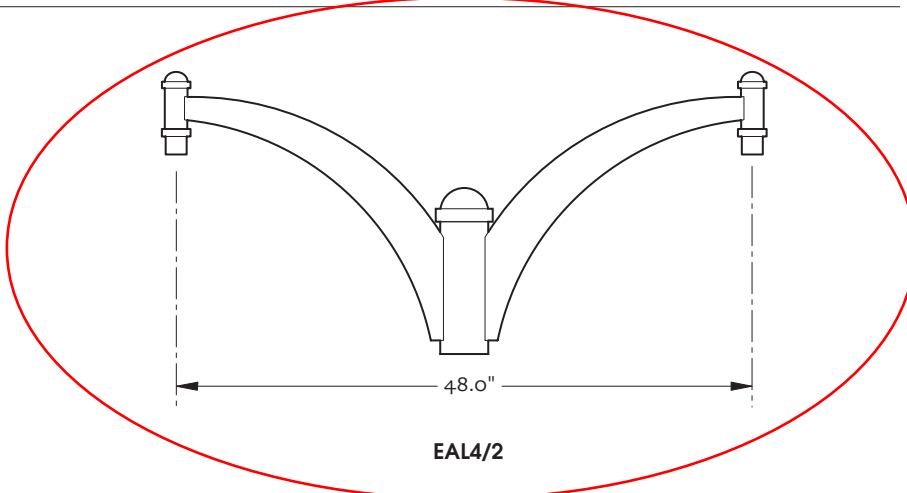
NOTES: 1. For finish specifications and color options, see "Finish" section in catalog.
2. Twist-Lock Photocontrol not available with wall bracket.



EAL4WB



EAL4/1



EAL4/2

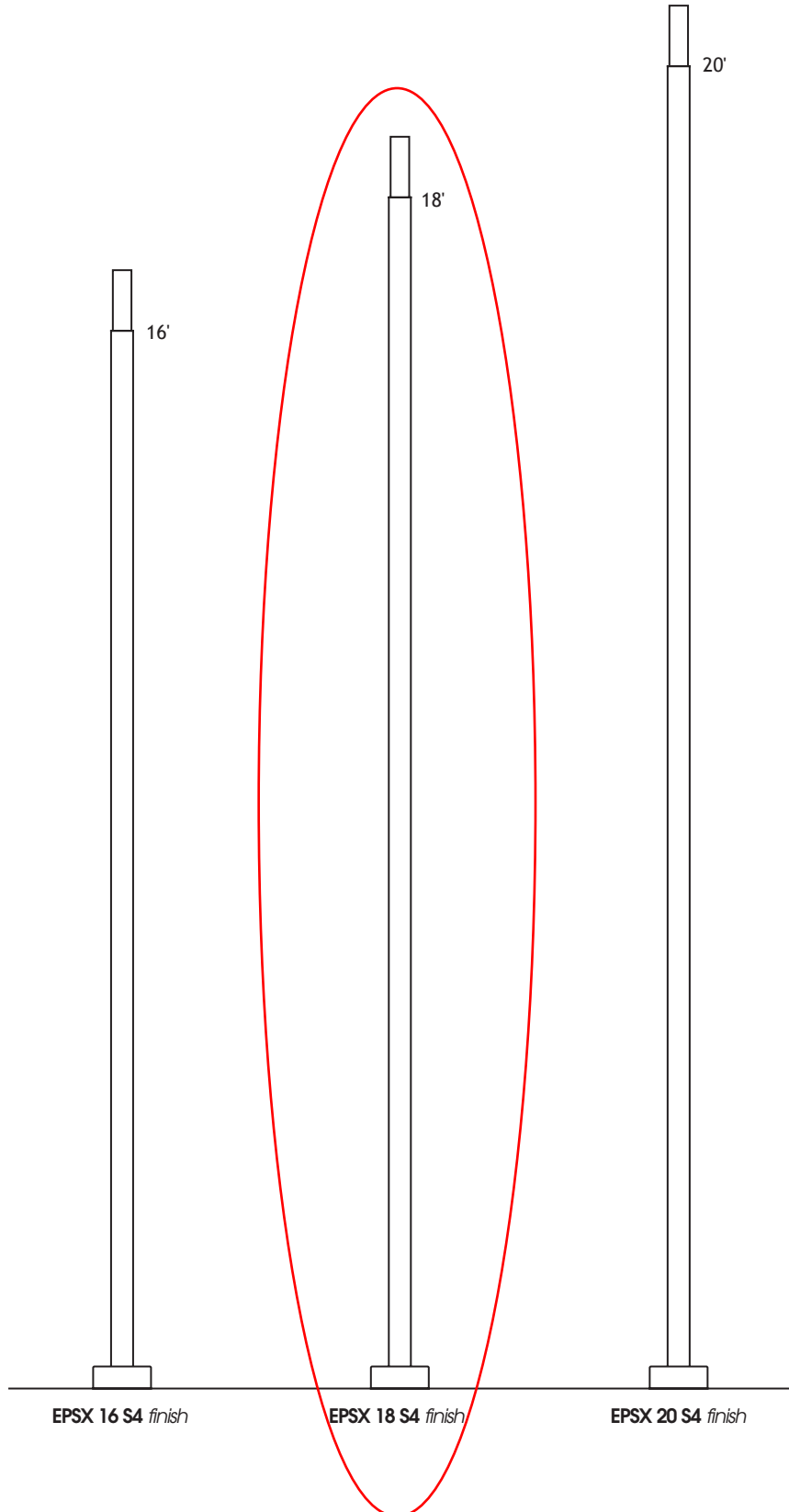
ANTIQUÉ Street Lamps

An Acuity Brands Company

2011-B W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com

EUROTIQUE™ STEEL POLES

4"Ø • 16'-20' tall



SPECIFICATIONS

DESCRIPTION

The lighting poles shall be one-piece all steel construction with an aluminum two-piece base cover. The poles shall have a straight shaft with integral anchor/base plate. All welding shall be per ANSI/AWS D1.1. All welders shall be certified. The poles shall be Antique Street Lamps' catalog number **EPSX XX S4 finish**.

MATERIALS

The poles and anchor plates shall be steel. The base cover and handhole cover shall be cast aluminum. All exposed hardware shall be tamper resistant stainless steel. Anchor bolts to be completely hot-dip galvanized. Partially galvanized bolts are not acceptable.

DIMENSIONS

The poles shall be $X'-XX''$ in height with a 10.5" diameter base cover. An integral 3.375" O.D. x 11" tenon shall be provided at the top for mounting Eurotique 4" arms (exceptions following). A 3.375" O.D. x 8" tenon shall be provided when mounting Eurotique arm EAL4. No tenon shall be provided at the top when mounting Eurotique arm EAK4 which has an internal tenon.

INSTALLATION

The one-piece poles shall be provided with four .75" diameter by 24" long, L-type anchor bolts to be installed on a 7" diameter bolt circle. A handhole with cover shall be provided in the lower shaft section for wiring access. A grounding screw shall be provided inside the handhole. Eight set screws shall be provided at the top when mounting Eurotique arm EAK4. For finish specifications and color options, see "Finish" section in catalog.

EUROTIQUE™
Architectural Lighting

ANTIQUE Street Lamps
An **Acuity** Brands Company

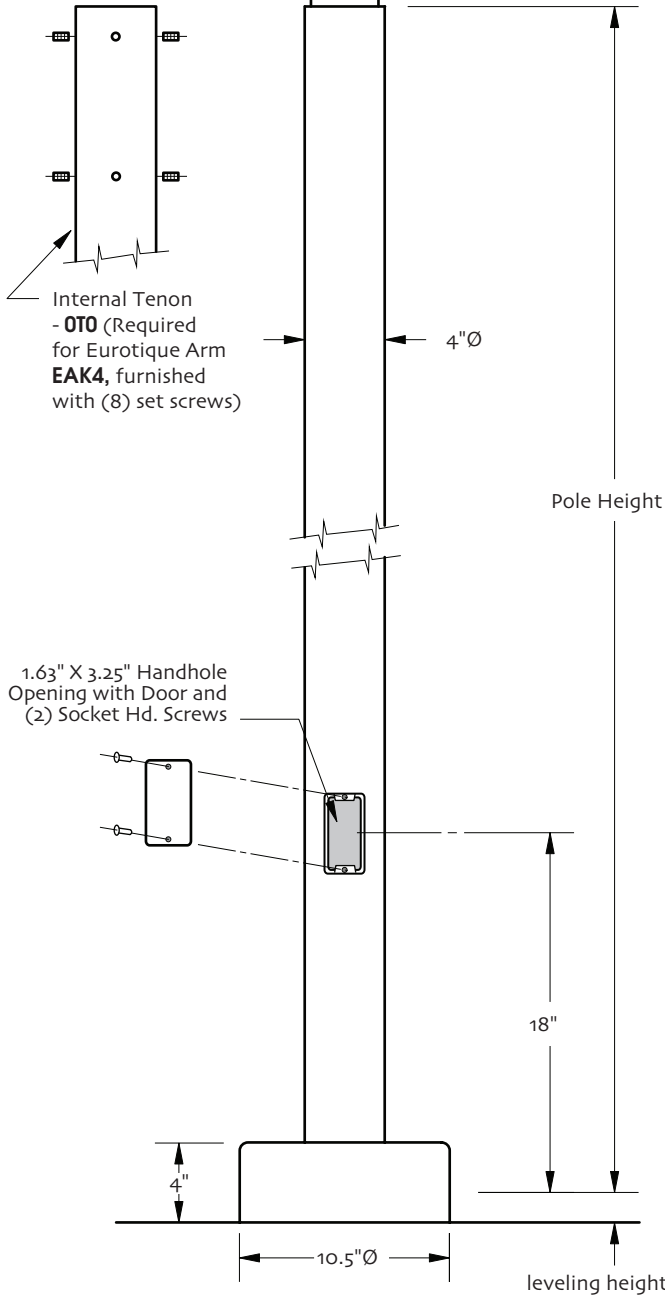
2011-B W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com

EUROTIQUE™ STEEL POLES

4"Ø • 16'-20' tall

3.375" O.D. x 11" High Tenon
3-3/8T11 (standard)

3.375" O.D. x 8" High Tenon
3-3/8T8 (Required for Eurotique Arm **EAL4**)



ORDERING INFORMATION

Choose the **boldface** catalog nomenclature that best suits your needs and write it on the appropriate line.

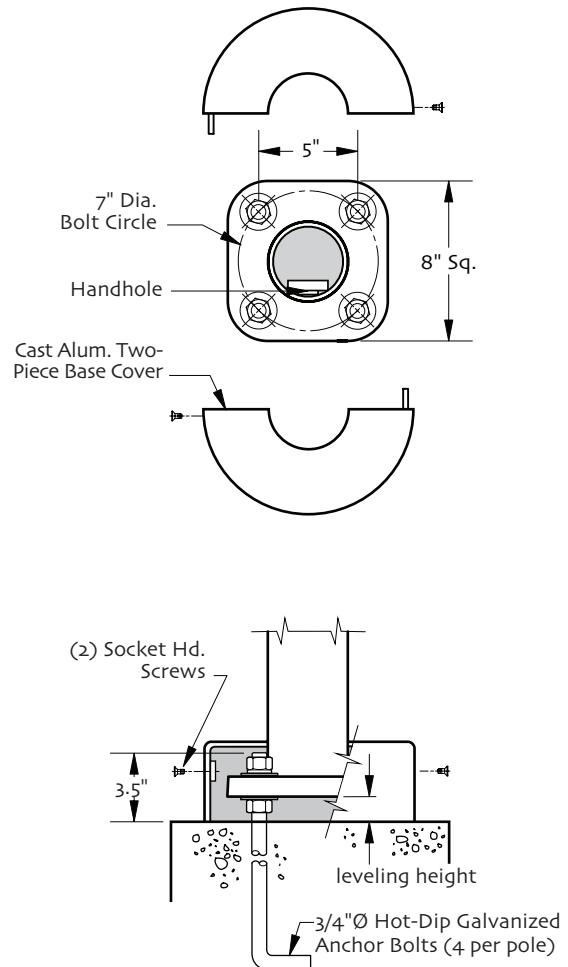
Example: **EPSX 16 S4 3-3/8T11 ANPP Options**

Pole Series	Height	Finish ¹
EPSX	16	ANBK Black
EUROTIQUE™ Poles	18	ANDB Dark Bronze
Steel	20	ANDG Dark Green
		ANVG Verde Green
		ANPP Prime Painted
		CM Custom Match
		CS Custom Select
		RAL colors
Shaft Type		
S4	4" dia. shaft	
Tenon		
3-3/8T11	Standard Tenon	
3-3/8T8	Tenon for Arm EAL4	
OTO	Tenon for Arm EAK4	
Options		
	Receptacles	
	Flagpole Holders	
(see Accessories section in the catalog or contact Antique Street Lamps)		

NOTES:

1. For finish specifications and color options, see **Finish** section in catalog or contact Antique Street Lamps.

ANCHORAGE GUIDE



ANTIQUE Street Lamps
An Acuity Brands Company

2011-B W. Rundberg Ln. • Austin, TX 78758
Ph (512) 977-8444 • Fax (512) 977-9622
www.antiquestreetlamps.com

Consider the request of Joan Knapp, owner for approval of a **Certified Survey Map** to subdivide the property located at 8008 107th Avenue into three (3) properties.

Recommendation: On November 9, 2015 the Plan Commission recommended that the Village Board approve the **Certified Survey Map** subject to the comments and conditions presented in the Village Staff Report of November 16, 2015.

VILLAGE STAFF REPORT OF NOVEMBER 16, 2015

Consider the request of Joan Knapp, owner for approval of a **Certified Survey Map** to subdivide the property located at 8008 107th Avenue into three (3) properties.

The petitioner is requesting to subdivide the property located at 8008 107th Avenue (Tax Parcel Number 91-4-122-074-0098) into three (3) parcels. The property is currently zoned R-5, Urban Single Family Residential which requires lots to have a minimum frontage of 75 feet on a public road and a minimum lot area of 10,000 square feet.

Lot I is proposed to be 38,925 square feet with 190 feet of frontage on 107th Avenue. Lot 1 has an existing single family home and a shed on the property. There is an existing 20 foot storm water drainage easement pursuant to the two (2) **attached** recorded easements granted to the Village in 1995 and 1999 extending along the north property line of Lot 1, which shall be shown on the CSM. The existing shed shown on the CSM shall be removed or relocated outside the Village's drainage easement. Pursuant to Village records a permit had not been obtained for the construction of the shed. If the shed is proposed to be relocated a permit shall be obtained prior to moving the shed and the new location shall be shown on the CSM. If the shed is to be removed then it shall be removed from the property and the CSM.

Lot II and III are proposed to be 20,487 square feet each with 100 feet of frontage on 107th Avenue. Any new homes proposed to be constructed on these lots will be required to connect to both municipal sanitary sewer and municipal water within 107th Avenue. A detailed drainage and grading plan for the lots shall be submitted to the Village Engineering Department for approval prior to development on Lot II and III. In addition, 20' Stormwater Drainage, Access and Maintenance Easements shall be shown on the CSM and dedicated to the Village on the common lot lines for future offsite storm water runoff conveyance.

The proposed land division conforms with the Village Zoning Ordinance, Land Division and Development Control Ordinance and the Village's Comprehensive Land Use Plan subject to the removal/relocation of the shed and the conditions as set forth below.

The Plan Commission recommends approval of the CSM subject the above comments and the following conditions:

1. 107th Avenue shall be labeled as a "Dedicated Right-of-Way."
2. The existing 20 foot storm water drainage easements pursuant to the two (2) **attached** easements granted to the Village in 1995 and 1999 shall be shown on the CSM.
3. The existing shed shown on the CSM shall be removed or relocated outside the drainage easement. Pursuant to Village records a permit had not been obtained for the construction of the shed. If the shed is proposed to be relocated a permit shall be obtained prior to moving the shed and the new location shall be shown on the CSM. If the shed is to be removed then it shall be removed from the property and the CSM.
4. Two (2) proposed Stormwater Drainage, Access and Maintenance Easements" shall be shown as being dedicated on the new CSM and a separate Grant of Easement(s) document shall be prepared by the Village, executed by the owner and recorded. The easements shall be shown as 10 feet on the south side of Lot I, 10 feet on the north and south property lines of Lot II and 10 feet along the north property line of

Lot III to allow for future off-site storm water runoff conveyance when the lots are developed. In addition the following language shall be added to the CSM.

Nonexclusive easements coextensive with the areas shown as 20' Dedicated Stormwater Drainage, Access and Maintenance Easement areas on this Certified Survey Map are hereby dedicated, given, granted and conveyed by the Owner to the Village of Pleasant Prairie for storm water management purposes, public and private drainageways, and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. These storm water easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such use, planting, care and maintenance responsibilities of the easement areas which shall be required by the respective Lot Owners on which such easements are located as will not interfere with the improvements, uses and purposes of the Village; and (3) such future uses of the easements as may be approved by the Village.

In the event of any conflict between the rights of the Lot Owners and the rights of the Village pursuant to these easements with respect to the 20' Dedicated Stormwater Drainage, Access and Maintenance Easement areas, the Village's rights under these easements shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to these easements, the Village shall have no obligation to do anything pursuant to its rights under these easements. The Lot Owners shall be responsible for all costs associated with the construction and maintenance of storm water management and drainage way improvements contained within these nonexclusive easements.

5. The following note shall be added to the face of the CSM: "A detailed drainage and grading plan for the lots shall be submitted to the Village Engineering Department for approval prior to any new development on Lots II and III."
6. Remove the "CMC" by the Village Clerk's signature line on Page 2.
7. Any deferred/outstanding special assessments or outstanding taxes shall be paid prior to recording the CSM. Pursuant to the Village Records there is a Sewer D Sanitary Fee of \$2,026.00.
8. There is also a contemplated storm water management assessment for the Chateau Eau Plaines Subdivision area and areas south that may be effect this property in the future.
9. Impact fees are due at the time a building permit is obtained for new houses on Lots II and III.
10. The CSM shall be executed by all parties and recorded at the Kenosha County Register of Deeds Office within 60 days of Village Board approval.

18-

91-074-0095

DOCUMENT NUMBER

992144

EASEMENT
RECORDED
at Kenosha County, Kenosha, WI 53140
Louise I Principe, Register of Deeds
on 5/31/1995 at 2:34 PM
950045452 \$18.00
SUEB REGDEED3

GRANT OF EASEMENT

This Grant of Easement made this 18th day of May, 1995, from **CLIFFORD W. TUTTLE**, party of the first part, his successors and assigns to the **Village of Pleasant Prairie**, party of the second part, and its successors and assigns.

WITNESSETH

That for and in consideration of the sum of One dollar (\$1.00) and other good and valuable consideration, in hand paid, the receipt of which is hereby acknowledged, the party of the first part has this day bargained and sold and by these presents does bargain, sell, convey, transfer and deliver to the party of the second part, its successors and assigns forever, a storm water drainage easement and right-of-way including the perpetual right to enter upon the real estate hereinafter described at any time that it may see fit, to construct, maintain, use and repair underground pipelines and mains, for the purpose of conveying storm water across, through and under the real estate hereinafter described, together with the right to excavate and refill ditches and/or trenches for the location of said pipes and mains, and the further right to remove trees, bushes, underground and other obstructions interfering with the location, construction, use and maintenance of said underground pipelines and mains.

The real estate affected by the grant of this permanent easement and right-of-way is located in the Village of Pleasant Prairie, County

Drainage Easement
C.Tuttle

of Kenosha, State of Wisconsin, and is more particularly described as follows:

Part of the Southeast 1/4 of Section 7, Town 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin described as:

Beginning at the Northwest corner of Parcel B as identified in Kenosha County Certified Survey Map #734 and the Northeast corner of Grantor's property, the North line of a twenty (20) foot wide permanent and perpetual drainage easement; thence West along the North line of Grantor's property, 120 feet to the Northwest corner of the Grantor's property and point of ending of said easement. (See Exhibit "A").

Also, a 30 foot wide temporary construction easement adjacent to and South of the above described permanent easement.

This grant is further subject to the condition that the Village of Pleasant Prairie, upon completion of the construction work, will restore the top soil to its prior condition. Party of the second part and its successors and assigns shall forever HAVE AND TO HOLD said easement and right-of-way.

Party of the first part, for himself and for his heirs, executors, administrators, successors and assigns, does hereby covenant with the party of the second part, its successors and assigns forever, that he is lawfully seized and possessed of the real estate above described, and that he has good and lawful right to convey it or any part thereof, and that it is free from all incumbrances.

Drainage Easement
C.Tuttle

IN WITNESS WHEREOF, the party of the first part has hereunto
set forth their hand(s) on the day and year above written.

By; *Clifford W. Tuttle*
CLIFFORD W. TUTTLE

WITNESS:

STATE OF WISCONSIN)
 (SS.
COUNTY OF KENOSHA)

Personally appeared before me this 18th day of May
1995, the above-named **CLIFFORD W. TUTTLE**, to me known to be the
person(s) who executed the foregoing instrument and acknowledged the
same.

Peggy L. Cole
Notary Public, Kenosha County, WI
My Commission Expires: 3/22/98

This instrument was drafted by:
ATTORNEY JOHN MAAN DE KOK

Return to:
Village of Pleasant Prairie
P.O. Box 89
Pleasant Prairie, WI 53158

DRAINAGE EASEMENT

**Village of Pleasant Prairie
Kenosha County, Wisconsin**

Clifford W. Tuttle
10804 - 82nd Street
Kenosha, Wisconsin 53142

Parcel No. 4-122-074-0095-0

Part of the Southeast 1/4 of Section 7, Town 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Beginning at the Northwest corner of Parcel B as identified in Kenosha County Certified Survey Map #734 and the Northeast corner of Grantor's property, the North line of a twenty (20) foot wide permanent and perpetual drainage easement; thence West along the North line of Grantor's property, 120 feet to the Northwest corner of the Grantor's property and point of ending of said easement. (See Exhibit "A")

Also, a thirty (30) foot wide temporary construction easement adjacent to and South of the above described permanent Easement.

CRISPELL-SNYDER, INC.
Consulting Engineers

November 1991

PARCEL A
C.S.M.#744

80th STREET

P.O.E.

120'

P.O.B.

20'

30'

PROPOSED 20'
DRAINAGE EASEMENT

PROPOSED 30' TEMPORARY
CONSTRUCTION EASEMENT

107th AVENUE

PARCEL NO.

4-122-074-0095-0

PARCEL B:
C.S.M.#734

DRAINAGE EASEMENT

CLIFFORD W. & SANDRA J. TUTTLE

EXHIBIT "A"



CRISPELL-SNYDER, INC.
ENGINEERS & ARCHITECTS

KENOSHA, WISCONSIN 53141
(414) 723-9800

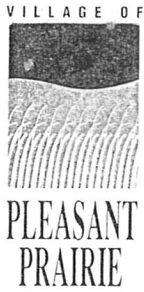
MILWAUKEE, WISCONSIN 53203
(414) 534-8530

LOCATION: VILLAGE OF PLEASANT PRAIRIE

KENOSHA COUNTY, WISCONSIN

SCALE: 1" = 60' DATE: NOV. 1991

DRAWN BY: J. ZIGMAN



DOCUMENT NUMBER

1166929

EASEMENT

RECORDED

at Kenosha County, Kenosha, WI 53140
Louise I. Principe, Register of Deeds
on 12/01/1999 at 2:04 PM
990056430 \$16.00
BARD REGDEED3

GRANT OF EASEMENT

This Grant of Easement made this 2nd day of November, 1999, from David E. Knapp and Joan E. Knapp, party of the first part, their successors and assigns, to the Village of Pleasant Prairie, party of the second part, and its successors and assigns.

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Number:

91-4-122-074-0098-0

PROPERTY LEGAL DESCRIPTION:

The North 390.00 feet of Parcel 2 of Certified Survey Map Number 1814, recorded in the Office of the Register of Deeds for Kenosha County, Wisconsin on May 23, 1995 as document number 991642, and being part of the South 1/2 of the Southeast 1/4 of Section 7, Township 1 North, Range 22 East of the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, combined with the North 390.00 feet of Parcel B of Certified Survey Map Number 734, recorded in the Office of the Register of Deeds for Kenosha County, Wisconsin on November 15, 1979 in Volume "1063" Records, page 118, document number 661160, and being a part of the Southeast 1/4 of Section 7, Township 1 North, Range 22 East of the Fourth Principal Meridian, lying and being in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin.

WITNESSETH

That for and in consideration of the sum of One dollar (\$1.00) and other good and valuable consideration, in hand paid, the receipt of which is hereby acknowledged, the party of the first part have this day bargained and sold and by these presents do bargain, sell, convey, transfer and deliver to the party of the second part, its successors and assigns forever that a Stormwater Drainage, Access and Maintenance Easement, including the perpetual right to enter upon the real estate hereinafter described at any time that the Village may see fit, to



construct/maintain, use and repair any underground pipeline(s), mains, ditches, swales and/or trenches for the purpose of conveying stormwater across, through or under the real estate hereinafter described, together with the right to excavate and refill swales, ditches and/or trenches for the location of said stormwater conveyance systems, and the further right to remove trees, brush, plants, etc., and any other above ground or below ground obstructions interfering with the location, construction, use and maintenance of said stormwater conveyance system.

This easement is hereby dedicated, given, granted and conveyed by the Owners to the Village for private storm sewer and drainage system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. This stormwater drainage, maintenance and access easement shall be exclusive, except for: (1) such other easements as may be given with respect to the same area or any portion thereof; and (2) such use, planting, care and maintenance responsibilities of the easement area by the owner(s) of the property on which such easements are located as will not interfere with the improvements, uses and purposes of the Village; and (3) such construction or installation of driveways, fences or other structures within the easement area, which might interfere with the Village's rights, as may be approved by the Village in writing and subject to such conditions as the Village may impose. In the event of any conflict between the rights of the Village pursuant to this easement and the rights of other persons or entities with respect to the area of such easements or any part thereof, the Village's rights under this easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easements, the Village shall have no obligation to do anything pursuant to its rights under these easements.

The Village will accept improvements constructed within its easement upon inspection to insure construction is in accordance with Village standards. The Village reserves the right to refuse acceptance of any improvements that have not been constructed to Village standards.

The real estate affected by the grant of this permanent easement and right-of-way is located in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin as described below:

Part of Tax Parcel Number 91-4-122-074-0098, Section 7, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, described as follows:

Beginning at the Northwest corner of Parcel B of Certified Survey Map #734, thence south 20 feet along the west line of CSM #734, thence west parallel with the north line of CSM #734 for 85 feet to the east line of CSM #734 which is also the west right-of-way line of 107th Avenue, thence west 85 feet to the place-of-beginning, describing a twenty (20) foot wide permanent and perpetual Stormwater Drainage, Access and Maintenance Easement.

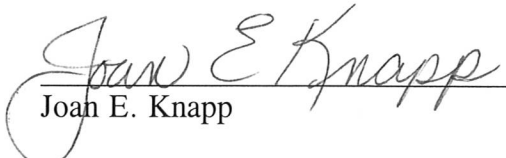
Party of the second part and its successors and assigns shall forever HAVE AND TO HOLD said easement and right-of-way.

Party of the first part, for themselves and for their heirs, executors, administrators, successors and assigns, do hereby covenant with the party of the second part, its successors and assigns forever, that they are lawfully seized and possessed of the real estate above described, and that they have good and lawful right to convey it or any part thereof, and this it is free from all encumbrances.

IN WITNESS WHEREOF, the party of the first part has hereunto set forth their hands on the day and year above written.

By: 

David E. Knapp



Joan E. Knapp

STATE OF Wisconsin)
 SS)
COUNTY OF Kenosha)

Personally appeared before me this 2 day of November, 1999, the above named, **David E. Knapp** and **Joan E. Knapp**, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Wesna Savic
Notary Public, Kenosha County, WI
My Commission Expires: 01-12-03

This instrument was drafted by:
Jean M. Werbie, Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158



Filed _____ 20__
Fee Paid _____ 20__
PC Meeting Date _____ 20__
VB Meeting Date _____ 20__
Approved _____ 20__
Denied _____ 20__

**VILLAGE OF PLEASANT PRAIRIE
CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: 8008-107th Ave

and is legally described as follows: _____

Tax Parcel Number(s): 91-4-122-074-0098

- | | | |
|--|---|--|
| The property abuts or adjoins a State Trunk Highway | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| The property abuts or adjoins a County Trunk Highway | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Municipal Sanitary Sewer is available to service said properties | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| Municipal Water is available to service said properties | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

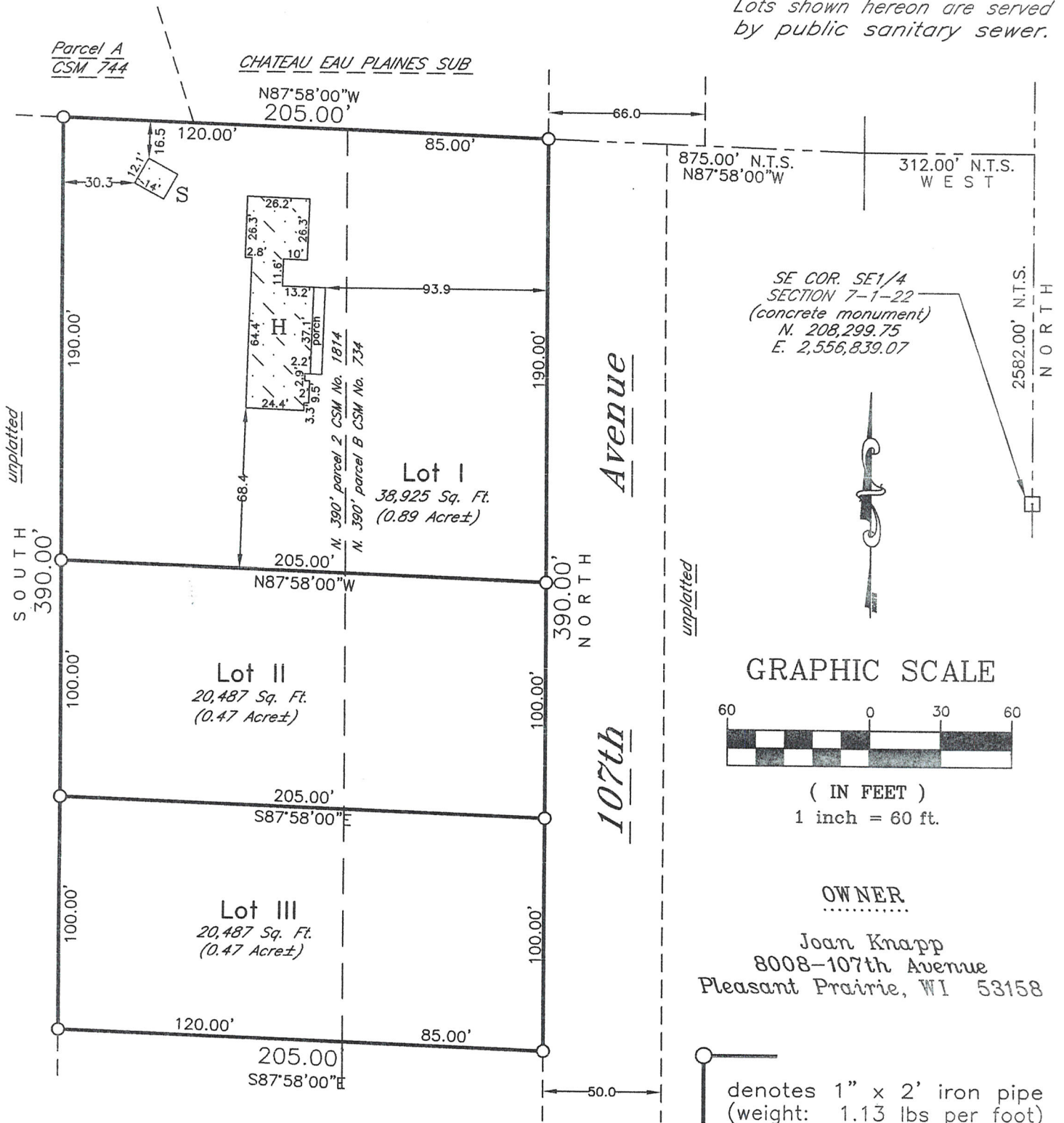
Print Name: Joan Knapp
Signature: Joan Knapp
Address: 8008-107th Ave
Pleasant Prairie WI 53158
(City) (State) (Zip)
Phone: 262-914-3219
Fax: _____
Date: 10-21-15

OWNER'S AGENT:

Print Name: _____
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
Date: _____

RECEIVED
OCT 21 2015
BY: _____

Lots shown hereon are served by public sanitary sewer.



H - house
S - shed
Bearings refer to "Chateau Eau Plaines" a plat of record

denotes 1" x 2' iron pipe (weight: 1.13 lbs per foot)

J.K.R. SURVEYING, INC.
8121 22ND AVENUE KENOSHA, WI. 53143

CERTIFIED SURVEY MAP

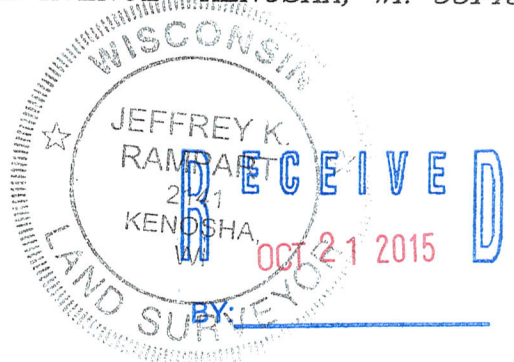
- for -

Joan Knapp

(Re-division of N. 390 ft. of Parcel 2 of CSM No. 1814 & N. 390 ft. of Parcel B of CSM No. 734)

in SE1/4 Section 7-1-22

VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WIS.



[Signature]
WISCONSIN REGISTERED LAND SURVEYOR
Dated.....October 16, 2015.....

CERTIFIED SURVEY MAP

I, JEFFREY K. RAMPART, SURVEYOR, hereby certify that I have prepared this certified survey map, the exterior boundaries of which are described as:

Part of Certified Survey Map No. 1814, a plat of record and part of Certified Survey Map No. 734, a plat of record; being a Re-division of the North 390 feet of Parcel 2 of said Certified Survey Map No. 1814 and of the North 390 feet of Parcel B of said Certified Survey Map No. 734; lying and being in part of the Southeast Quarter of Section 7, Town 1 North, Range 22 East of the Fourth Principal Meridian; being in the Village of Pleasant Prairie, Kenosha County, Wisconsin and being more particularly described as: Commencing at the southeast corner of said quarter section; thence North along the east line of said quarter section 2582.00 feet; thence West 312.00 feet; thence N87°58'00"W 875.00 feet to the point of beginning; thence continue N87°58'00"W 205.00 feet; thence South 390.00 feet; thence S87°58'00"E 205.00 feet; thence North 390.00 feet to the point of beginning.



That I have complied with the provisions of chapter 236.34 of the State Statutes on certified surveys and the Village of Pleasant Prairie Land Division and Platting Ordinance.

Dated this 16th day of October, 2015.

SURVEYOR.....*JKR*.....
JEFFREY K. RAMPART

As owner, I hereby certify that I caused the land described on this plat to be surveyed, divided, dedicated and mapped as represented on this plat.

OWNER.....
JOAN KNAPP

OWNER.....
PRINT NAME

STATE OF WISCONSIN
KENOSHA COUNTY S.S.

Personally came before me this day of, 20___, the above named Joan Knapp, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires.....
NOTARY PUBLIC

This certified survey map has been submitted to and approved by the Village Board of the Village of Pleasant Prairie on this day of, 20___.

.....
PLAN COMMISSION CHAIRMAN,
Thomas W. Terwall

.....
VILLAGE CLERK, CMC, Jane M. Romanowski

OWNER
.....

Joan Knapp
8008-107th Avenue
Pleasant Prairie, WI 53158

APPROVED.....
VILLAGE PRESIDENT, John P. Steinbrink



MEMORADUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Michael Pollocoff, Village Administrator

FROM: Matthew Fineour, Village Engineer

SUBJ: Public Works Storage Building
Civil Design Service Agreement

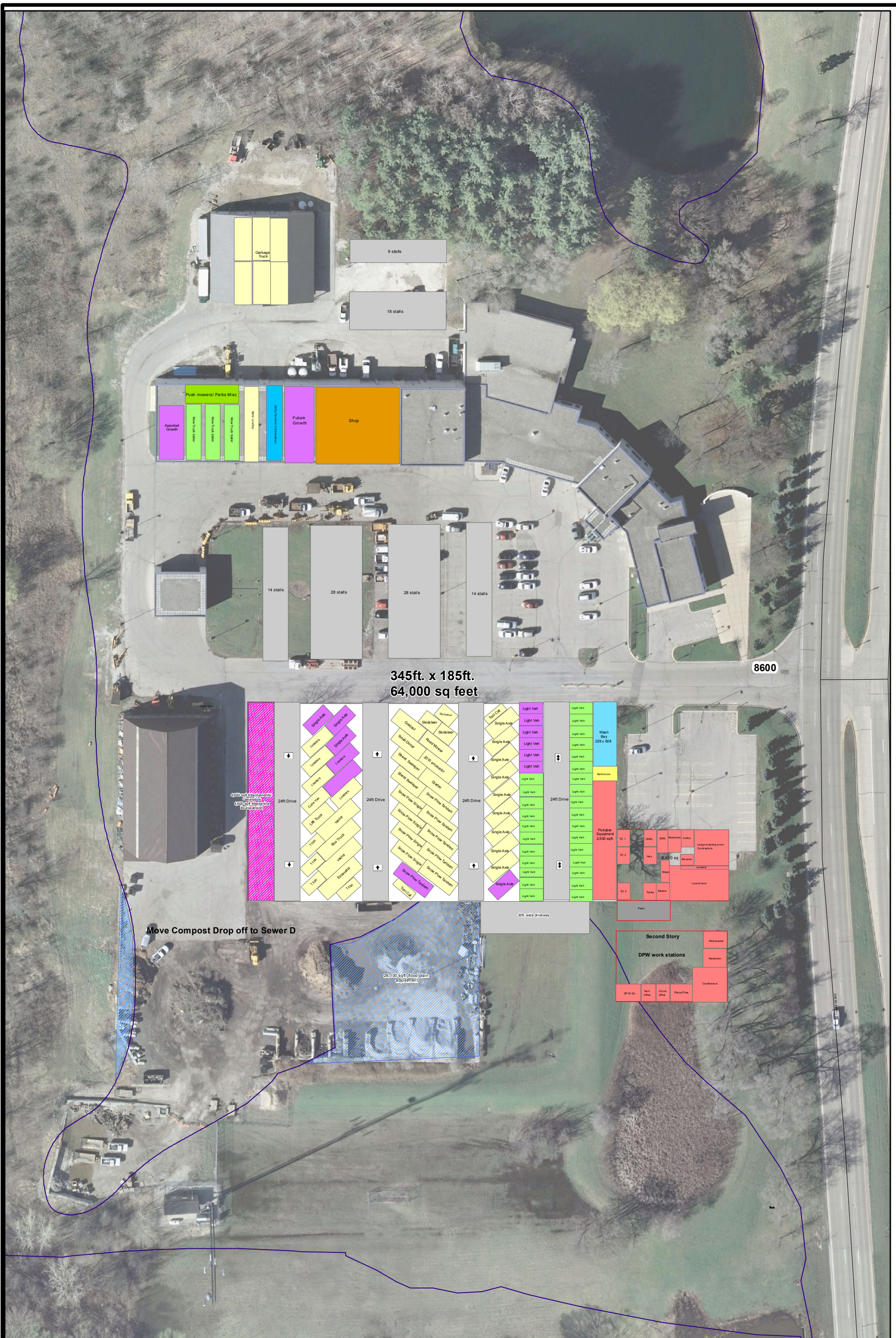
DATE: October 11, 2015

Executive Summary:

The following is a Professional Service Agreement from RA Smith National, Inc., to provide civil design services supporting the construction of the Public Works Storage Building. The proposed storage building will provide space for municipal equipment and will be located at the Prange facility complex.

The service agreement is a time and material contract not to exceed \$74,200. Professional services include survey, design, permitting, coordination, and a necessary floodplain adjustment. It is recommended that the Village Board approve the Professional Service Agreement with RA Smith National, Inc.

Attachments: Professional Service Agreement
Project Overview Map

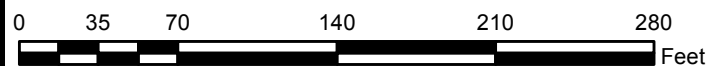


345ft. x 185ft.
64,000 sq feet

8600

Move Compost Drop off to Sewer D

25,000 sq ft flood plain adjustment



Village of Pleasant Prairie
Department of Public Works

- Legend**
- Floodplain_Clip
 - Flood Plain Adjustment
 - 25% Future storage



Sheet No.
01

PPPW Building
 Drawn By: Justin Bain
 Checked by:
 Date: 2/25/2015

November 9, 2015

Mr. Matthew J. Fineour, P.E.
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158-6504

Re: Proposal for Professional Services
Civil Design for the Roger Prange Municipal Center Expansion

Dear Matt:

Thank you for this opportunity to provide a quotation for professional services for the Roger Prange Municipal Center Expansion project. The contents of this proposal letter spell out the Project Understanding, Scope of Services to be provided, the proposed Completion Schedule, the Professional Fees, the Assumptions and Conditions under which this proposal is being made, and the Services Not Included.

I. PROJECT NAME AND UNDERSTANDING: Roger Prange Municipal Center Expansion

The redevelopment project site is located at 8600 Green Bay Road in the Village of Pleasant Prairie, Tax Key No. 92-4-122-152-0301 (71 Acres). The project area is currently home to the Village's Police Department and Public Works facilities, including their garbage/recycling and compost centers. It is our understanding that the Village would like to construct an approximate 64,000 square foot building on site in the year 2016 for vehicle and equipment storage. This building will also have a wash bay, restrooms, kitchenette, and several rooms for offices, conference rooms, and plan files. This project also includes expanding the existing parking lot to the north of the new building and modifying the existing materials storage area to the south of the new building.

A wetland delineation was conducted on this site by R.A. Smith National in October 2015 and provided to the Village for use in coordinating a conceptual site layout with the Village's architect. This concept layout is attached as Exhibit 'A'.

II. SCOPE OF SERVICES TO BE PROVIDED:

R.A. Smith National will provide the following civil design services for this site. A corresponding detailed level of effort is attached as Exhibit 'B'.

1. Preliminary field survey and base map preparation. A detailed survey scope of work and boundary are shown on Exhibit 'C'.
2. Pre-design site visit.
3. Assist Village with procuring geotechnical services (soil borings) via RFP.
4. Kickoff meeting with Village and architect.
5. Evaluate existing drainage system capacity.
6. Identify and evaluate possible drainage improvements.
7. Identify and evaluate sewer and water services/lateral sizing.
8. Prepare preliminary grading and paving exhibit.
9. Prepare preliminary site utility exhibit.
10. Attend preliminary plan review meeting.

Deliver excellence, vision, and responsive service to our clients.

11. Prepare 50% construction plans and opinion of probable cost (no construction details).
12. Attend 50% Plan review meeting.
13. Identify utility conflicts and coordinate with utility owners.
14. Prepare 90% construction plans and opinion of probable cost.
15. Attend 90% Plan review meeting.
16. Constructability review.
17. Prepare written storm water management plan.
18. Coordinate with WDNR and USACE and prepare waterway/wetland permit applications.
19. Prepare and submit DSPS permit application for exterior utilities (sanitary and storm sewer, water main).
20. Coordinate with WisDOT and prepare grading w/in right-of-way permit.
21. Prepare final plans, specs, and opinion of probable costs.
22. CDA Floodplain Boundary Adjustment (FBA) application.
23. Assist Village with bidding, attend bid opening, and evaluate bids w/letter of recommendation.
24. Attend pre-construction meeting.
25. Provide digital files for project construction.
26. Provide engineering support services during construction.
27. As-built topographic map for FBA.
28. As-built survey of Public Utilities.
29. Letter of Map Revision based on Fill (LOMR-F).

III. COMPLETION SCHEDULE:

R.A. Smith National, Inc. will work with the Village to determine a reasonable completion schedule.

IV. PROFESSIONAL FEES:

The above-described services will be provided for on a time-and-expense basis. We estimate our total fee not exceed \$74,200. This amount includes permit application fees. We will bill you monthly with an itemized statement for the time and expenses incurred on the project.

V. ASSUMPTIONS AND CONDITIONS:

Our estimated fees are based on the following set of assumptions and conditions. Deviations from these may result in additional fees:

- A. The Village will provide record drawings of any sanitary sewer and water mains in the area, and any other existing data pertinent to the proposed project. Verification of information provided by others is not a part of the Scope of Services; therefore, any problems arising out of the use of such information shall not be the responsibility of R.A. Smith National, Inc.

- B. The Village will reimburse R.A. Smith National for all permit fees identified in Exhibit 'B', and any additional (unforeseen) permits that may be required.
- C. The Client/Owner shall provide CAD file(s) of the proposed building with doorway locations, roof drains, sanitary and storm sewer connections, water connections, Geotechnical report with pavement and compaction requirements, and any other existing data pertinent to the proposed project. Verification of information provided by others is not a part of the Scope of Services; therefore, any problems arising out of the use of such information shall not be the responsibility of R.A. Smith National, Inc.
- D. Proposal assumptions are based on the attached site plan and general project limits.
- E. On-site inspection services shall be provided by the Village.
- F. After design work has commenced, any revisions including building and site plan changes requested by the Village or Architect, or necessitated by conditions beyond our control, will be considered extra work requiring additional compensation.

VI. SERVICES NOT INCLUDED:

Services other than those described above and those shown on the list in Exhibit 'B' are not included as part of this project and, therefore, are not reflected in our estimate of fees. If requested, these services will be performed on an hourly, time-and-material basis according to the attached Professional Fees Rate Schedule, unless other arrangements are agreed upon.

The attached Standard General Contract Terms for Professional Services are hereby made part of this Agreement. If there are any questions concerning those, or the terms as presented, please contact us. To authorize R.A. Smith National, Inc. to proceed please sign and return one original contract to our office.

We look forward to a very successful project!

Sincerely,
R.A. Smith National, Inc.



Gary E. Raasch, P.E., CFM
Senior Project Manager

R.A. Smith National, Inc.



Kristen J. Belan, P.E., CFM
Project Manager

Enclosures

STANDARD GENERAL CONTRACT TERMS FOR PROFESSIONAL SERVICES

1. All of the work described herein shall be completed in accordance with generally and currently accepted engineering and surveying principles and practices.

2. Unless otherwise specifically included in the proposal, PROFESSIONAL'S scope of work shall not include geotechnical or environmental audits for the identification of hazardous wastes, wetlands, floodplains or any other structural or environmental qualities of land or air.

3. PROFESSIONAL strongly recommends that a geotechnical ENGINEER be engaged in the preliminary phases of the work to conduct field investigations, and analysis and prepare a report on the soils conditions.

4. PROFESSIONAL shall not be responsible for the means, methods, techniques, sequences or procedures of construction selected by the Contractor or CLIENT, or the safety precautions and programs incident to the work of the Contractor, nor shall he be responsible for the failure of the Contractor to perform the construction work in accordance with the Contract Documents.

5. All original papers, electronic files, and documents, and copies thereof, produced as a result of this contract shall remain the property of the PROFESSIONAL.

6. In the event all or any portion of the work prepared or partially prepared by the PROFESSIONAL is suspended, abandoned, or terminated, the CLIENT shall pay the PROFESSIONAL all fees, charges and expenses incurred to date. Professional may suspend or terminate this Agreement upon seven (7) days written notice if the CLIENT fails to substantially perform in accordance with this Agreement.

7. PROFESSIONAL cannot be held responsible for project schedule delays caused by weather, violence, acts of God, and public agencies or private businesses over which it has no control. PROFESSIONAL shall act only as an advisor in all governmental relations.

8. All electronic files transferred to CLIENT or his DESIGNEE by PROFESSIONAL are provided solely for the convenience of the CLIENT and are warranted only to the extent that they conform to the original document(s) produced by PROFESSIONAL.

9. Payment for invoices is due upon receipt; amounts outstanding after 30 days from the date of invoice will be considered delinquent and subject to a service charge at the rate of 1% compounded monthly.

The CLIENT further agrees to pay PROFESSIONAL any and all expenses incurred in recovering any delinquent amounts due, including attorney's fees and court costs.

10. The CLIENT agrees to limit PROFESSIONAL, by its agents or employees, total liability to the CLIENT and to all Construction Contractors and Subcontractors on the Project, due to PROFESSIONAL'S professional negligent acts, errors, omissions, strict liability, breach of contract, or breach of warranty and for any and all injuries, claims, losses, expenses, damages, or claim expenses arising out of this Agreement from any cause or causes, such that the total aggregate liability of PROFESSIONAL to those named shall not exceed the percentage share that PROFESSIONAL'S negligence bears to the total negligence of all negligent entities and individuals, and shall not exceed Fifty

Thousand Dollars (\$50,000.00) or the total fee for services rendered under this Agreement, whichever is less.

11. Both parties agree that all disputes, including, but not limited to errors, liability, claims for services and fees, expenses, losses, etc., shall, at the sole and exclusive option of PROFESSIONAL, be submitted for non-binding mediation, a prerequisite to further legal proceedings.

12. Nothing contained in this Agreement shall create a contractual relationship with or a cause of action in favor of a third party against either the CLIENT or the PROFESSIONAL. The PROFESSIONAL'S services under this Agreement are being performed solely for the CLIENT'S benefit, and no other entity shall have any claim against the PROFESSIONAL because of this Agreement or the performance or nonperformance of services hereunder.

13. AS REQUIRED BY THE WISCONSIN LIEN LAW, PROFESSIONAL HEREBY NOTIFIES CLIENT THAT PERSONS OR COMPANIES FURNISHING LABOR FOR ENGINEERING OR SURVEYING FOR THE CONSTRUCTION ON OWNER'S LAND, MAY HAVE LIEN RIGHTS ON OWNER'S LAND AND BUILDING IF NOT PAID. THOSE ENTITLED TO LIEN RIGHTS, IN ADDITION TO THE UNDERSIGNED, ARE THOSE WHO GIVE THE CLIENT NOTICE WITHIN 60 DAYS AFTER THEY FIRST FURNISH LABOR OR MATERIALS FOR THE CONSTRUCTION. ACCORDINGLY, CLIENT PROBABLY WILL RECEIVE NOTICES FROM THOSE WHO FURNISH LABOR OR MATERIALS FOR THE SURVEYING OR ENGINEERING SERVICES, AND SHOULD GIVE A COPY OF EACH NOTICE RECEIVED TO THE OWNER AND MORTGAGE LENDER, IF ANY. PROFESSIONAL AGREES TO COOPERATE WITH THE CLIENT AND THE CLIENT'S LENDER, IF ANY, TO SEE THAT ALL POTENTIAL LIEN CLAIMANTS ARE DULY PAID, IF APPLICABLE.

R.A. Smith National, Inc. 16745 West Bluemound Road, Suite 200 Brookfield, WI 53005-5938 Gary E. Raasch, P.E. Senior Project Manager

PROFESSIONAL

By: [Signature of Gary E. Raasch]

Date: November 9, 2015

PROJECT: Roger Prange Municipal Center Expansion

The above and foregoing proposal is hereby accepted and PROFESSIONAL is authorized to proceed with the work.

Village of Pleasant Prairie 9915 39th Avenue Pleasant Prairie, WI 53158-6504

CLIENT

By: _____

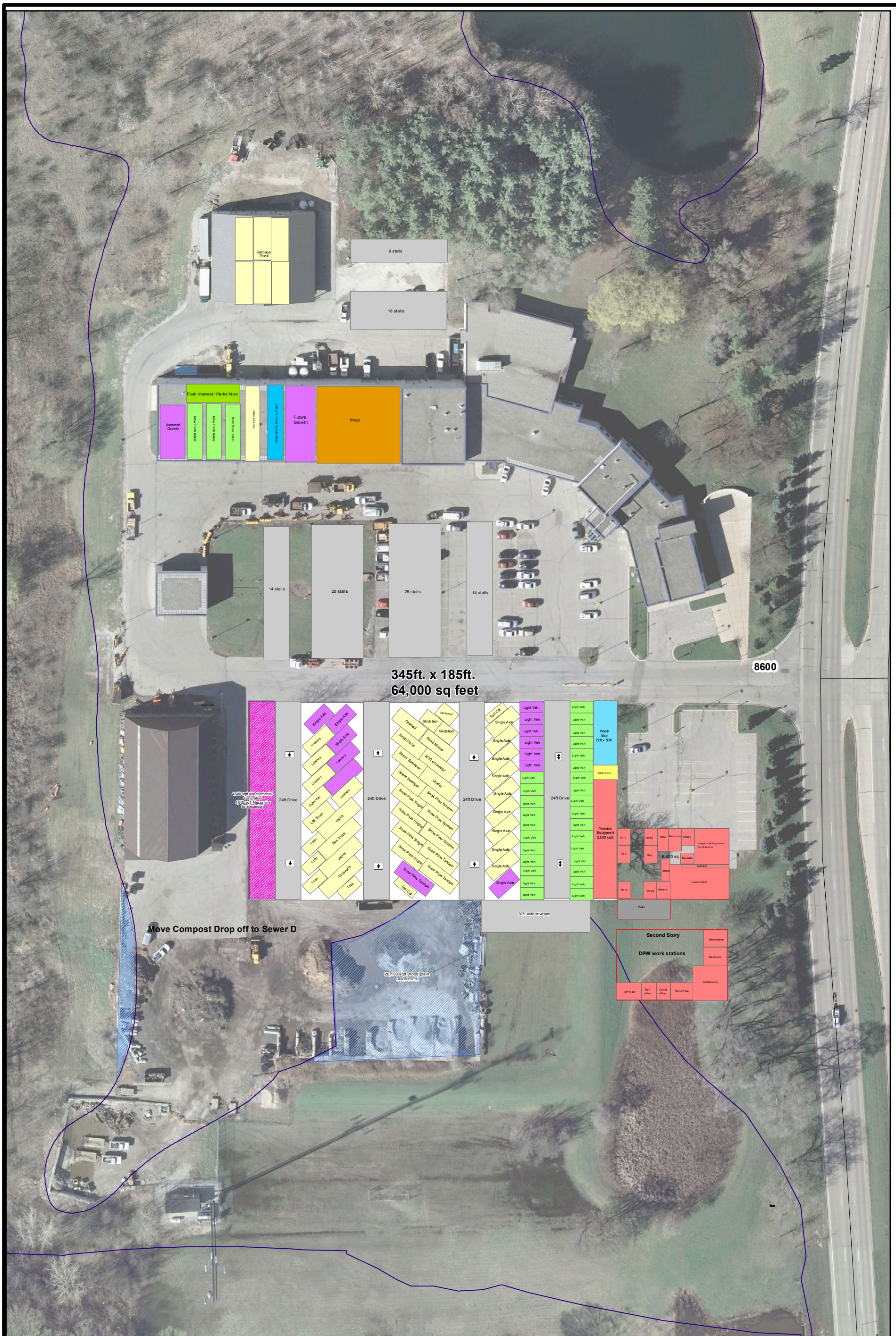
Printed Name: _____

CLIENT and R.A. Smith National, Inc. agree that digital and electronically reproduced signatures such as by facsimile transmission or email are valid for execution or amendment of this Agreement and that electronic transmission/ facsimile is an authorized form of notice to proceed.

Title: _____ Date: _____

©2015 R.A. SMITH NATIONAL, INC.

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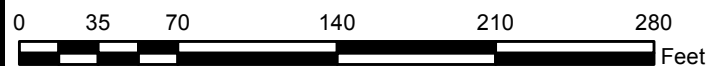


345ft. x 185ft.
64,000 sq feet

8600

Move Compost Drop off to Sewer D

26,000 sq ft flood plain adjustment



Village of Pleasant Prairie
Department of Public Works

- Legend**
- Floodplain_Clip
 - Flood Plain Adjustment
 - 25% Future storage



Sheet No.
01

PPPW Building
 Drawn By: Justin Bain
 Checked by:
 Date: 2/25/2015

EXHIBIT 'B'

Roger Prange Municipal Center Expansion
Level of Effort & Compensation

Task	Staff Hours / Hourly Rate											Total Hours	Reimbursable Expense	Cost
	Design and Constructability Review Team							Preliminary Field Work and Asbuilt Survey Team						
	Gary Raasch	Kristen Belan	Cindi DeBruine	Paul Arend	Jon McAnally	Josh Bartlett	Paul Schaefer	Eric Sturm	Dean Hintz; Chad Kurtz	Brandon Jurmu				
	Senior Water Resources Project Manager	Project Manager	Senior Water Resources Engineer	Senior Project Engineer	Civil Engineer	Engineering Technician	Municipal Construction Services Manager	Survey Project Manager	2-Man Field Crew	Survey Technician				
	\$145	\$133	\$126	\$133	\$90	\$85	\$139	\$118	\$175	\$85		As noted		
Preliminary field survey and base map preparation		2						6	24	21	53	\$ 700	Title Report (1)	\$7,659
Pre-design site visit		3									3			\$399
Assist Village with procuring geotechnical services (soil borings) via RFP		8						1	4		13			\$1,882
Kickoff meeting with Village and architect		5		4							9			\$1,197
Evaluate existing drainage system capacity		2			12						14			\$1,346
Identify & evaluate possible drainage improvements		2			16						18			\$1,706
Identify and evaluate sewer and water services/lateral sizing		1		12							13			\$1,729
Prepare preliminary grading and paving exhibit		4		12							16			\$2,128
Prepare preliminary site utility exhibit		1		8							9			\$1,197
Attend preliminary plan review meeting		5		4							9			\$1,197
Prepare 50% construction plans and opinion of probable cost (no construction details)	2	8		16		16					42			\$4,842
Attend 50% Plan review meeting		5		4							9			\$1,197
Identify utility conflicts and coordinate with utility owners		1		6							7			\$931
Prepare 90% construction plans and opinion of probable cost	2	4		40		24					70			\$8,182
Attend 90% Plan review meeting		5									5			\$665
Constructability review		1					2				3			\$411
Prepare written storm water management plan		2			14						16			\$1,526
Coordinate with WDNR and USACE and prepare waterway/wetland permit applications	2	24									26	\$ 535	WL Exempt. Req. & WRAPP (NOI)	\$4,017
Prepare and submit DSPS permit application for exterior utilities (sanitary and storm sewer, water)		1		16							17	\$ 980	General Plumbing Permit	\$3,241
Coordinate with WisDOT and prepare grading w/in right-of-way permit		12									12			\$1,596
Prepare final plans, specs, and opinion of probable costs		40		12	8	40					100			\$11,036
CDA Floodplain Boundary Adjustment (FBA) application		12	2		16						30			\$3,288
Assist Village with bidding, attend bid opening, and evaluate bids w/letter of recommendation		12									12			\$1,596
Attend pre-construction meeting		4									4			\$532
Provide digital files for project construction						1					1			\$85
Provide engineering support services during construction		8									8			\$1,064
As-built topographic map for FBA		1						2	8	4	15			\$2,109
As-built survey of Public Utilities		1						2	6	4	13			\$1,759
Letter of Map Revision based on Fill (LOMR-F)		1	40								41	\$ 425	FEMA Review Fee	\$5,598
Total	6	175	42	134	66	81	2	11	42	29	588	\$ 2,640	N/A	\$74,115

Services not included:

- Landscape architecture
- Lighting design
- Building demolition plans or asbestos surveys
- Survey of existing materials piles
- Attendance at public meetings
- Retaining wall design
- Archeological and historical survey and/or permitting
- Signing and striping plan
- Updating the 2008 SWPPP
- Off-site/public improvement design (e.g. modifications to site entrance within STH 31 right-of-way)
- Above ground and underground storage tank improvements
- Village shoreland zoning permit application
- Easement document preparation
- Geotechnical investigation (soil boring) work plus report

EXHIBIT 'C'

PROJECT LOCATION:

Roger Prange Municipal Center, 8600 Green Bay Road, Village of Pleasant Prairie
Tax key No. 92-4-122-152-0301 (71 Acres)

COST I – Preliminary Topographic and Utility Survey

R. A. Smith National, Inc. will prepare a Topographic and Utility Survey of approximately 13 acres as depicted.

Scope includes:

- Staking and depicting the West line of STH 31 per State Highway Plats 3330-00-20 (1987) and 3330-01-20 (1990)
- Work will be performed on State Plane Coordinates and will utilize NGVD29 vertical datum. Site Benchmarks will be set
- Location of building, including first floor grades
- Individual trees 8” or larger, or tree lines of thickly wooded areas.
- Location of improvements, utilities, signs, culverts, etc... with the depicted limits.
- Preparation of one legal description and exhibit for removal of lands from the floodplain.

Visible utilities will be mapped to the extent feasible. Sanitary and storm sewer depths will be obtained by field measurements at manholes, where possible. Line sizes will be taken from available plans. Other underground utilities will be shown according to public utility plans provided to us by local municipal agencies and/or private utility plans provided to us by the client. We will also locate and show utilities as marked by Diggers Hotline based on one marking request. The accuracy or completeness of underground utility information not visible or accessible cannot be guaranteed by the surveyor. Safety issues prohibit surveyors from entering certain utility structures.

Items not included:

- Plat of Survey of entire property
- Locations or details of materials stored on site
- Preparation of FEMA forms, fees and submittals (this will be done by R.A. Smith National Design Team under separate scope)

ESTIMATED COMPLETION SCHEDULE:

The above services will be completed in approximately 4 weeks of acceptance of this proposal.

PROFESSIONAL FEES:

The above services will be provided for a lump sum fee of \$6,900.

This proposal is based on performing the fieldwork prior to snow coverage.

Usual and customary expenses such as postage, delivery, and documents purchased are not included in fees and will be invoiced at cost.

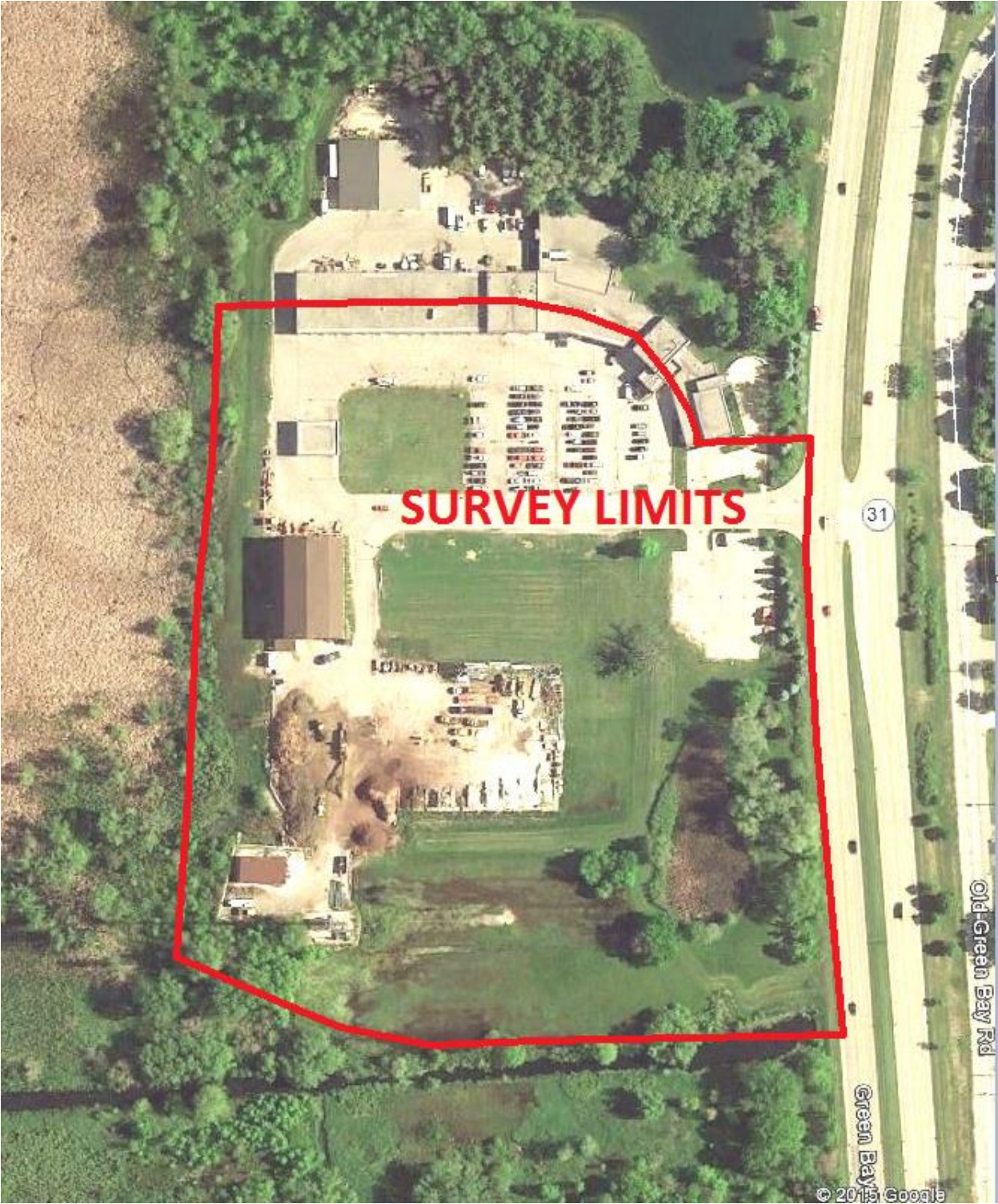
At the Client's request, R.A. Smith National, Inc. will solicit an outside service to obtain copies of the last deed and easements of public record. However, R.A. Smith National, Inc. will not verify the accuracy of title information. Client assumes the risk that the documents provided describe the entire lands they intend R.A. Smith National, Inc. to survey and are complete with regards to easements and other pertinent encumbrances. A cursory review of this property shows that it used to be about 30 different pieces of land, so it is a more complex search. These services will be invoiced as a reimbursable expense and is estimated at \$700 and is not included in the lump sum fee of \$6,900.

COST II – Asbuilt Topographic and Utility Survey

As-Built Topographic Map for area of 0.7 Acre flood plain adjustment.

Timeframe: approximately 1 week from authorization. \$1,900.

As-Built of Public Utilities. Scope includes fieldwork only. Drafting of as-built plans is not included. Timeframe: 2 weeks from authorization. \$1,600.



Roger Prange Municipal Center Expansion
Level of Effort & Compensation

Task	Staff Hours / Hourly Rate										Total Hours	Reimbursable Expense		Cost
	Design and Constructability Review Team						Preliminary Field Work and Asbuilt Survey Team							
	Gary Raasch	Kristen Belan	Cindi DeBruine	Paul Arend	Jon McAnally	Josh Bartlett	Paul Schaefer	Eric Sturm	Dean Hintz; Chad Kurtz	Brandon Jurmu				
	Senior Water Resources Project Manager	Project Manager	Senior Water Resources Engineer	Senior Project Engineer	Civil Engineer	Engineering Technician	Municipal Construction Services Manager	Survey Project Manager	2-Man Field Crew	Survey Technician				
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Services not included:

- Landscape architecture
- Lighting design
- Building demolition plans or asbestos surveys
- Survey of existing materials piles
- Attendance at public meetings
- Retaining wall design
- Archeological and historical survey and/or permitting
- Signing and striping plan
- Updating the 2008 SWPPP
- Off-site/public improvement design (e.g. modifications to site entrance within STH 31 right-of-way)
- Above ground and underground storage tank improvements
- Village shoreland zoning permit application
- Easement document preparation
- Geotechnical investigation (soil boring) work plus report

Purchase Order

Fiscal Year 2015

Page 1 of 1



THIS NUMBER MUST APPEAR ON ALL INVOICES, PACKAGES AND SHIPPING PAPERS.
 Purchase Order # **1503466-00**

BILL TO

VILLAGE OF PLEASANT PRAIRIE
 9915 39TH AVENUE
 PLEASANT PRAIRIE, WI 53158
 262-694-1400

VENDOR

R.A. SMITH NATIONAL
 ATTN: ACCOUNTING DEPT
 16745 W BLUEMOUND RD STE 200
 BROOKFIELD WI 53005-5938

SHIP TO

Village of Pleasant Prairie
 9915 39th Ave
 Pleasant Prairie WI 53158

Vendor Phone Number	Vendor Fax Number	Requisition Number	Contact Name
		3754	Francine Hooper

Date Ordered	Vendor Number	Date Required	Freight Method/Terms	Department/Location
11/11/2015	2342			Engineering

Item#	Description/Part No.	Qty	UOM	Unit Price	Extended Price
1	R.A. Smith National P.S.A. Pra The Above Purchase Order Number Must Appear On All Correspondence - Packing Sheets And Bills Of Lading Remember to give PO# when ordering. Professional services for civil design for the Roger Prange Municipal Center Expansion	1.0	EACH	\$74,200.000	\$74,200.00

By *Michael Deery*
 Village Administrator

PO Total	\$74,200.00
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RESOLUTION #15-33

**RESOLUTION AUTHORIZING THE PLACING OF
UTILITIES AND SPECIAL CHARGES ON THE TAX ROLL
VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WISCONSIN**

WHEREAS, there are various miscellaneous expense items which have not been paid as requested per invoices; and,

WHEREAS, pursuant to Section 66.0627 of the Wisconsin State Statutes, the Village of Pleasant Prairie is authorized to collect special charges.

NOW, THEREFORE, BE IT RESOLVED, that the Village Clerk of the Village of Pleasant Prairie, Kenosha County, Wisconsin is hereby directed to place certain utilities and special charges in the total amount of \$447,784.38 on the 2015 tax roll for collection, as per attached listing.

Passed and adopted this 16th day of November, 2015.

VILLAGE OF PLEASANT PRAIRIE

John P. Steinbrink, President

Attest:

Jane M. Romanowski, Clerk

Posted: _____

**Village of Pleasant Prairie
2015 Tax Roll Summary**

Special Charges

Delinquent Invoices	\$34,182.46	
Delinquent Utilities	366,759.20	
Delinquent Kenosha Water Utility Bills	<u>10,705.44</u>	
		\$411,647.10

Special Assessments

Paving, Road Construction & Storm Sewer	\$2,912.06	
Clean Water	8,889.96	
Sewer	5,036.21	
TID	12,009.38	
Water	<u>7,289.67</u>	
		<u>36,137.28</u>

Total Special Assessments & Special Charges	<u><u>\$447,784.38</u></u>
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Village of Pleasant Prairie
2015 Tax Roll Invoices

Invoice#	Date	Parcel #	Account #	Description	Bill to Name	Owners Name	Amount	Tax Roll Interest	Amount Due
20132011	04/03/13	92-4-122-164-0103	06010000	Sanitary Sewer	MEIJER DISTRIBUTION INC		1,413.78	141.38	1,555.16
20132065	09/18/13	92-4-122-164-0103	06010000	Sanitary Sewer	MEIJER DISTRIBUTION INC		243.03	24.30	267.33
20140172	04/29/14	92-4-122-164-0103	06010000	Sanitary Sewer	MEIJER DISTRIBUTION INC		450.85	45.09	495.94
20150790	06/30/15	92-4-122-164-0103	01000000	Legal Fees	MEIJER DISTRIBUTION INC		238.50	23.85	262.35
20140816	10/10/14	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		204.97	20.50	225.47
20140943	11/11/14	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		201.52	20.15	221.67
20141077	12/03/14	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		150.58	15.06	165.64
20141172	12/23/14	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		34.38	3.44	37.82
20141280	12/31/14	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		130.49	13.05	143.54
20150075	02/25/15	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		312.52	31.25	343.77
20150206	04/16/15	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		168.55	16.86	185.41
20150321	05/19/15	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		374.32	37.43	411.75
20150465	06/29/15	93-4-123-311-0275	06010000	Sanitary Sewer	RAY RADIGANS		164.79	16.48	181.27
20150570	08/07/15	92-4-122-233-0321	01000000	Weed	M & I MARSHALL & ILSLEY BANK		728.73	72.87	801.60
20150410	06/25/15	91-4-122-133-0525	06020000	Water	KLINKHAMMER, ALVIN		6,696.05	669.61	7,365.66
20141352	12/31/14	91-4-122-081-0134	01000000	Legal Fees	CALOWICH, DAVID	SB1 Pleasant Prairie WI LLC	1,336.71	133.67	1,470.38
20140479	07/18/14	91-4-122-081-0134	01000000	Legal Fees	CALOWICH, DAVID	SB1 Pleasant Prairie WI LLC	4,467.62	446.76	4,914.38
20140526	07/29/14	92-4-122-351-0125	01000000	Weed	ZIETH, RONALD	Federal Home Loan Mortgage Co	237.16	23.72	260.88
20140862	10/15/14	93-4-123-194-0150	01000000	Demolition Service	ZORC, BARBARA		8,837.69	883.77	9,721.46
20141110	12/19/14	92-4-122-181-0174	01000000	Weed	MICELI, JOSEPH		770.49	77.05	847.54
20141202	12/31/14	93-4-123-311-0055	01000000	Weed	COOK, ROBERT	SOUTH SHERIDAN ROAD LLC	290.57	29.06	319.63
20141392	12/31/14	92-4-122-361-0307	01000000	Weed	MELE BELLA TRUST		801.56	80.16	881.72
20150227	04/16/15	91-4-122-114-0172	01000000	Weed	4 ACES, LLC		589.15	58.92	648.07
20150547	07/23/15	91-4-122-114-0172	01000000	Weed	4 ACES, LLC		156.76	15.68	172.44
20150230	04/16/15	93-4-123-304-1405	01000000	Weed	GORNIAK, FRANK		206.00	20.60	226.60
20141096	12/15/14	92-4-122-302-0350	01000000	Weights and Measures	UNDER ARMOUR RETAIL, INC	Prime Outlets at PL PR LLC	71.22	7.12	78.34
20150545	07/23/15	92-4-122-302-0350	01000000	Police	UNDER ARMOUR RETAIL, INC	Prime Outlets at PL PR LLC	203.01	20.30	223.31
20150519	07/14/15	92-4-122-302-0350	01000000	Police	POLO	Prime Outlets at PL PR LLC	540.75	54.08	594.83
20141080	12/15/14	92-4-122-302-0350	01000000	Weights and Measures	AMERICAN EAGLE OUTFITTE	Prime Outlets at PL PR LLC	284.49	28.45	312.94
20141098	12/15/14	92-4-122-302-0350	01000000	Weights and Measures	VITAMIN WORLD	Prime Outlets at PL PR LLC	71.22	7.12	78.34
Total Invoices							30,377.46	3,037.75	33,415.21
08/21/13	91-4-122-023-0540	0503000	Fire	U G Motors	Community State Bank		50.00	5.00	55.00
09/10/13	93-4-123-312-0021	0503000	Fire	Transcendental Golf	John Thomsen		50.00	5.00	55.00
10/10/13	93-4-123-302-0220	0503000	Fire	A-1 Marine & Auto	Michael Melvin Surdel		50.00	5.00	55.00
03/21/15	91-4-122-113-0396	0503000	Fire	David Wakely	Nancy Wawiorka		472.50	47.25	519.75
09/19/14	93-4-123-314-0225	0503000	Fire	Sheridan Auto Body	George Lyons		75.00	7.50	82.50
Total Fire							697.50	69.75	767.25
Grand Total							31,074.96	3,107.50	34,182.46

Summary 2015 Preliminary Utility Tax Roll

	Service Balance	Certification Penalty	Total Balance
Water	\$81,322.03	\$8,030.58	\$89,352.61
Sewer	\$143,392.68	\$14,245.98	\$157,638.66
Garbage	\$65,671.56	\$6,524.21	\$72,195.77
Clean Water	\$47,025.81	\$4,688.64	\$51,714.45
General	\$980.86	\$98.08	\$1,078.94
	<u>\$338,392.94</u>	<u>\$33,587.49</u>	<u>\$371,980.43</u>
Less Somers (Sewer)	-\$4,746.58	-\$474.65	-\$5,221.23
Total PP Tax Roll	\$333,646.36	\$33,112.84	\$366,759.20
Plus Kenosha (Water)	\$9,732.21	\$973.23	\$10,705.44
Total Tax Roll	\$343,378.57	\$34,086.07	\$377,464.64

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
CONNOR, IRIS				
12103.01 <i>91-4-122-112-0035</i>	SEWER	357.82	35.78	393.60
4723 75TH ST	GARBAGE	124.42	12.44	136.86
		<u>482.24</u>	<u>48.22</u>	<u>530.46</u>
LYNCH, PEGGY				
27044.01 <i>91-4-122-092-0300</i>	WATER	177.49	17.75	195.24
7801 88TH AVE #303		<u>177.49</u>	<u>17.75</u>	<u>195.24</u>
KINGS COVE HOA				
80027.00 <i>93-4-123-303-0113</i>	ST LIGHT	318.12	31.81	349.93
KINGS COVE STREET LIGHTING		<u>318.12</u>	<u>31.81</u>	<u>349.93</u>
80-4-122-031-0434 CURRENT OCCUPANT				
44565.00	SEWER	843.80	84.38	928.18
6223 63RD ST		<u>843.80</u>	<u>84.38</u>	<u>928.18</u>
80-4-122-031-0486 AMANN, SUSAN				
44480.00	SEWER	843.80	84.38	928.18
6630 62ND AVE		<u>843.80</u>	<u>84.38</u>	<u>928.18</u>
80-4-122-031-0536 HERNANDEZ, IVAN				
44230.01	SEWER	843.72	84.37	928.09
6530 61ST AVE		<u>843.72</u>	<u>84.37</u>	<u>928.09</u>
80-4-122-031-0576 SCHMIDT, ERWIN				
43970.01	SEWER	685.73	68.57	754.30
6340 60TH AVE		<u>685.73</u>	<u>68.57</u>	<u>754.30</u>
80-4-122-031-0578 PRUDOM, ROBERT				
43980.01	SEWER	685.73	68.57	754.30
6404 60TH AVE		<u>685.73</u>	<u>68.57</u>	<u>754.30</u>
80-4-122-031-0620 NIELSON, MATTHEW				
44630.01	SEWER	843.80	84.38	928.18
6219 64TH ST		<u>843.80</u>	<u>84.38</u>	<u>928.18</u>
91-4-122-023-0362 COOPER, JERRY				
43280.00	SEWER	213.51	21.35	234.86
7037 52ND AVE	GARBAGE	74.09	7.41	81.50
	CL WATER	20.16	2.02	22.18
	BULK	40.80	4.08	44.88
		<u>348.56</u>	<u>34.86</u>	<u>383.42</u>
91-4-122-023-0486 VENARD, WILLIE				
46685.05	SEWER	676.21	67.62	743.83
5103 HARRISON RD	GARBAGE	232.48	23.25	255.73
	CL WATER	45.82	4.58	50.40

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VILLAGE OF PLEASANT PRAIRIE
TRANSFER TO TAX ROLL LISTING

Page 2

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		<u>954.51</u>	<u>95.45</u>	<u>1,049.96</u>
91-4-122-023-0568 RUFFOLO, VINCENT & JOHN				
96077.00	CL WATER	<u>121.07</u>	<u>12.11</u>	<u>133.18</u>
73RD ST		<u>121.07</u>	<u>12.11</u>	<u>133.18</u>
91-4-122-023-0570 RUFFOLO, VINCENT & JOHN				
96078.00	CL WATER	<u>110.32</u>	<u>11.03</u>	<u>121.35</u>
5407 73RD ST		<u>110.32</u>	<u>11.03</u>	<u>121.35</u>
91-4-122-023-0582 VARNELL, DAVID				
44780.00	SEWER	<u>674.65</u>	<u>67.46</u>	<u>742.11</u>
5414 73RD ST	GARBAGE	<u>231.96</u>	<u>23.20</u>	<u>255.16</u>
	CL WATER	<u>106.20</u>	<u>10.62</u>	<u>116.82</u>
		<u>1,012.81</u>	<u>101.28</u>	<u>1,114.09</u>
91-4-122-023-0584 WHITEFOOT, KEITH				
44775.07	SEWER	<u>672.66</u>	<u>67.27</u>	<u>739.93</u>
5406 73RD ST	GARBAGE	<u>231.29</u>	<u>23.13</u>	<u>254.42</u>
	CL WATER	<u>89.28</u>	<u>8.93</u>	<u>98.21</u>
		<u>993.23</u>	<u>99.33</u>	<u>1,092.56</u>
91-4-122-023-0592 PASCH, MICHAEL				
44740.04	SEWER	<u>242.35</u>	<u>24.24</u>	<u>266.59</u>
5316 73RD ST	GARBAGE	<u>84.17</u>	<u>8.42</u>	<u>92.59</u>
	CL WATER	<u>30.86</u>	<u>3.09</u>	<u>33.95</u>
		<u>357.38</u>	<u>35.75</u>	<u>393.13</u>
91-4-122-024-0024 CUTLER, CINDY				
42040.00	SEWER	<u>614.52</u>	<u>61.45</u>	<u>675.97</u>
7414 45TH AVE	GARBAGE	<u>226.71</u>	<u>22.67</u>	<u>249.38</u>
	CL WATER	<u>33.30</u>	<u>3.33</u>	<u>36.63</u>
		<u>874.53</u>	<u>87.45</u>	<u>961.98</u>
91-4-122-024-0082 STEVENS, GERI				
42005.01	SEWER	<u>528.62</u>	<u>52.86</u>	<u>581.48</u>
7305 45TH AVE	GARBAGE	<u>182.58</u>	<u>18.26</u>	<u>200.84</u>
	CL WATER	<u>46.69</u>	<u>4.67</u>	<u>51.36</u>
		<u>757.89</u>	<u>75.79</u>	<u>833.68</u>
91-4-122-024-0104 MICHALEK, RAYMOND				
44820.00	SEWER	<u>248.74</u>	<u>24.87</u>	<u>273.61</u>
4416 75TH ST	GARBAGE	<u>99.99</u>	<u>10.00</u>	<u>109.99</u>
	CL WATER	<u>12.03</u>	<u>1.20</u>	<u>13.23</u>
		<u>360.76</u>	<u>36.07</u>	<u>396.83</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-043-0052 COUNTRY CORNER LLC				
90023.01	PFP FIRE	61.34	6.13	67.47
88TH AVE [2]	CL WATER	146.80	14.68	161.48
		<u>208.14</u>	<u>20.81</u>	<u>228.95</u>
91-4-122-054-0014 NEUENDORF, RICHARD				
26014.00	SEWER	657.03	65.70	722.73
9024 67TH ST	GARBAGE	226.00	22.60	248.60
	PFP FIRE	30.97	3.10	34.07
	CL WATER	51.65	5.16	56.81
		<u>965.65</u>	<u>96.56</u>	<u>1,062.21</u>
91-4-122-054-0095 CUMMINGS, THOMAS				
26028.04	SEWER	674.65	67.46	742.11
8912 70TH ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	41.55	4.16	45.71
	CL WATER	90.68	9.07	99.75
		<u>1,038.84</u>	<u>103.89</u>	<u>1,142.73</u>
91-4-122-054-0102 EKORNAAS, JOHN C				
90034.00	PFP FIRE	20.48	2.05	22.53
91ST AVE [1]	CL WATER	149.39	14.94	164.33
		<u>169.87</u>	<u>16.99</u>	<u>186.86</u>
91-4-122-054-0160 RETZLAFF, RONALD				
26118.00	SEWER	674.71	67.47	742.18
7204 89TH AVE	GARBAGE	231.99	23.20	255.19
	PFP FIRE	51.22	5.12	56.34
	CL WATER	65.12	6.51	71.63
		<u>1,023.04</u>	<u>102.30</u>	<u>1,125.34</u>
91-4-122-071-0265 HENRIKSON, JOHN				
20013.00	WATER	624.45	62.44	686.89
7727 105TH AVE	SEWER	582.39	58.24	640.63
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	54.11	5.41	59.52
	CL WATER	69.54	6.95	76.49
		<u>1,562.45</u>	<u>156.24</u>	<u>1,718.69</u>
91-4-122-071-0460 LOPEZ, JUAN				
20378.00	WATER	174.30	17.43	191.73
7923 112TH AVE	SEWER	141.25	14.12	155.37
	GARBAGE	67.17	6.72	73.89
	PFP FIRE	15.52	1.55	17.07
	CL WATER	16.81	1.68	18.49
		<u>415.05</u>	<u>41.50</u>	<u>456.55</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-071-0646 REINDL JR., LEO				
20204.00	WATER	1,154.29	115.43	1,269.72
7851 115TH AVE	SEWER	1,297.99	129.80	1,427.79
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	79.12	7.91	87.03
	CL WATER	131.65	13.16	144.81
		<u>2,895.01</u>	<u>289.50</u>	<u>3,184.51</u>
91-4-122-071-0890 PINTER, DENNIS K				
90090.00	PFP FIRE	12.54	1.25	13.79
77TH PL [9]	CL WATER	477.52	47.75	525.27
		<u>490.06</u>	<u>49.00</u>	<u>539.06</u>
91-4-122-072-0110 TUPANJAC, BRANKO				
90203.00	PFP FIRE	164.65	16.46	181.11
7821 120TH AVE	CL WATER	327.90	32.79	360.69
		<u>492.55</u>	<u>49.25</u>	<u>541.80</u>
91-4-122-073-0010 PUFONT, VICTOR & DEBORAH				
21165.01	WATER	552.96	55.30	608.26
11128 82ND ST	SEWER	494.39	49.44	543.83
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	63.73	6.37	70.10
	CL WATER	898.75	89.88	988.63
		<u>2,241.79</u>	<u>224.19</u>	<u>2,465.98</u>
91-4-122-073-0100 PIGNOTTI, ARTHUR J & BONNIE LO				
90206.00	PFP FIRE	29.59	2.96	32.55
84TH ST	CL WATER	785.10	78.51	863.61
		<u>814.69</u>	<u>81.47</u>	<u>896.16</u>
91-4-122-074-0093 RAUCCI, PETER & AMANDA				
20963.01	WATER	512.87	51.29	564.16
8124 107TH AVE	SEWER	657.97	65.80	723.77
	GARBAGE	231.92	23.19	255.11
	PFP FIRE	31.29	3.13	34.42
	CL WATER	58.45	5.84	64.29
		<u>1,492.50</u>	<u>149.25</u>	<u>1,641.75</u>
91-4-122-074-0096 THOMS, MICHELLE				
20980.03	WATER	287.53	28.75	316.28
10804 82ND ST	SEWER	352.68	35.27	387.95
	GARBAGE	137.04	13.70	150.74
	PFP FIRE	21.18	2.12	23.30
	CL WATER	46.61	4.66	51.27
		<u>845.04</u>	<u>84.50</u>	<u>929.54</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-074-0107 PETRAUSKY, RONALD				
21000.00	WATER	201.54	20.15	221.69
8121 109TH AVE	SEWER	255.82	25.58	281.40
	GARBAGE	231.92	23.19	255.11
	PFP FIRE	43.90	4.39	48.29
	CL WATER	73.40	7.34	80.74
		<u>806.58</u>	<u>80.65</u>	<u>887.23</u>
91-4-122-074-0110 BOOE, TIMOTHY				
21015.00	WATER	233.45	23.34	256.79
8021 109TH AVE	SEWER	281.98	28.20	310.18
	GARBAGE	118.88	11.89	130.77
	PFP FIRE	22.08	2.21	24.29
	CL WATER	32.91	3.29	36.20
		<u>689.30</u>	<u>68.93</u>	<u>758.23</u>
91-4-122-074-0120 MOLETTE, PATRICIA				
21020.00	WATER	240.08	24.01	264.09
8001 109TH AVE	SEWER	306.60	30.66	337.26
	GARBAGE	217.71	21.77	239.48
	PFP FIRE	36.27	3.63	39.90
	CL WATER	64.60	6.46	71.06
		<u>865.26</u>	<u>86.53</u>	<u>951.79</u>
91-4-122-074-0170 SAIPPA, JOHN				
21087.00	WATER	473.15	47.32	520.47
11012 82ND ST	SEWER	594.94	59.49	654.43
	GARBAGE	231.94	23.19	255.13
	PFP FIRE	45.84	4.58	50.42
	CL WATER	180.48	18.05	198.53
		<u>1,526.35</u>	<u>152.63</u>	<u>1,678.98</u>
91-4-122-074-0181 PAVELSKI, JOHN J.				
21110.00	WATER	202.09	20.21	222.30
8111 111TH AVE	SEWER	262.45	26.24	288.69
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	43.45	4.34	47.79
	CL WATER	60.68	6.07	66.75
		<u>800.63</u>	<u>80.06</u>	<u>880.69</u>
91-4-122-074-0182 OWENS, TERESA				
21099.00	WATER	128.60	0.00	128.60
11030 82ND ST	SEWER	152.16	0.00	152.16
	GARBAGE	101.75	0.00	101.75
	PFP FIRE	14.96	0.00	14.96
	CL WATER	25.98	0.00	25.98
	BULK	0.25	0.00	0.25
		<u>423.70</u>	<u>0.00</u>	<u>423.70</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-074-0245 ANDERSEN, GLEN & MICHELLE				
21205.01	WATER	571.87	57.19	629.06
11041 82ND ST	SEWER	741.17	74.12	815.29
	GARBAGE	231.92	23.19	255.11
	PFP FIRE	42.31	4.23	46.54
	CL WATER	144.97	14.50	159.47
		<u>1,732.24</u>	<u>173.23</u>	<u>1,905.47</u>
91-4-122-074-0250 PETERSEN, THOMAS & KAY				
21210.00	WATER	82.36	8.24	90.60
11031 82ND ST	SEWER	84.54	8.45	92.99
	GARBAGE	33.17	3.32	36.49
	PFP FIRE	7.08	0.71	7.79
	CL WATER	20.44	2.04	22.48
		<u>227.59</u>	<u>22.76</u>	<u>250.35</u>
91-4-122-074-0265 HAMRICK, JOHN				
21226.01	WATER	162.60	16.26	178.86
11001 82ND ST	SEWER	206.65	20.66	227.31
	GARBAGE	102.55	10.26	112.81
	PFP FIRE	20.32	2.03	22.35
	CL WATER	62.71	6.27	68.98
		<u>554.83</u>	<u>55.48</u>	<u>610.31</u>
91-4-122-074-0335 DORR, STEVEN				
20632.00	SEWER	674.65	67.46	742.11
10824 83RD PL	GARBAGE	231.96	23.20	255.16
	PFP FIRE	62.59	6.26	68.85
	CL WATER	95.10	9.51	104.61
		<u>1,064.30</u>	<u>106.43</u>	<u>1,170.73</u>
91-4-122-074-0405 BOWMAN, SHIRLEY				
21354.00	WATER	290.28	29.03	319.31
8345 108TH AVE	SEWER	378.38	37.84	416.22
	GARBAGE	230.72	23.07	253.79
	PFP FIRE	44.98	4.50	49.48
	CL WATER	106.70	10.67	117.37
		<u>1,051.06</u>	<u>105.11</u>	<u>1,156.17</u>
91-4-122-074-0460 FROIO, DOUGLAS				
21407.04	WATER	188.15	18.82	206.97
10617 82ND ST	SEWER	222.20	22.22	244.42
	GARBAGE	156.80	15.68	172.48
	PFP FIRE	14.36	1.44	15.80
	CL WATER	39.87	3.99	43.86
		<u>621.38</u>	<u>62.15</u>	<u>683.53</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-074-0470 WILLIS, MICHAEL				
21411.00	WATER	445.00	44.50	489.50
10607 82ND ST	SEWER	557.65	55.76	613.41
	GARBAGE	224.84	22.48	247.32
	PFP FIRE	41.75	4.18	45.93
	CL WATER	160.51	16.05	176.56
		<u>1,429.75</u>	<u>142.97</u>	<u>1,572.72</u>
91-4-122-074-0475 BAYVIEW LOAN SERVICES				
21419.01	WATER	46.52	4.65	51.17
10545 82ND ST	SEWER	96.97	9.70	106.67
	GARBAGE	68.92	6.89	75.81
	PFP FIRE	12.70	1.27	13.97
	CL WATER	45.99	4.60	50.59
		<u>271.10</u>	<u>27.11</u>	<u>298.21</u>
91-4-122-074-0561 LARACENTE JR, HECTOR				
21519.03	WATER	352.02	35.20	387.22
8252 104TH AVE	SEWER	447.47	44.75	492.22
	GARBAGE	160.70	16.07	176.77
	PFP FIRE	31.51	3.15	34.66
	CL WATER	84.95	8.50	93.45
		<u>1,076.65</u>	<u>107.67</u>	<u>1,184.32</u>
91-4-122-074-0575 BURROW, RUTH E.				
21537.00	WATER	144.13	14.41	158.54
8320 104TH AVE	SEWER	187.12	18.71	205.83
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	22.84	2.28	25.12
	CL WATER	56.80	5.68	62.48
		<u>642.85</u>	<u>64.28</u>	<u>707.13</u>
91-4-122-082-0145 WATER STREET LAND LLC				
96091.00	ST LIGHT	180.61	18.06	198.67
77TH AVE	CL WATER	159.90	15.99	175.89
		<u>340.51</u>	<u>34.05</u>	<u>374.56</u>
91-4-122-082-0213 WATER STREET LAND LLC				
96089.00	PFP FIRE	555.02	55.50	610.52
77TH ST [36]	ST LIGHT	185.39	18.54	203.93
	CL WATER	151.50	15.15	166.65
		<u>891.91</u>	<u>89.19</u>	<u>981.10</u>
91-4-122-082-0215 PRAIRIE RIDGE WEST OA				
96088.00	ST LIGHT	87.61	8.76	96.37
77TH ST [35]	CL WATER	83.07	8.31	91.38
		<u>170.68</u>	<u>17.07</u>	<u>187.75</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-083-0055 RANDLE, GARY				
23105.00	WATER	125.12	12.51	137.63
8454 103RD AVE	SEWER	163.49	16.35	179.84
	GARBAGE	95.26	9.53	104.79
	PFP FIRE	13.47	1.35	14.82
	CL WATER	21.08	2.11	23.19
		<u>418.42</u>	<u>41.85</u>	<u>460.27</u>
91-4-122-083-0140 IRVING, DAVID N				
22715.01	SEWER	81.53	8.15	89.68
9928 WILMOT RD	GARBAGE	28.17	2.82	30.99
	PFP FIRE	4.41	0.44	4.85
	CL WATER	10.61	1.06	11.67
		<u>124.72</u>	<u>12.47</u>	<u>137.19</u>
91-4-122-083-0330 FOOTE, STEVEN				
22713.10	WATER	369.55	36.96	406.51
9923 WILMOT RD	SEWER	475.29	47.53	522.82
	GARBAGE	232.02	23.20	255.22
	PFP FIRE	39.88	3.99	43.87
	CL WATER	71.79	7.18	78.97
		<u>1,188.53</u>	<u>118.86</u>	<u>1,307.39</u>
91-4-122-083-0402 GLASSEN, CHARLES & ROBERTA				
27499.01	WATER	107.38	10.74	118.12
10313 82ND ST	SEWER	111.39	11.14	122.53
	GARBAGE	62.52	6.25	68.77
	PFP FIRE	20.09	2.01	22.10
	CL WATER	16.57	1.66	18.23
		<u>317.95</u>	<u>31.80</u>	<u>349.75</u>
91-4-122-083-0441 ANDERSON, MARK & JULIE				
27539.00	WATER	838.46	83.85	922.31
8040 WEST RIDGE DR	SEWER	663.48	66.35	729.83
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	76.81	7.68	84.49
	CL WATER	61.81	6.18	67.99
		<u>1,872.52</u>	<u>187.26</u>	<u>2,059.78</u>
91-4-122-083-0589 BENNETT, BRIDGET				
27587.01	WATER	379.30	37.93	417.23
8482 NORTHVIEW DR	SEWER	469.25	46.92	516.17
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	91.82	9.18	101.00
	CL WATER	66.25	6.62	72.87
		<u>1,238.58</u>	<u>123.85</u>	<u>1,362.43</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-083-0626 CROFT, DAVID & LIANNA				
21909.00	WATER	225.87	22.59	248.46
9702 84TH PL	SEWER	289.41	28.94	318.35
	GARBAGE	119.03	11.90	130.93
	PFP FIRE	36.21	3.62	39.83
	CL WATER	34.40	3.44	37.84
	BULK	20.40	2.04	22.44
		<u>725.32</u>	<u>72.53</u>	<u>797.85</u>
91-4-122-083-0671 SUMMERS, LINDSAY				
27669.02	WATER	64.48	6.45	70.93
8004 103RD AVE	SEWER	58.92	5.89	64.81
	GARBAGE	20.41	2.04	22.45
	PFP FIRE	5.73	0.57	6.30
	CL WATER	5.27	0.53	5.80
		<u>154.81</u>	<u>15.48</u>	<u>170.29</u>
91-4-122-084-0101 SYNERGY PROPERTY HOLDINGS LLC				
27008.01	WATER	433.48	43.35	476.83
9201 WILMOT RD	SEWER	381.79	38.18	419.97
	PR FIRE	82.00	8.20	90.20
	PFP FIRE	84.10	8.41	92.51
	CL WATER	481.53	48.15	529.68
		<u>1,462.90</u>	<u>146.29</u>	<u>1,609.19</u>
91-4-122-084-0102 SYNERGY PROPERTY HOLDINGS LLC				
94421.01	WATER	25.00	2.50	27.50
WILMOT RD [19]	PFP FIRE	12.42	1.24	13.66
	CL WATER	132.45	13.24	145.69
		<u>169.87</u>	<u>16.98</u>	<u>186.85</u>
91-4-122-084-0191 ZICCARELLI, EMILIO				
24041.00	WATER	976.30	97.63	1,073.93
8528 94TH AVE	SEWER	701.72	70.17	771.89
	GARBAGE	228.40	22.84	251.24
	PFP FIRE	98.21	9.82	108.03
	CL WATER	65.25	6.52	71.77
		<u>2,069.88</u>	<u>206.98</u>	<u>2,276.86</u>
91-4-122-092-0275 BARTER, R. CRAIG				
23225.00	SEWER	674.65	67.46	742.11
7915 88TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	68.95	6.90	75.85
	CL WATER	1,194.38	119.44	1,313.82
		<u>2,169.94</u>	<u>217.00</u>	<u>2,386.94</u>
91-4-122-093-1021 KOPP, NICOLE				
21321.00	WATER	37.13	3.71	40.84
8772 84TH ST	SEWER	37.03	3.70	40.73

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	GARBAGE	16.83	1.68	18.51
	PFP FIRE	4.95	0.50	5.45
	CL WATER	5.97	0.60	6.57
		<u>101.91</u>	<u>10.19</u>	<u>112.10</u>
91-4-122-102-0215 SCHROETER, JOANNE				
44667.01	SEWER	616.92	61.69	678.61
7824 69TH AVE	GARBAGE	212.46	21.25	233.71
	CL WATER	59.75	5.98	65.73
	BULK	22.56	2.26	24.82
		<u>911.69</u>	<u>91.18</u>	<u>1,002.87</u>
91-4-122-103-0051 VULCAN LANDS INC				
90307.00	PFP FIRE	27.02	2.70	29.72
GREEN BAY RD	CL WATER	142.13	14.21	156.34
		<u>169.15</u>	<u>16.91</u>	<u>186.06</u>
91-4-122-103-0255 WEMBER, NANCY				
13600.00	WATER	380.86	38.09	418.95
8349 OLD GREEN BAY RD	SEWER	496.73	49.67	546.40
	GARBAGE	231.90	23.19	255.09
	PFP FIRE	46.26	4.63	50.89
	CL WATER	183.77	18.38	202.15
		<u>1,339.52</u>	<u>133.96</u>	<u>1,473.48</u>
91-4-122-103-0310 DOMINGUEZ, ADAM				
13480.00	WATER	632.73	63.27	696.00
6708 85TH ST	SEWER	711.08	71.11	782.19
	GARBAGE	231.29	23.13	254.42
	PFP FIRE	37.10	3.71	40.81
	CL WATER	94.25	9.42	103.67
		<u>1,706.45</u>	<u>170.64</u>	<u>1,877.09</u>
91-4-122-103-0454 ROSALES, FERNANDO & ARGELIA				
13009.02	WATER	38.38	3.84	42.22
8386 65TH AVE	SEWER	50.56	5.06	55.62
	GARBAGE	19.85	1.98	21.83
	PFP FIRE	4.49	0.45	4.94
	CL WATER	5.21	0.52	5.73
		<u>118.49</u>	<u>11.85</u>	<u>130.34</u>
91-4-122-104-0023 KIMPEL, BEN				
45910.02	WATER	105.87	10.59	116.46
6327 84TH ST	SEWER	75.02	7.50	82.52
	GARBAGE	50.03	5.00	55.03
	PFP FIRE	13.25	1.32	14.57
	CL WATER	17.26	1.73	18.99
		<u>261.43</u>	<u>26.14</u>	<u>287.57</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-104-0087 BEISER, RACHEL & JOSHUA				
90322.02	PFP FIRE	5.90	0.59	6.49
85TH ST (REAR)	CL WATER	95.78	9.58	105.36
		<u>101.68</u>	<u>10.17</u>	<u>111.85</u>
91-4-122-104-0180 MCDANIEL, DOUG				
13302.03	WATER	580.33	58.03	638.36
5932 85TH ST	SEWER	662.43	66.24	728.67
	GARBAGE	209.38	20.94	230.32
	PFP FIRE	51.60	5.16	56.76
	CL WATER	64.44	6.44	70.88
		<u>1,568.18</u>	<u>156.81</u>	<u>1,724.99</u>
91-4-122-104-0230 GRIFFIN, MARION & SUE				
43860.00	SEWER	101.25	10.12	111.37
8202 57TH AVE	GARBAGE	34.98	3.50	38.48
	CL WATER	7.41	0.74	8.15
		<u>143.64</u>	<u>14.36</u>	<u>158.00</u>
91-4-122-112-0120 ALFANO, NICHOLAS				
44955.00	SEWER	231.89	23.19	255.08
4849 76TH ST	GARBAGE	80.44	8.04	88.48
	CL WATER	18.17	1.82	19.99
		<u>330.50</u>	<u>33.05</u>	<u>363.55</u>
91-4-122-112-0144 SMITH, JAIME B.				
42670.00	SEWER	245.19	24.52	269.71
7729 50TH AVE	GARBAGE	85.16	8.52	93.68
	CL WATER	43.62	4.36	47.98
	BULK	10.10	1.01	11.11
		<u>384.07</u>	<u>38.41</u>	<u>422.48</u>
91-4-122-112-0198 BEEM, TRAVIS				
42630.03	SEWER	674.50	67.45	741.95
7708 50TH AVE	GARBAGE	231.92	23.19	255.11
	CL WATER	62.89	6.29	69.18
		<u>969.31</u>	<u>96.93</u>	<u>1,066.24</u>
91-4-122-112-0204 JOHNSON, LARRY L.				
42580.00	SEWER	674.65	67.46	742.11
7640 50TH AVE	GARBAGE	231.96	23.20	255.16
	CL WATER	36.27	3.63	39.90
		<u>942.88</u>	<u>94.29</u>	<u>1,037.17</u>
91-4-122-112-0227 GRECO, CARL & CAROL				
42850.01	SEWER	548.23	54.82	603.05
7641 COOPER RD	GARBAGE	189.20	18.92	208.12
	CL WATER	63.80	6.38	70.18
		<u>801.23</u>	<u>80.12</u>	<u>881.35</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-112-0242 AMBROSE, PHILIP & KIMBERLY				
42950.09	SEWER	402.22	40.22	442.44
7807 COOPER RD	GARBAGE	139.79	13.98	153.77
	CL WATER	75.60	7.56	83.16
	BULK	20.50	2.05	22.55
		<u>638.11</u>	<u>63.81</u>	<u>701.92</u>
91-4-122-112-0252 SIGMAN, ALYSSA				
42990.09	SEWER	470.60	47.06	517.66
7915 COOPER RD	GARBAGE	162.97	16.30	179.27
	CL WATER	68.52	6.85	75.37
		<u>702.09</u>	<u>70.21</u>	<u>772.30</u>
91-4-122-112-0300 BYNSDORP, JEREMIAH				
43080.04	SEWER	660.76	66.08	726.84
5268 80TH ST	GARBAGE	227.26	22.73	249.99
	CL WATER	50.76	5.08	55.84
		<u>938.78</u>	<u>93.89</u>	<u>1,032.67</u>
91-4-122-112-0302 JACKSON, SUSAN				
43020.05	SEWER	661.78	66.18	727.96
7930 COOPER RD	GARBAGE	227.60	22.76	250.36
	CL WATER	64.46	6.45	70.91
		<u>953.84</u>	<u>95.39</u>	<u>1,049.23</u>
91-4-122-112-0308 LAWLER, JOHN				
45045.00	SEWER	144.35	14.44	158.79
5124 79TH ST	GARBAGE	46.98	4.70	51.68
	CL WATER	11.33	1.13	12.46
		<u>202.66</u>	<u>20.27</u>	<u>222.93</u>
91-4-122-112-0309 PALMER, DOUGLAS				
45055.00	SEWER	674.65	67.46	742.11
5128 79TH ST	GARBAGE	231.96	23.20	255.16
	CL WATER	55.17	5.52	60.69
		<u>961.78</u>	<u>96.18</u>	<u>1,057.96</u>
91-4-122-113-0015 MADRIGRANO, BARB				
43100.01	SEWER	444.21	44.42	488.63
8005 COOPER RD	GARBAGE	154.07	15.41	169.48
	CL WATER	38.45	3.84	42.29
		<u>636.73</u>	<u>63.67</u>	<u>700.40</u>
91-4-122-113-0037 RIVERA, ISRAEL & AMBER				
46030.00	SEWER	548.23	54.82	603.05
8107 COOPER RD	GARBAGE	189.20	18.92	208.12
	CL WATER	40.61	4.06	44.67
		<u>778.04</u>	<u>77.80</u>	<u>855.84</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-113-0054 NIESEN, LILLIAN C.				
46140.00	SEWER	674.59	67.46	742.05
8225 COOPER RD	GARBAGE	231.94	23.19	255.13
	CL WATER	61.81	6.18	67.99
		<u>968.34</u>	<u>96.83</u>	<u>1,065.17</u>
91-4-122-113-0061 AYERS				
46170.02	SEWER	674.42	67.44	741.86
8239 COOPER RD	GARBAGE	231.89	23.19	255.08
	CL WATER	82.82	8.28	91.10
		<u>989.13</u>	<u>98.91</u>	<u>1,088.04</u>
91-4-122-113-0165 ELAM, RODNEY				
14982.00	SEWER	293.70	29.37	323.07
8435 COOPER RD	GARBAGE	102.07	10.21	112.28
	CL WATER	55.72	5.57	61.29
		<u>451.49</u>	<u>45.15</u>	<u>496.64</u>
91-4-122-113-0174 SILVA, MARTIN & LETICIA				
14960.01	WATER	450.28	45.03	495.31
4980 85TH ST	SEWER	474.38	47.44	521.82
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	36.71	3.67	40.38
	CL WATER	43.50	4.35	47.85
	BULK	13.05	1.30	14.35
		<u>1,249.88</u>	<u>124.99</u>	<u>1,374.87</u>
91-4-122-113-0236 SABILSKY-MODICA, CHRISTINA				
45155.01	SEWER	335.32	33.53	368.85
5404 81ST ST	GARBAGE	153.29	15.33	168.62
	CL WATER	37.15	3.72	40.87
	BULK	30.00	3.00	33.00
		<u>555.76</u>	<u>55.58</u>	<u>611.34</u>
91-4-122-113-0262 VERNEZZE, RANDY				
43230.00	SEWER	674.60	67.46	742.06
8100B COOPER RD	GARBAGE	231.96	23.20	255.16
	CL WATER	70.68	7.07	77.75
	BULK	22.18	2.22	24.40
		<u>999.42</u>	<u>99.95</u>	<u>1,099.37</u>
91-4-122-113-0284 DESANTO & ROBERTS				
43475.01	SEWER	674.65	67.46	742.11
8119 54TH AVE	GARBAGE	231.96	23.20	255.16
	CL WATER	66.27	6.63	72.90
		<u>972.88</u>	<u>97.29</u>	<u>1,070.17</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-113-0416 RUPP, JEREMY & TANYA				
45855.01	SEWER	604.46	60.45	664.91
5404 84TH ST	GARBAGE	208.24	20.82	229.06
	CL WATER	55.60	5.56	61.16
		<u>868.30</u>	<u>86.83</u>	<u>955.13</u>
91-4-122-113-0420 CYGAN, JUDITH				
45875.00	SEWER	672.14	67.21	739.35
5422 84TH ST	GARBAGE	231.13	23.11	254.24
	CL WATER	69.28	6.93	76.21
		<u>972.55</u>	<u>97.25</u>	<u>1,069.80</u>
91-4-122-113-0455 JONES, MIKE				
14980.15	WATER	172.32	17.23	189.55
8432 COOPER RD	SEWER	224.12	22.41	246.53
	GARBAGE	225.09	22.51	247.60
	PFP FIRE	24.54	2.45	26.99
		<u>646.07</u>	<u>64.60</u>	<u>710.67</u>
91-4-122-113-0462 KONDRAT, IDALEN				
15000.01	WATER	413.54	41.35	454.89
5204 85TH ST	SEWER	448.23	44.82	493.05
	GARBAGE	197.17	19.72	216.89
	PFP FIRE	38.86	3.89	42.75
	CL WATER	82.51	8.25	90.76
	BULK	30.40	3.04	33.44
		<u>1,210.71</u>	<u>121.07</u>	<u>1,331.78</u>
91-4-122-113-0474 JAKE, DAN				
15050.03	WATER	462.23	46.22	508.45
5404 85TH ST	SEWER	317.22	31.72	348.94
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	44.95	4.50	49.45
	CL WATER	80.07	8.01	88.08
		<u>1,136.43</u>	<u>113.65</u>	<u>1,250.08</u>
91-4-122-114-0008 MARTIN, SAMUEL				
45565.02	SEWER	444.23	44.42	488.65
4516 83RD ST	GARBAGE	154.03	15.40	169.43
	CL WATER	45.12	4.51	49.63
		<u>643.38</u>	<u>64.33</u>	<u>707.71</u>
91-4-122-114-0064 GENTZ, SCOTT				
42125.00	WATER	13.22	1.32	14.54
8318 47TH AVE	SEWER	194.78	19.48	214.26
	GARBAGE	63.49	6.35	69.84
	CL WATER	21.35	2.14	23.49
		<u>292.84</u>	<u>29.29</u>	<u>322.13</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-114-0084 SALAZAR, JAVIER				
14840.03	WATER	150.35	15.04	165.39
4722 85TH ST	SEWER	196.88	19.69	216.57
	GARBAGE	50.00	5.00	55.00
	PFP FIRE	8.91	0.89	9.80
	CL WATER	12.03	1.20	13.23
		<u>418.17</u>	<u>41.82</u>	<u>459.99</u>
91-4-122-114-0124 FLIRIS, JAMES				
46535.03	SEWER	144.55	14.46	159.01
4611 BEVERLY LN	GARBAGE	50.08	5.01	55.09
	CL WATER	17.52	1.75	19.27
		<u>212.15</u>	<u>21.22</u>	<u>233.37</u>
91-4-122-114-0157 CULEN, GREGORY				
45970.01	SEWER	548.23	54.82	603.05
4220 85TH ST	GARBAGE	189.20	18.92	208.12
	CL WATER	78.79	7.88	86.67
		<u>816.22</u>	<u>81.62</u>	<u>897.84</u>
91-4-122-114-0172 4 ACES LLC				
41810.01	SEWER	264.99	26.50	291.49
8311 42ND AVE	GARBAGE	92.03	9.20	101.23
	CL WATER	46.20	4.62	50.82
		<u>403.22</u>	<u>40.32</u>	<u>443.54</u>
91-4-122-114-0180 YARCK, RALPH W				
45945.04	SEWER	495.96	49.60	545.56
4120 85TH ST	GARBAGE	171.55	17.16	188.71
	CL WATER	66.22	6.62	72.84
		<u>733.73</u>	<u>73.38</u>	<u>807.11</u>
91-4-122-114-0198 TAKALA, EDWARD & MARY				
41750.01	SEWER	490.82	49.08	539.90
8400 39TH AVE	GARBAGE	164.62	16.46	181.08
	CL WATER	58.25	5.82	64.07
	BULK	20.60	2.06	22.66
		<u>734.29</u>	<u>73.42</u>	<u>807.71</u>
91-4-122-132-0130 SLATER, HENRY				
41775.00	SEWER	674.59	67.46	742.05
8807 39TH AVE	GARBAGE	231.94	23.19	255.13
	CL WATER	100.09	10.01	110.10
		<u>1,006.62</u>	<u>100.66</u>	<u>1,107.28</u>
91-4-122-133-0108 LINDSAY, JOHN				
16870.03	WATER	330.82	33.08	363.90
9101 39TH AVE	SEWER	425.09	42.51	467.60
	GARBAGE	231.96	23.20	255.16

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	PFP FIRE	27.07	2.71	29.78
	CL WATER	65.09	6.51	71.60
		<u>1,080.03</u>	<u>108.01</u>	<u>1,188.04</u>
91-4-122-133-0145 TRUAX, DONNA				
16780.01	GARBAGE	231.96	23.20	255.16
9229 39TH AVE	PFP FIRE	19.86	1.99	21.85
	CL WATER	114.99	11.50	126.49
		<u>366.81</u>	<u>36.69</u>	<u>403.50</u>
91-4-122-133-0201 WILLI KANT				
90334.01	PFP FIRE	33.23	3.32	36.55
3600 93RD ST [1]	CL WATER	692.06	69.21	761.27
		<u>725.29</u>	<u>72.53</u>	<u>797.82</u>
91-4-122-133-0470 SERJERN, JOHN				
41690.02	SEWER	674.42	67.44	741.86
9053 32ND AVE	GARBAGE	231.89	23.19	255.08
	CL WATER	306.85	30.68	337.53
		<u>1,213.16</u>	<u>121.31</u>	<u>1,334.47</u>
91-4-122-133-0505 VANDIVORT, ERIC & BILLIE				
17255.04	SEWER	581.28	58.13	639.41
9151 32ND AVE	GARBAGE	200.39	20.04	220.43
	PFP FIRE	55.64	5.56	61.20
	CL WATER	62.19	6.22	68.41
		<u>899.50</u>	<u>89.95</u>	<u>989.45</u>
91-4-122-133-0520 HICKS, JOANN				
41730.01	SEWER	674.65	67.46	742.11
9219 32ND AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	44.68	4.47	49.15
	CL WATER	85.45	8.54	93.99
		<u>1,036.74</u>	<u>103.67</u>	<u>1,140.41</u>
91-4-122-133-0525 KLINKHAMMER, ALVIN & KATHY				
41745.00	WATER	195.41	19.54	214.95
9243 32ND AVE	SEWER	597.61	59.76	657.37
	GARBAGE	162.68	16.27	178.95
	PFP FIRE	22.09	2.21	24.30
	CL WATER	76.25	7.62	83.87
		<u>1,054.04</u>	<u>105.40</u>	<u>1,159.44</u>
91-4-122-134-0025 DIVELBISS, LYNDA				
41100.01	SEWER	674.65	67.46	742.11
8918 22ND AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	28.87	2.89	31.76
	CL WATER	44.62	4.46	49.08
		<u>980.10</u>	<u>98.01</u>	<u>1,078.11</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
91-4-122-134-0060 PICCOLO, MARGARET				
41145.02	SEWER	674.65	67.46	742.11
9030 22ND AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	42.05	4.20	46.25
	CL WATER	59.02	5.90	64.92
		<u>1,007.68</u>	<u>100.76</u>	<u>1,108.44</u>
91-4-122-134-0125 PRICKETT, BEN & KELLEY				
17644.00	WATER	760.16	76.02	836.18
9141 24TH AVE	SEWER	958.02	95.80	1,053.82
	GARBAGE	233.92	23.39	257.31
	PFP FIRE	66.05	6.60	72.65
	CL WATER	116.15	11.62	127.77
		<u>2,134.30</u>	<u>213.43</u>	<u>2,347.73</u>
91-4-122-134-0160 MCKINLEY, ARTHUR				
17580.00	WATER	30.78	3.08	33.86
2312 91ST ST	SEWER	40.35	4.04	44.39
	GARBAGE	34.56	3.46	38.02
	PFP FIRE	3.72	0.37	4.09
	CL WATER	5.07	0.51	5.58
		<u>114.48</u>	<u>11.46</u>	<u>125.94</u>
91-4-122-134-0475 JUDEIKA, TROY				
17520.01	WATER	583.28	58.33	641.61
2516 91ST ST	SEWER	719.82	71.98	791.80
	GARBAGE	228.84	22.88	251.72
	PFP FIRE	30.28	3.03	33.31
	CL WATER	54.43	5.44	59.87
		<u>1,616.65</u>	<u>161.66</u>	<u>1,778.31</u>
91-4-122-134-0480 GOROSKI, JAMIE				
41475.00	SEWER	674.65	67.46	742.11
9039 26TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	34.98	3.50	38.48
	CL WATER	104.55	10.46	115.01
		<u>1,046.14</u>	<u>104.62</u>	<u>1,150.76</u>
91-4-122-134-0484 KELLER, LISA				
41460.03	SEWER	193.12	19.31	212.43
9025 26TH AVE	GARBAGE	62.94	6.29	69.23
	PFP FIRE	6.50	0.65	7.15
	CL WATER	11.74	1.17	12.91
		<u>274.30</u>	<u>27.42</u>	<u>301.72</u>
91-4-122-134-0520 PARHAM, JOHN				
41385.01	SEWER	2,966.29	296.63	3,262.92
8937 26TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	31.86	3.19	35.05

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	CL WATER	62.32	6.23	68.55
	BULK	1.43	0.14	1.57
		<u>3,293.86</u>	<u>329.39</u>	<u>3,623.25</u>
91-4-122-134-0580 SIRKS, GERADIUS				
41420.01	SEWER	674.65	67.46	742.11
8970 26TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	30.35	3.04	33.39
	CL WATER	54.58	5.46	60.04
		<u>991.54</u>	<u>99.16</u>	<u>1,090.70</u>
91-4-122-134-0610 BEAN, DARRICK				
41470.02	SEWER	674.53	67.45	741.98
9036 26TH AVE	GARBAGE	217.68	21.77	239.45
	PFP FIRE	24.85	2.48	27.33
	CL WATER	53.43	5.34	58.77
		<u>970.49</u>	<u>97.04</u>	<u>1,067.53</u>
91-4-122-134-0615 KRISTON, SUE R.				
41480.00	SEWER	674.65	67.46	742.11
9044 26TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	27.66	2.77	30.43
	CL WATER	51.79	5.18	56.97
		<u>986.06</u>	<u>98.61</u>	<u>1,084.67</u>
91-4-122-134-0625 LUPI, DONALD				
41490.01	SEWER	674.65	67.46	742.11
9058 26TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	20.11	2.01	22.12
	CL WATER	45.14	4.51	49.65
		<u>971.86</u>	<u>97.18</u>	<u>1,069.04</u>
91-4-122-134-0677 BORING, CAROL				
17420.02	WATER	330.07	33.01	363.08
9228 26TH AVE	SEWER	424.80	42.48	467.28
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	40.51	4.05	44.56
	CL WATER	53.44	5.34	58.78
		<u>1,080.78</u>	<u>108.08</u>	<u>1,188.86</u>
91-4-122-134-0780 WASURICK, JANE & MARK				
46435.00	SEWER	415.95	41.60	457.55
2651 89TH ST	GARBAGE	135.70	13.57	149.27
	CL WATER	45.17	4.52	49.69
		<u>596.82</u>	<u>59.69</u>	<u>656.51</u>
91-4-122-134-0805 SUMMERS, DANIEL & KATHLEEN				
41559.00	SEWER	674.65	67.46	742.11
9019 29TH AVE	GARBAGE	231.96	23.20	255.16

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	CL WATER	154.43	15.44	169.87
	BULK	3.55	0.36	3.91
		<u>1,064.59</u>	<u>106.46</u>	<u>1,171.05</u>
91-4-122-134-0935 OCCUPANT				
41555.01	SEWER	674.65	67.46	742.11
9016 29TH AVE	GARBAGE	231.96	23.20	255.16
	CL WATER	187.14	18.71	205.85
		<u>1,093.75</u>	<u>109.37</u>	<u>1,203.12</u>
92-4-122-141-0014 WYNDHAM ESTATES LLC				
94209.00	PFP FIRE	12.72	1.27	13.99
86TH PL [3]	CL WATER	275.16	27.52	302.68
		<u>287.88</u>	<u>28.79</u>	<u>316.67</u>
92-4-122-141-0039 TY RYAN CUSTOM HOMES LLC				
94631.01	PFP FIRE	0.06	0.01	0.07
86TH PL [4]	CL WATER	101.23	10.12	111.35
		<u>101.29</u>	<u>10.13</u>	<u>111.42</u>
92-4-122-141-0096 MADRIGRANO, MARY JOY				
48080.00	SEWER	143.40	14.34	157.74
4218 86TH PL	GARBAGE	49.68	4.97	54.65
	CL WATER	14.01	1.40	15.41
		<u>207.09</u>	<u>20.71</u>	<u>227.80</u>
92-4-122-141-0100 TEUERLE, MICHAEL				
48215.01	SEWER	548.20	54.82	603.02
4229 86TH ST	GARBAGE	189.21	18.92	208.13
	CL WATER	56.09	5.61	61.70
		<u>793.50</u>	<u>79.35</u>	<u>872.85</u>
92-4-122-142-0002 FOSS, MARK & KARI				
14860.01	WATER	204.86	20.49	225.35
4765 85TH ST	SEWER	267.78	26.78	294.56
	GARBAGE	108.32	10.83	119.15
	PFP FIRE	25.69	2.57	28.26
	CL WATER	78.02	7.80	85.82
		<u>684.67</u>	<u>68.47</u>	<u>753.14</u>
92-4-122-142-0020 OLSON, ARLEN				
14903.00	SEWER	674.65	67.46	742.11
8559 48TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	57.72	5.77	63.49
	CL WATER	135.01	13.50	148.51
		<u>1,099.34</u>	<u>109.93</u>	<u>1,209.27</u>

VILLAGE OF PLEASANT PRAIRIE
TRANSFER TO TAX ROLL LISTING

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-142-0080 SEAL, ROBERT				
15330.00	WATER	313.09	31.31	344.40
8619 COOPER RD	SEWER	408.35	40.84	449.19
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	28.58	2.86	31.44
	CL WATER	133.34	13.33	146.67
		<u>1,115.32</u>	<u>111.54</u>	<u>1,226.86</u>
92-4-122-142-0080 SEAL, ROBERT				
15340.02	WATER	335.07	33.51	368.58
8617 COOPER RD	SEWER	437.28	43.73	481.01
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	28.58	2.86	31.44
		<u>1,032.89</u>	<u>103.30</u>	<u>1,136.19</u>
92-4-122-142-0121 BARKS, SUE				
16132.00	WATER	263.20	26.32	289.52
8749 COOPER RD	SEWER	342.90	34.29	377.19
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	46.59	4.66	51.25
	CL WATER	191.07	19.11	210.18
		<u>1,075.72</u>	<u>107.58</u>	<u>1,183.30</u>
92-4-122-142-0135 BETHKE, ERIC & DAWN				
16162.00	WATER	182.72	18.27	200.99
8817 COOPER RD	SEWER	225.13	22.51	247.64
	GARBAGE	67.88	6.79	74.67
	PFP FIRE	12.51	1.25	13.76
	CL WATER	79.14	7.91	87.05
	BULK	10.20	1.02	11.22
		<u>577.58</u>	<u>57.75</u>	<u>635.33</u>
92-4-122-142-0258 BURMEISTER				
16110.01	WATER	254.18	25.42	279.60
5301 87TH PL	SEWER	222.46	22.25	244.71
	GARBAGE	90.12	9.01	99.13
	PFP FIRE	28.58	2.86	31.44
	CL WATER	23.90	2.39	26.29
		<u>619.24</u>	<u>61.93</u>	<u>681.17</u>
92-4-122-142-0275 BRUCE, THOMAS				
15390.01	WATER	712.37	71.24	783.61
8712 COOPER RD	SEWER	907.97	90.80	998.77
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	55.14	5.51	60.65
	CL WATER	95.62	9.56	105.18
	BULK	46.36	4.64	51.00
		<u>2,049.42</u>	<u>204.95</u>	<u>2,254.37</u>

VILLAGE OF PLEASANT PRAIRIE
TRANSFER TO TAX ROLL LISTING

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-142-0325 CRISTIANO, ANDY				
15710.01	WATER	397.93	39.79	437.72
8615 54TH AVE	SEWER	507.65	50.76	558.41
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	63.16	6.32	69.48
	CL WATER	77.93	7.79	85.72
	BULK	0.33	0.03	0.36
		<u>1,278.96</u>	<u>127.89</u>	<u>1,406.85</u>
92-4-122-142-0329 KUTZLER, BRENDA				
15690.00	WATER	169.88	16.99	186.87
8635 54TH AVE	SEWER	204.84	20.48	225.32
	GARBAGE	66.92	6.69	73.61
	PFP FIRE	19.88	1.99	21.87
	CL WATER	15.80	1.58	17.38
		<u>477.32</u>	<u>47.73</u>	<u>525.05</u>
92-4-122-142-0369 WOLF, LINDA				
15730.00	WATER	314.93	31.49	346.42
8624 54TH AVE	SEWER	364.30	36.43	400.73
	GARBAGE	176.68	17.67	194.35
	PFP FIRE	48.61	4.86	53.47
	CL WATER	43.92	4.39	48.31
		<u>948.44</u>	<u>94.84</u>	<u>1,043.28</u>
92-4-122-142-0374 SEPANSKI, AARON & JULIENNE				
15870.03	WATER	442.95	44.30	487.25
5406 87TH PL	SEWER	555.88	55.59	611.47
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	63.43	6.34	69.77
	CL WATER	53.44	5.34	58.78
	BULK	11.06	1.11	12.17
		<u>1,358.72</u>	<u>135.88</u>	<u>1,494.60</u>
92-4-122-142-2002 SCHAFER, RICHARD & DEBRA				
15787.07	WATER	38.56	3.86	42.42
5550 85TH PL	SEWER	50.53	5.05	55.58
	GARBAGE	27.43	2.74	30.17
	PFP FIRE	10.54	1.05	11.59
	CL WATER	10.27	1.03	11.30
		<u>137.33</u>	<u>13.73</u>	<u>151.06</u>
92-4-122-143-0010 ROANHAUS, JONELL				
90386.01	PFP FIRE	7.14	0.71	7.85
COOPER RD [3]	CL WATER	115.72	11.57	127.29
		<u>122.86</u>	<u>12.28</u>	<u>135.14</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-143-0012 ROANHAUS, JONELL				
16422.00	SEWER	274.97	27.50	302.47
8959 COOPER RD	GARBAGE	95.54	9.55	105.09
	PFP FIRE	12.29	1.23	13.52
	CL WATER	41.77	4.18	45.95
	BULK	0.39	0.04	0.43
		<u>424.96</u>	<u>42.50</u>	<u>467.46</u>
92-4-122-143-0074 ALGIERS, BARB				
16701.00	WATER	417.42	41.74	459.16
4930 93RD ST	SEWER	434.26	43.43	477.69
	GARBAGE	229.55	22.96	252.51
	PFP FIRE	44.26	4.43	48.69
	CL WATER	161.77	16.18	177.95
		<u>1,287.26</u>	<u>128.74</u>	<u>1,416.00</u>
92-4-122-143-0082 NAVA, SABINO				
16688.02	WATER	200.85	20.08	220.93
4838 93RD ST	SEWER	187.45	18.74	206.19
	GARBAGE	66.97	6.70	73.67
	PFP FIRE	12.50	1.25	13.75
	CL WATER	42.75	4.28	47.03
	BULK	10.10	1.01	11.11
		<u>520.62</u>	<u>52.06</u>	<u>572.68</u>
92-4-122-143-0180 STROUF, JAMES				
43445.00	SEWER	628.39	62.84	691.23
5119 91ST PL	GARBAGE	216.34	21.63	237.97
	PFP FIRE	34.18	3.42	37.60
	CL WATER	72.25	7.22	79.47
		<u>951.16</u>	<u>95.11</u>	<u>1,046.27</u>
92-4-122-143-0181 NYBERG, JEFFREY				
16322.00	SEWER	674.65	67.46	742.11
5304 91ST PL	GARBAGE	231.96	23.20	255.16
	PFP FIRE	42.02	4.20	46.22
	CL WATER	107.27	10.73	118.00
		<u>1,055.90</u>	<u>105.59</u>	<u>1,161.49</u>
92-4-122-143-0204 TSOGAS, JOHN				
16302.00	SEWER	144.35	14.44	158.79
9050 COOPER RD	GARBAGE	50.01	5.00	55.01
	PFP FIRE	11.44	1.14	12.58
	CL WATER	66.22	6.62	72.84
		<u>272.02</u>	<u>27.20</u>	<u>299.22</u>
92-4-122-143-0232 STOIAN, VICTOR				
16428.06	WATER	32.04	3.20	35.24
9002 COOPER RD	SEWER	41.92	4.19	46.11

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	GARBAGE	52.19	5.22	57.41
	PFP FIRE	7.15	0.72	7.87
	CL WATER	11.29	1.13	12.42
		<u>144.59</u>	<u>14.46</u>	<u>159.05</u>
92-4-122-143-0240 MARDEN, MICHAEL				
16420.02	WATER	354.45	35.44	389.89
8954 COOPER RD	SEWER	344.88	34.49	379.37
	GARBAGE	231.92	23.19	255.11
	PFP FIRE	53.18	5.32	58.50
	CL WATER	146.63	14.66	161.29
	BULK	0.33	0.03	0.36
		<u>1,131.39</u>	<u>113.13</u>	<u>1,244.52</u>
92-4-122-143-0305 CHRISTIANSEN, RUSSELL				
16253.00	WATER	45.25	4.52	49.77
4899 89TH PL	SEWER	42.10	4.21	46.31
	GARBAGE	16.52	1.65	18.17
	PFP FIRE	6.92	0.69	7.61
	CL WATER	4.34	0.43	4.77
		<u>115.13</u>	<u>11.50</u>	<u>126.63</u>
92-4-122-143-0317 GIBBS, PATRICIA L				
15279.00	WATER	43.67	4.37	48.04
4855 89TH PL	SEWER	57.17	5.72	62.89
	GARBAGE	19.46	1.95	21.41
	PFP FIRE	7.49	0.75	8.24
	CL WATER	4.65	0.46	5.11
		<u>132.44</u>	<u>13.25</u>	<u>145.69</u>
92-4-122-144-0050 YOUNG, TROY				
17010.01	WATER	197.32	19.73	217.05
4018 91ST ST	SEWER	256.85	25.68	282.53
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	16.10	1.61	17.71
	CL WATER	32.97	3.30	36.27
	BULK	22.09	2.21	24.30
		<u>757.29</u>	<u>75.73</u>	<u>833.02</u>
92-4-122-144-0078 DURICK, JEREMY				
16960.02	WATER	128.38	12.84	141.22
9102 39TH AVE	SEWER	166.73	16.67	183.40
	GARBAGE	262.05	26.20	288.25
	PFP FIRE	19.46	1.95	21.41
	CL WATER	53.30	5.33	58.63
		<u>629.92</u>	<u>62.99</u>	<u>692.91</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-144-0141 MINNOCH, BONITA				
16667.00	WATER	594.52	59.45	653.97
4214 93RD ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	43.01	4.30	47.31
	CL WATER	198.23	19.82	218.05
		<u>1,067.72</u>	<u>106.77</u>	<u>1,174.49</u>
92-4-122-151-0015 DIBBLE, DAVID & SUSAN				
13200.00	WATER	724.89	72.49	797.38
5701 85TH ST	SEWER	917.21	91.72	1,008.93
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	45.10	4.51	49.61
	CL WATER	113.39	11.34	124.73
		<u>2,032.55</u>	<u>203.26</u>	<u>2,235.81</u>
92-4-122-152-0050 BOHN, ANTHONY				
13510.03	SEWER	674.42	67.44	741.86
6807 85TH ST	GARBAGE	231.89	23.19	255.08
	PFP FIRE	44.43	4.44	48.87
	CL WATER	138.28	13.83	152.11
		<u>1,089.02</u>	<u>108.90</u>	<u>1,197.92</u>
92-4-122-152-0162 SMITH, PATRICK				
13700.13	WATER	180.02	18.00	198.02
8757 OLD GREEN BAY RD	SEWER	102.04	10.20	112.24
	GARBAGE	41.55	4.16	45.71
	PFP FIRE	6.41	0.64	7.05
		<u>330.02</u>	<u>33.00</u>	<u>363.02</u>
92-4-122-152-0402 ERWIN, BO & KARLA				
13682.06	WATER	117.33	0.00	117.33
8655 OLD GREEN BAY RD	SEWER	147.57	0.00	147.57
	GARBAGE	59.15	0.00	59.15
	PFP FIRE	8.39	0.00	8.39
		<u>332.44</u>	<u>0.00</u>	<u>332.44</u>
92-4-122-152-0422 WILLIAMS, ROBERT				
13672.06	WATER	113.51	11.35	124.86
8633 OLD GREEN BAY RD	SEWER	96.20	9.62	105.82
	GARBAGE	68.30	6.83	75.13
	PFP FIRE	13.00	1.30	14.30
	CL WATER	15.11	1.51	16.62
	BULK	0.01	0.00	0.01
		<u>306.13</u>	<u>30.61</u>	<u>336.74</u>
92-4-122-153-0060 LAMMINEN, JULIE				
13810.00	SEWER	674.65	67.46	742.11
9021 OLD GREEN BAY RD	GARBAGE	231.96	23.20	255.16
	PFP FIRE	49.34	4.93	54.27

VILLAGE OF PLEASANT PRAIRIE
TRANSFER TO TAX ROLL LISTING

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	CL WATER	358.54	35.85	394.39
		<u>1,314.49</u>	<u>131.44</u>	<u>1,445.93</u>
92-4-122-153-0112 RYAN, SHAWN 13880.07 9147 OLD GREEN BAY RD	SEWER	207.69	20.77	228.46
		<u>207.69</u>	<u>20.77</u>	<u>228.46</u>
92-4-122-154-0100 P T ENTERPRISES 16484.00 6006 93RD ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	32.74	3.27	36.01
	CL WATER	71.77	7.18	78.95
		<u>336.47</u>	<u>33.65</u>	<u>370.12</u>
92-4-122-171-0020 HOLZ, LOUISE 23243.01 8550 88TH AVE	WATER	44.08	4.41	48.49
	GARBAGE	50.11	5.01	55.12
	PFP FIRE	14.35	1.44	15.79
	CL WATER	34.90	3.49	38.39
	BULK	25.17	2.52	27.69
		<u>168.61</u>	<u>16.87</u>	<u>185.48</u>
92-4-122-172-0075 SALVA, PAUL 23020.00 8533 104TH AVE	WATER	383.30	38.33	421.63
	SEWER	473.34	47.33	520.67
	GARBAGE	177.11	17.71	194.82
	PFP FIRE	31.69	3.17	34.86
	CL WATER	44.06	4.41	48.47
		<u>1,109.50</u>	<u>110.95</u>	<u>1,220.45</u>
92-4-122-172-0090 BOLIN, RICHELLE 22782.09 10329 WILMOT RD	WATER	97.08	9.71	106.79
	SEWER	92.35	9.24	101.59
	GARBAGE	50.01	5.00	55.01
	PFP FIRE	7.59	0.76	8.35
	CL WATER	18.70	1.87	20.57
		<u>265.73</u>	<u>26.58</u>	<u>292.31</u>
92-4-122-181-0142 VLACH, JEFFREY 22097.01 11047 87TH ST	WATER	57.88	5.79	63.67
	SEWER	65.02	6.50	71.52
	GARBAGE	16.63	1.66	18.29
	PFP FIRE	4.64	0.46	5.10
	CL WATER	6.03	0.60	6.63
	BULK	0.39	0.04	0.43
		<u>150.59</u>	<u>15.05</u>	<u>165.64</u>
92-4-122-181-0164 KUTSCHAT, ALICE A 21769.01 8701 113TH AVE	WATER	203.54	20.35	223.89
	SEWER	266.21	26.62	292.83

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	GARBAGE	76.80	7.68	84.48
	PFP FIRE	16.21	1.62	17.83
	CL WATER	21.59	2.16	23.75
		<u>584.35</u>	<u>58.43</u>	<u>642.78</u>
92-4-122-181-0271 MEHTA LP				
90457.00	PFP FIRE	61.09	6.11	67.20
WILMOT RD [9]	CL WATER	1,741.88	174.19	1,916.07
		<u>1,802.97</u>	<u>180.30</u>	<u>1,983.27</u>
92-4-122-181-0623 CLARK				
22443.00	WATER	264.33	26.43	290.76
8954 105TH AVE	SEWER	316.65	31.66	348.31
	GARBAGE	76.93	7.69	84.62
	PFP FIRE	21.92	2.19	24.11
	CL WATER	17.41	1.74	19.15
	BULK	25.00	2.50	27.50
		<u>722.24</u>	<u>72.21</u>	<u>794.45</u>
92-4-122-181-0624 ZENNER				
22444.00	WATER	414.21	41.42	455.63
8951 106TH AVE	SEWER	368.16	36.82	404.98
	GARBAGE	159.90	15.99	175.89
	PFP FIRE	41.22	4.12	45.34
	CL WATER	35.98	3.60	39.58
		<u>1,019.47</u>	<u>101.95</u>	<u>1,121.42</u>
92-4-122-181-1060 DUNCAN, GEOFF				
21943.00	WATER	360.85	36.08	396.93
10816 84TH PL	SEWER	440.27	44.03	484.30
	GARBAGE	101.86	10.19	112.05
	PFP FIRE	22.53	2.25	24.78
	CL WATER	24.79	2.48	27.27
		<u>950.30</u>	<u>95.03</u>	<u>1,045.33</u>
92-4-122-182-0020 CHICK, OLIVER				
20646.00	GARBAGE	231.96	23.20	255.16
8601 120TH AVE	PFP FIRE	50.92	5.09	56.01
	CL WATER	238.73	23.87	262.60
		<u>521.61</u>	<u>52.16</u>	<u>573.77</u>
92-4-122-182-0025 TUPANJAC, BRANKO & RADMILLIA				
90466.00	PFP FIRE	11.25	1.12	12.37
120TH AVE [8]	CL WATER	1,559.38	155.94	1,715.32
		<u>1,570.63</u>	<u>157.06</u>	<u>1,727.69</u>
92-4-122-184-0050 SOVICH, MICHAEL				
20658.01	GARBAGE	101.48	10.15	111.63
9101 RIVER RD	PFP FIRE	15.40	1.54	16.94

VILLAGE OF PLEASANT PRAIRIE
TRANSFER TO TAX ROLL LISTING

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	CL WATER	62.57	6.26	68.83
		<u>179.45</u>	<u>17.95</u>	<u>197.40</u>
92-4-122-184-0400 MEHTA LP				
90485.00	PFP FIRE	11.39	1.14	12.53
WILMOT RD [16]	CL WATER	115.79	11.58	127.37
		<u>127.18</u>	<u>12.72</u>	<u>139.90</u>
92-4-122-192-0100 SCHAFFER, ROBERT				
20650.00	GARBAGE	231.96	23.20	255.16
9525 120TH AVE	PFP FIRE	85.58	8.56	94.14
	CL WATER	2,088.49	208.85	2,297.34
		<u>2,406.03</u>	<u>240.61</u>	<u>2,646.64</u>
92-4-122-204-0057 NAPANOOK LLC				
80003.02	PFP FIRE	23.38	2.34	25.72
88TH AVE - 61	ST LIGHT	139.04	13.90	152.94
	CL WATER	55.99	5.60	61.59
		<u>218.41</u>	<u>21.84</u>	<u>240.25</u>
92-4-122-222-0210 KATRES, PETER				
90527.00	PFP FIRE	16.78	1.68	18.46
OLD GREEN BAY RD [9]	CL WATER	1,280.68	128.07	1,408.75
		<u>1,297.46</u>	<u>129.75</u>	<u>1,427.21</u>
92-4-122-223-0252 ANDERSON, MARK				
39507.01	WATER	397.26	39.73	436.99
10367 65TH AVE	SEWER	499.36	49.94	549.30
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	63.65	6.36	70.01
	CL WATER	71.26	7.13	78.39
		<u>1,263.49</u>	<u>126.36</u>	<u>1,389.85</u>
92-4-122-223-0305 MEADOWLANDS LLC				
90546.00	PFP FIRE	0.01	0.00	0.01
65TH AVE [2]	CL WATER	177.40	17.74	195.14
		<u>177.41</u>	<u>17.74</u>	<u>195.15</u>
92-4-122-223-2003 KAMANDA-KOSSEH, HELEN				
39502.01	WATER	322.84	32.28	355.12
10189 66TH AVE	SEWER	409.75	40.98	450.73
	GARBAGE	184.79	18.48	203.27
	PFP FIRE	35.31	3.53	38.84
	CL WATER	36.59	3.66	40.25
		<u>989.28</u>	<u>98.93</u>	<u>1,088.21</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-223-2010 WILLIAMS, MARILYN				
39559.01	WATER	295.85	29.58	325.43
10003 66TH AVE	SEWER	314.82	31.48	346.30
	GARBAGE	243.30	24.33	267.63
	PFP FIRE	48.55	4.86	53.41
	CL WATER	47.91	4.79	52.70
		<u>950.43</u>	<u>95.04</u>	<u>1,045.47</u>
92-4-122-224-0150 JUNE, RACHAEL				
37002.09	WATER	334.70	33.47	368.17
5622 104TH ST	SEWER	430.38	43.04	473.42
	GARBAGE	217.61	21.76	239.37
	PFP FIRE	20.64	2.06	22.70
	CL WATER	110.93	11.09	122.02
		<u>1,114.26</u>	<u>111.42</u>	<u>1,225.68</u>
92-4-122-224-0150 STONE, KRISTIN				
37004.06	WATER	584.44	58.44	642.88
5624 104TH ST	SEWER	741.39	74.14	815.53
	GARBAGE	231.90	23.19	255.09
	PFP FIRE	21.91	2.19	24.10
		<u>1,579.64</u>	<u>157.96</u>	<u>1,737.60</u>
92-4-122-224-0215 SMITH, ALLISON				
37006.01	SEWER	674.65	67.46	742.11
5608 104TH ST # 2	GARBAGE	231.96	23.20	255.16
	PFP FIRE	22.11	2.21	24.32
	CL WATER	184.37	18.44	202.81
		<u>1,113.09</u>	<u>111.31</u>	<u>1,224.40</u>
92-4-122-224-0215 FRASER, WILLIAM				
37007.00	SEWER	674.65	67.46	742.11
5608 104TH ST # 1	GARBAGE	231.96	23.20	255.16
	PFP FIRE	22.11	2.21	24.32
		<u>928.72</u>	<u>92.87</u>	<u>1,021.59</u>
92-4-122-224-0335 DUBINSKY, NICK & LUCRECIA				
37016.01	SEWER	69.44	6.94	76.38
10220 63RD AVE	GARBAGE	24.01	2.40	26.41
	PFP FIRE	5.07	0.51	5.58
	CL WATER	7.41	0.74	8.15
		<u>105.93</u>	<u>10.59</u>	<u>116.52</u>
92-4-122-232-0307 THIELE, DANIEL				
18507.01	WATER	213.20	21.32	234.52
9729 47TH CT	SEWER	75.46	7.55	83.01
	GARBAGE	34.40	3.44	37.84
	PFP FIRE	13.87	1.39	15.26
	CL WATER	10.62	1.06	11.68

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		<u>347.55</u>	<u>34.76</u>	<u>382.31</u>
92-4-122-232-0322 PAISER, GREGG & SUZANNE				
18522.00	WATER	431.62	43.16	474.78
9473 48TH AVE	SEWER	546.42	54.64	601.06
	GARBAGE	230.28	23.03	253.31
	PFP FIRE	99.68	9.97	109.65
	CL WATER	64.67	6.47	71.14
		<u>1,372.67</u>	<u>137.27</u>	<u>1,509.94</u>
92-4-122-232-0345 LITKEY, GERALD & GINA				
18545.01	WATER	129.48	12.95	142.43
9496 49TH CT	SEWER	152.03	15.20	167.23
	GARBAGE	61.54	6.15	67.69
	PFP FIRE	20.33	2.03	22.36
	CL WATER	14.67	1.47	16.14
		<u>378.05</u>	<u>37.80</u>	<u>415.85</u>
92-4-122-233-0109 SPECK, JON & LORI				
23309.01	WATER	365.15	36.52	401.67
4725 103RD ST	SEWER	443.58	44.36	487.94
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	70.82	7.08	77.90
	CL WATER	66.75	6.68	73.43
		<u>1,178.26</u>	<u>117.84</u>	<u>1,296.10</u>
92-4-122-233-0122 SCHMIDT, ALLAN				
23322.03	WATER	336.77	33.68	370.45
4808 101ST ST	SEWER	393.61	39.36	432.97
	GARBAGE	159.70	15.97	175.67
	PFP FIRE	82.68	8.27	90.95
	CL WATER	59.08	5.91	64.99
		<u>1,031.84</u>	<u>103.19</u>	<u>1,135.03</u>
92-4-122-233-0180 RAY, RICHARD				
23380.04	WATER	234.88	23.49	258.37
10234 51ST CT	SEWER	272.41	27.24	299.65
	GARBAGE	106.79	10.68	117.47
	PFP FIRE	54.98	5.50	60.48
	CL WATER	31.15	3.12	34.27
		<u>700.21</u>	<u>70.03</u>	<u>770.24</u>
92-4-122-233-0200 CARRIER, STEVEN				
23400.01	WATER	108.78	10.88	119.66
10086 COOPER RD	SEWER	90.00	9.00	99.00
	GARBAGE	48.70	4.87	53.57
	PFP FIRE	17.40	1.74	19.14
	CL WATER	12.90	1.29	14.19
		<u>277.78</u>	<u>27.78</u>	<u>305.56</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-233-0202 KEBERLEIN, RANDAL				
23402.02	WATER	579.95	58.00	637.95
10062 COOPER RD	SEWER	642.69	64.27	706.96
	GARBAGE	207.05	20.70	227.75
	PFP FIRE	72.40	7.24	79.64
	CL WATER	57.77	5.78	63.55
		<u>1,559.86</u>	<u>155.99</u>	<u>1,715.85</u>
92-4-122-234-0131 VACCARELLO-DUNKEL, FLORENCE				
94211.00	PFP FIRE	14.09	1.41	15.50
SPRINGBROOK RD [0131]	CL WATER	583.89	58.39	642.28
		<u>597.98</u>	<u>59.80</u>	<u>657.78</u>
92-4-122-242-0020 MITCHELL, WALTER				
17310.13	WATER	154.30	0.00	154.30
3006 SPRINGBROOK RD	GARBAGE	80.99	0.00	80.99
	PFP FIRE	12.87	0.00	12.87
	CL WATER	83.38	0.00	83.38
		<u>331.54</u>	<u>0.00</u>	<u>331.54</u>
92-4-122-242-0100 DIETMAN, DANIEL				
17390.00	WATER	108.59	10.86	119.45
3209 SPRINGBROOK RD	SEWER	141.63	14.16	155.79
	GARBAGE	102.76	10.28	113.04
	PFP FIRE	13.58	1.36	14.94
	CL WATER	35.99	3.60	39.59
		<u>402.55</u>	<u>40.26</u>	<u>442.81</u>
92-4-122-243-0090 DEWOLF, KAREN				
31460.01	WATER	57.58	5.76	63.34
3610 98TH PL	SEWER	75.12	7.51	82.63
	GARBAGE	49.75	4.98	54.73
	PFP FIRE	11.83	1.18	13.01
	CL WATER	18.14	1.81	19.95
		<u>212.42</u>	<u>21.24</u>	<u>233.66</u>
92-4-122-243-0260 HAFFERKAMP, JEFF				
31730.00	WATER	47.68	4.77	52.45
3429 99TH ST	SEWER	49.30	4.93	54.23
	GARBAGE	22.57	2.26	24.83
	PFP FIRE	5.73	0.57	6.30
	CL WATER	7.19	0.72	7.91
	BULK	0.01	0.00	0.01
		<u>132.48</u>	<u>13.25</u>	<u>145.73</u>
92-4-122-243-0555 SHIVERS, FORREST & DEBORAH				
32240.00	WATER	452.40	45.24	497.64
3400 104TH ST	SEWER	552.36	55.24	607.60
	GARBAGE	194.37	19.44	213.81

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	PFP FIRE	30.27	3.03	33.30
	CL WATER	59.25	5.92	65.17
		<u>1,288.65</u>	<u>128.87</u>	<u>1,417.52</u>
92-4-122-243-0575 COX, GREGG				
32210.00	WATER	663.34	66.33	729.67
10226 34TH AVE	SEWER	774.55	77.46	852.01
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	55.14	5.51	60.65
	CL WATER	83.42	8.34	91.76
	BULK	0.91	0.09	1.00
		<u>1,809.32</u>	<u>180.93</u>	<u>1,990.25</u>
92-4-122-243-0630 RJW 30802 LIVING TRUST				
32560.00	WATER	145.56	14.56	160.12
10226 33RD AVE	SEWER	187.83	18.78	206.61
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	47.46	4.75	52.21
	CL WATER	80.08	8.01	88.09
		<u>692.89</u>	<u>69.30</u>	<u>762.19</u>
92-4-122-243-0701 LAMBERT, CURTIS				
32470.05	WATER	167.30	16.73	184.03
10111 33RD AVE	SEWER	201.57	20.16	221.73
	GARBAGE	84.13	8.41	92.54
	PFP FIRE	22.90	2.29	25.19
	CL WATER	28.42	2.84	31.26
		<u>504.32</u>	<u>50.43</u>	<u>554.75</u>
92-4-122-243-0770 KOSUP, JAMES				
32480.00	WATER	212.83	21.28	234.11
3210 101ST ST	SEWER	254.65	25.46	280.11
	GARBAGE	137.47	13.75	151.22
	PFP FIRE	28.93	2.89	31.82
	CL WATER	50.72	5.07	55.79
		<u>684.60</u>	<u>68.45</u>	<u>753.05</u>
92-4-122-243-0776 HOLLAND, SCOTT & JODI				
32060.02	WATER	123.38	12.34	135.72
10027 32ND AVE	SEWER	161.34	16.13	177.47
	GARBAGE	60.12	6.01	66.13
	PFP FIRE	10.92	1.09	12.01
	CL WATER	20.41	2.04	22.45
		<u>376.17</u>	<u>37.61</u>	<u>413.78</u>
92-4-122-244-0010 NILES				
37094.00	SEWER	674.65	67.46	742.11
2912 104TH ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	28.37	2.84	31.21

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	CL WATER	45.73	4.57	50.30
	BULK	1.43	0.14	1.57
		<u>982.14</u>	<u>98.21</u>	<u>1,080.35</u>
92-4-122-244-0052 MILLER, KYAN				
37116.09	SEWER	141.88	14.19	156.07
10200 29TH AVE	GARBAGE	50.00	5.00	55.00
	PFP FIRE	7.54	0.75	8.29
	CL WATER	21.97	2.20	24.17
		<u>221.39</u>	<u>22.14</u>	<u>243.53</u>
92-4-122-244-0120 WILKS, DAVE				
37138.00	SEWER	674.45	67.44	741.89
9821 29TH AVE	GARBAGE	231.90	23.19	255.09
	PFP FIRE	24.41	2.44	26.85
	CL WATER	70.67	7.07	77.74
		<u>1,001.43</u>	<u>100.14</u>	<u>1,101.57</u>
92-4-122-244-0155 WASHAKC & SCHNEIDER				
37152.01	SEWER	674.65	67.46	742.11
10035 29TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	35.22	3.52	38.74
	CL WATER	96.16	9.62	105.78
		<u>1,037.99</u>	<u>103.80</u>	<u>1,141.79</u>
92-4-122-244-0160 YULE, JOHN				
37154.00	SEWER	674.65	67.46	742.11
10105 29TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	58.55	5.86	64.41
	CL WATER	132.25	13.22	145.47
		<u>1,097.41</u>	<u>109.74</u>	<u>1,207.15</u>
92-4-122-244-0232 KAMMER, CLARENCE				
37179.01	SEWER	339.78	33.98	373.76
10306 28TH AVE	GARBAGE	118.03	11.80	129.83
	PFP FIRE	26.51	2.65	29.16
	CL WATER	45.25	4.52	49.77
		<u>529.57</u>	<u>52.95</u>	<u>582.52</u>
92-4-122-244-0240 STOKES, ORALIA FLORES				
37186.00	SEWER	179.55	17.96	197.51
10200 28TH AVE	GARBAGE	62.25	6.22	68.47
	PFP FIRE	8.16	0.82	8.98
	CL WATER	12.88	1.29	14.17
		<u>262.84</u>	<u>26.29</u>	<u>289.13</u>
92-4-122-244-0265 WINTERS, JANET				
37192.05	SEWER	144.37	14.44	158.81
10034 28TH AVE	GARBAGE	50.00	5.00	55.00

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	PFP FIRE	8.39	0.84	9.23
	CL WATER	21.24	2.12	23.36
		<u>224.00</u>	<u>22.40</u>	<u>246.40</u>
92-4-122-244-0335 SCHILTS, LARRY				
37218.00	SEWER	674.65	67.46	742.11
9821 28TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	37.71	3.77	41.48
	CL WATER	82.30	8.23	90.53
		<u>1,026.62</u>	<u>102.66</u>	<u>1,129.28</u>
92-4-122-244-0371 CREAMER, AARON				
37234.03	SEWER	674.65	67.46	742.11
10101 28TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	30.77	3.08	33.85
	CL WATER	93.44	9.34	102.78
		<u>1,030.82</u>	<u>103.08</u>	<u>1,133.90</u>
92-4-122-244-0511 BASTRUP, LANCE				
37256.00	SEWER	674.65	67.46	742.11
10110 28TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	35.27	3.53	38.80
	CL WATER	76.77	7.68	84.45
		<u>1,018.65</u>	<u>101.87</u>	<u>1,120.52</u>
92-4-122-252-0080 BARNES, DEBORRA				
37314.00	SEWER	54.95	5.50	60.45
3501 104TH ST	GARBAGE	18.97	1.90	20.87
	PFP FIRE	3.81	0.38	4.19
	CL WATER	22.42	2.24	24.66
		<u>100.15</u>	<u>10.02</u>	<u>110.17</u>
92-4-122-252-0155 MILLER, STEVEN				
37332.00	SEWER	212.75	21.28	234.03
3807 107TH ST	GARBAGE	73.86	7.39	81.25
	PFP FIRE	13.93	1.39	15.32
	CL WATER	25.31	2.53	27.84
		<u>325.85</u>	<u>32.59</u>	<u>358.44</u>
92-4-122-252-0200 ADKINS, BOBBY				
37358.00	SEWER	674.65	67.46	742.11
3420 107TH ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	50.77	5.08	55.85
	CL WATER	106.77	10.68	117.45
	BULK	0.03	0.00	0.03
		<u>1,064.18</u>	<u>106.42</u>	<u>1,170.60</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-252-0441 KATSIS, GUS & VALARIE				
32343.00	WATER	139.16	13.92	153.08
3211 107TH ST	SEWER	143.94	14.39	158.33
	GARBAGE	77.65	7.76	85.41
	PFP FIRE	22.28	2.23	24.51
	CL WATER	20.17	2.02	22.19
		<u>403.20</u>	<u>40.32</u>	<u>443.52</u>
92-4-122-252-0513 ALBRECHT, KREGG				
31271.01	WATER	456.19	45.62	501.81
3421 109TH ST	SEWER	589.86	58.99	648.85
	GARBAGE	225.61	22.56	248.17
	PFP FIRE	68.12	6.81	74.93
	CL WATER	56.39	5.64	62.03
		<u>1,396.17</u>	<u>139.62</u>	<u>1,535.79</u>
92-4-122-252-0535 COVELLI, PAUL & MARSHA				
31269.00	WATER	229.09	22.91	252.00
3332 109TH ST	SEWER	298.30	29.83	328.13
	GARBAGE	217.92	21.79	239.71
	PFP FIRE	62.35	6.24	68.59
	CL WATER	60.74	6.07	66.81
		<u>868.40</u>	<u>86.84</u>	<u>955.24</u>
92-4-122-252-0602 HUXHOLD, JOHN				
32350.00	WATER	328.01	32.80	360.81
10636 32ND AVE	SEWER	426.98	42.70	469.68
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	67.86	6.79	74.65
	CL WATER	170.65	17.06	187.71
		<u>1,225.46</u>	<u>122.55</u>	<u>1,348.01</u>
92-4-122-253-0172 OWENS, NICHOLAS				
37458.04	GARBAGE	50.00	5.00	55.00
11239 39TH AVE	PFP FIRE	8.91	0.89	9.80
	CL WATER	68.27	6.83	75.10
		<u>127.18</u>	<u>12.72</u>	<u>139.90</u>
92-4-122-253-0220 GOLWITZER, KAY				
35029.00	WATER	57.26	5.73	62.99
3382 116TH ST	SEWER	74.97	7.50	82.47
	GARBAGE	50.00	5.00	55.00
	PFP FIRE	14.00	1.40	15.40
	CL WATER	37.00	3.70	40.70
	BULK	35.70	3.57	39.27
		<u>268.93</u>	<u>26.90</u>	<u>295.83</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-253-0501 JOHN, JOSEPH M				
35063.04	WATER	144.13	14.41	158.54
11589 32ND AVE	SEWER	187.12	18.71	205.83
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	59.98	6.00	65.98
	CL WATER	68.98	6.90	75.88
	BULK	1.03	0.10	1.13
		<u>693.20</u>	<u>69.32</u>	<u>762.52</u>
92-4-122-253-0507 LETVEN, TODD				
35068.01	WATER	310.73	31.07	341.80
3182 115TH ST	SEWER	393.87	39.39	433.26
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	79.22	7.92	87.14
	CL WATER	63.45	6.34	69.79
		<u>1,079.23</u>	<u>107.92</u>	<u>1,187.15</u>
92-4-122-253-0512 BIRZ, DAVID & BETH				
35088.02	WATER	261.76	26.18	287.94
3390 115TH ST	SEWER	375.09	37.51	412.60
	GARBAGE	175.40	17.54	192.94
	PFP FIRE	61.04	6.10	67.14
	CL WATER	49.35	4.94	54.29
		<u>922.64</u>	<u>92.27</u>	<u>1,014.91</u>
92-4-122-254-0150 BROCKWAY, EDWIN C				
35100.00	WATER	131.22	13.12	144.34
2714 116TH ST	SEWER	170.92	17.09	188.01
	GARBAGE	154.03	15.40	169.43
	PFP FIRE	13.36	1.34	14.70
	CL WATER	42.89	4.29	47.18
		<u>512.42</u>	<u>51.24</u>	<u>563.66</u>
92-4-122-261-0035 WATTIES, PATRICK				
37552.03	SEWER	595.82	59.58	655.40
4103 109TH ST	GARBAGE	205.33	20.53	225.86
	PFP FIRE	48.10	4.81	52.91
	CL WATER	105.52	10.55	116.07
	BULK	0.62	0.06	0.68
		<u>955.39</u>	<u>95.53</u>	<u>1,050.92</u>
92-4-122-261-0153 FORREST, ALLEN				
31200.00	WATER	69.03	6.90	75.93
10860 39TH AVE	SEWER	84.54	8.45	92.99
	GARBAGE	33.17	3.32	36.49
	PFP FIRE	7.14	0.71	7.85
	CL WATER	12.80	1.28	14.08
		<u>206.68</u>	<u>20.66</u>	<u>227.34</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-261-0530 FIERKE, AMBER				
31007.07	WATER	888.09	88.81	976.90
10781 47TH AVE	SEWER	754.52	75.45	829.97
	GARBAGE	231.90	23.19	255.09
	PFP FIRE	65.79	6.58	72.37
	CL WATER	81.77	8.18	89.95
		<u>2,022.07</u>	<u>202.21</u>	<u>2,224.28</u>
92-4-122-261-0570 HARVEY, KRISTI				
37674.00	SEWER	674.60	67.46	742.06
4617 104TH ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	50.28	5.03	55.31
	CL WATER	124.49	12.45	136.94
		<u>1,081.33</u>	<u>108.14</u>	<u>1,189.47</u>
92-4-122-261-0600 LAMOS, SCOTT				
37676.01	SEWER	325.78	32.58	358.36
4585 104TH ST	GARBAGE	113.30	11.33	124.63
	PFP FIRE	22.39	2.24	24.63
	CL WATER	46.21	4.62	50.83
		<u>507.68</u>	<u>50.77</u>	<u>558.45</u>
92-4-122-262-0045 KISNER D. & REINDL T.				
37694.00	WATER	527.27	52.73	580.00
5005 SPRINGBROOK RD	SEWER	496.74	49.67	546.41
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	46.21	4.62	50.83
	CL WATER	112.27	11.23	123.50
		<u>1,414.45</u>	<u>141.45</u>	<u>1,555.90</u>
92-4-122-262-0174 SIMAR, SHAWN & JOAN				
30990.10	WATER	180.71	18.07	198.78
4803 SPRINGBROOK RD	SEWER	224.77	22.48	247.25
	GARBAGE	84.17	8.42	92.59
	PFP FIRE	16.58	1.66	18.24
	CL WATER	56.57	5.66	62.23
		<u>562.80</u>	<u>56.29</u>	<u>619.09</u>
92-4-122-262-0180 DAY, TIMOTHY				
31002.02	WATER	358.57	35.86	394.43
4821 SPRINGBROOK RD	SEWER	414.29	41.43	455.72
	GARBAGE	229.64	22.96	252.60
	PFP FIRE	76.79	7.68	84.47
	CL WATER	90.32	9.03	99.35
		<u>1,169.61</u>	<u>116.96</u>	<u>1,286.57</u>
92-4-122-262-0273 CLARK, SHARON, JOSEPH				
30963.00	WATER	503.87	0.00	503.87
4862 105TH PL	SEWER	459.72	0.00	459.72

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	GARBAGE	128.86	9.25	138.11
	PFP FIRE	68.83	6.88	75.71
	CL WATER	44.41	4.44	48.85
		<u>1,205.69</u>	<u>20.57</u>	<u>1,226.26</u>
92-4-122-262-0447 DANLER, PERRY				
37794.00	SEWER	444.23	44.42	488.65
5401 106TH ST	GARBAGE	154.03	15.40	169.43
	PFP FIRE	28.84	2.88	31.72
	CL WATER	44.37	4.44	48.81
		<u>671.47</u>	<u>67.14</u>	<u>738.61</u>
92-4-122-262-0485 GRAHAM, JEREMY & SABRINA				
37810.01	SEWER	674.65	67.46	742.11
10504 55TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	32.52	3.25	35.77
	CL WATER	54.58	5.46	60.04
	BULK	0.03	0.00	0.03
		<u>993.74</u>	<u>99.37</u>	<u>1,093.11</u>
92-4-122-262-0596 JECEVICUS, PETER				
37850.00	SEWER	532.05	53.20	585.25
10430 52ND AVE	GARBAGE	183.76	18.38	202.14
	PFP FIRE	34.17	3.42	37.59
	CL WATER	114.58	11.46	126.04
		<u>864.56</u>	<u>86.46</u>	<u>951.02</u>
92-4-122-263-0220 GUIDO, TED M.				
37886.01	WATER	391.54	39.15	430.69
5222 SPRINGBROOK RD	GARBAGE	230.36	23.04	253.40
	PFP FIRE	48.29	4.83	53.12
	CL WATER	115.92	11.59	127.51
		<u>786.11</u>	<u>78.61</u>	<u>864.72</u>
92-4-122-264-0111 SKENDZIEL, CHARLES & JAMIE				
38258.00	WATER	496.64	49.66	546.30
4306 110TH ST	SEWER	543.80	54.38	598.18
	GARBAGE	171.54	17.15	188.69
	PFP FIRE	60.08	6.01	66.09
	CL WATER	65.82	6.58	72.40
		<u>1,337.88</u>	<u>133.78</u>	<u>1,471.66</u>
92-4-122-264-0235 BURLESON, DENNIS				
37954.00	SEWER	674.79	67.48	742.27
11535 47TH AVE	GARBAGE	232.02	23.20	255.22
	PFP FIRE	58.98	5.90	64.88
	CL WATER	127.83	12.78	140.61
		<u>1,093.62</u>	<u>109.36</u>	<u>1,202.98</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-264-0428 DRUCKS, ERIC & KELLY				
31107.00	WATER	537.45	53.74	591.19
11011 42ND AVE	SEWER	661.77	66.18	727.95
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	71.97	7.20	79.17
	CL WATER	76.21	7.62	83.83
	BULK	0.48	0.05	0.53
		<u>1,579.84</u>	<u>157.99</u>	<u>1,737.83</u>
92-4-122-264-0439 ZOERNER, DAVID				
30249.00	WATER	456.76	45.68	502.44
11203 43RD AVE	SEWER	567.42	56.74	624.16
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	76.27	7.63	83.90
	CL WATER	71.77	7.18	78.95
	BULK	1.26	0.13	1.39
		<u>1,405.44</u>	<u>140.56</u>	<u>1,546.00</u>
92-4-122-264-0491 REGET, PAUL				
30295.00	WATER	69.64	6.96	76.60
11254 44TH AVE	SEWER	91.21	9.12	100.33
	GARBAGE	25.41	2.54	27.95
	PFP FIRE	9.27	0.93	10.20
	CL WATER	9.02	0.90	9.92
		<u>204.55</u>	<u>20.45</u>	<u>225.00</u>
92-4-122-264-0504 MISSION HILLS HOMEOWNERS ASSN				
94130.00	CL WATER	344.23	34.42	378.65
113TH ST [13]		<u>344.23</u>	<u>34.42</u>	<u>378.65</u>
92-4-122-271-0045 MACK, DANIEL				
38972.00	SEWER	674.60	67.46	742.06
5925 104TH ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	32.03	3.20	35.23
	CL WATER	93.44	9.34	102.78
		<u>1,032.03</u>	<u>103.20</u>	<u>1,135.23</u>
92-4-122-271-0055 ROUSE, ARNOLD				
37976.00	SEWER	674.65	67.46	742.11
10404 59TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	36.73	3.67	40.40
	CL WATER	74.56	7.46	82.02
		<u>1,017.90</u>	<u>101.79</u>	<u>1,119.69</u>
92-4-122-271-0165 HOOVER, CHRISTOPHER				
38028.03	GARBAGE	120.35	12.04	132.39
6210 107TH ST	PFP FIRE	58.86	5.89	64.75
	CL WATER	600.09	60.01	660.10
		<u>779.30</u>	<u>77.94</u>	<u>857.24</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-271-0221 CAPUTO, EUGENE				
38060.00	SEWER	674.65	67.46	742.11
6131 107TH ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	54.60	5.46	60.06
	CL WATER	107.84	10.78	118.62
		<u>1,069.05</u>	<u>106.90</u>	<u>1,175.95</u>
92-4-122-272-0150 MERCADO, JORGE				
38126.01	SEWER	671.87	67.19	739.06
6712 107TH ST	GARBAGE	231.02	23.10	254.12
	PFP FIRE	36.28	3.63	39.91
	CL WATER	135.05	13.50	148.55
	BULK	67.98	6.80	74.78
		<u>1,142.20</u>	<u>114.22</u>	<u>1,256.42</u>
92-4-122-272-0165 SMITH, DONALD & CORRINE				
38132.01	SEWER	143.88	14.39	158.27
6507 107TH ST	GARBAGE	46.82	4.68	51.50
	PFP FIRE	7.99	0.80	8.79
	CL WATER	39.55	3.96	43.51
	BULK	0.59	0.06	0.65
		<u>238.83</u>	<u>23.89</u>	<u>262.72</u>
92-4-122-272-0278 TONKIN, BRUCE				
38204.01	SEWER	96.08	9.61	105.69
6619 109TH ST	GARBAGE	33.19	3.32	36.51
	PFP FIRE	7.71	0.77	8.48
	CL WATER	12.49	1.25	13.74
		<u>149.47</u>	<u>14.95</u>	<u>164.42</u>
92-4-122-272-0402 GOLDEN GREEN PROPERTIES LLC				
92889.01	PFP FIRE	19.19	1.92	21.11
OLD GREEN BAY RD	CL WATER	129.30	12.93	142.23
		<u>148.49</u>	<u>14.85</u>	<u>163.34</u>
92-4-122-272-0420 KK PARTNERS				
38234.03	SEWER	670.91	67.09	738.00
10512 OLD GREEN BAY RD	GARBAGE	230.69	23.07	253.76
	PFP FIRE	36.76	3.68	40.44
	CL WATER	130.41	13.04	143.45
		<u>1,068.77</u>	<u>106.88</u>	<u>1,175.65</u>
92-4-122-272-0452 GREEN DEVELOPMENT LLC				
90888.02	PFP FIRE	72.43	7.24	79.67
104TH ST [22]	CL WATER	143.71	14.37	158.08
		<u>216.14</u>	<u>21.61</u>	<u>237.75</u>

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VILLAGE OF PLEASANT PRAIRIE
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Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-273-0115 TATRO, TIMOTHY				
38276.00	GARBAGE	231.96	23.20	255.16
6526 116TH ST	PFP FIRE	55.49	5.55	61.04
	CL WATER	165.54	16.55	182.09
		<u>452.99</u>	<u>45.30</u>	<u>498.29</u>
92-4-122-274-0060 PEZDIR, RICHARD				
38302.00	GARBAGE	231.96	23.20	255.16
5621 SPRINGBROOK RD	PFP FIRE	44.23	4.42	48.65
	CL WATER	134.47	13.45	147.92
		<u>410.66</u>	<u>41.07</u>	<u>451.73</u>
92-4-122-274-0152 SKURSKI, MATHEW				
38310.00	GARBAGE	71.02	7.10	78.12
5644 116TH ST	PFP FIRE	21.67	2.17	23.84
	CL WATER	39.64	3.96	43.60
		<u>132.33</u>	<u>13.23</u>	<u>145.56</u>
92-4-122-274-0160 FREDERICK, RICHARD				
38316.00	GARBAGE	231.96	23.20	255.16
5806 SPRINGBROOK RD	PFP FIRE	42.04	4.20	46.24
	CL WATER	113.39	11.34	124.73
		<u>387.39</u>	<u>38.74</u>	<u>426.13</u>
92-4-122-274-0165 SKURSKI, MATTHEW J & MAUREN T				
90898.00	PFP FIRE	18.33	1.83	20.16
SPRINGBROOK RD [18]	CL WATER	158.25	15.82	174.07
		<u>176.58</u>	<u>17.65</u>	<u>194.23</u>
92-4-122-281-0120 LAKEVIEW CHILDCARE				
30809.00	WATER	720.97	72.10	793.07
10450 72ND AVE	SEWER	789.38	78.94	868.32
	PR FIRE	232.32	23.23	255.55
	PFP FIRE	173.18	17.32	190.50
	ST LIGHT	70.09	7.01	77.10
	CL WATER	179.25	17.92	197.17
		<u>2,165.19</u>	<u>216.52</u>	<u>2,381.71</u>
92-4-122-284-0052 ANDERSEN, ROBERTA				
38416.00	GARBAGE	40.00	4.00	44.00
7703 SPRINGBROOK RD	PFP FIRE	18.92	1.89	20.81
	CL WATER	338.06	33.81	371.87
		<u>396.98</u>	<u>39.70</u>	<u>436.68</u>
92-4-122-311-0100 ANDERSON, DAVID				
38454.00	GARBAGE	122.57	12.26	134.83
10716 122ND ST	PFP FIRE	53.84	5.38	59.22
	CL WATER	345.23	34.52	379.75
		<u>521.64</u>	<u>52.16</u>	<u>573.80</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-312-0220 MARTIN, CRAIG & SHANNON				
38460.00	GARBAGE	231.92	23.19	255.11
11831 120TH CT	PFP FIRE	73.45	7.34	80.79
	CL WATER	178.23	17.82	196.05
		<u>483.60</u>	<u>48.35</u>	<u>531.95</u>
92-4-122-321-0400 GT GROUP TELECOM LLC				
90996.01	PFP FIRE	60.48	6.05	66.53
8802 122ND ST	CL WATER	170.73	17.07	187.80
		<u>231.21</u>	<u>23.12</u>	<u>254.33</u>
92-4-122-322-0400 ANDERSON, JOHN				
38495.00	GARBAGE	214.37	21.44	235.81
10326 122ND ST	PFP FIRE	63.22	6.32	69.54
	CL WATER	193.05	19.30	212.35
		<u>470.64</u>	<u>47.06</u>	<u>517.70</u>
92-4-122-323-0300 MENDINO, JOSEPH				
38498.00	GARBAGE	231.96	23.20	255.16
9725 122ND ST	PFP FIRE	71.21	7.12	78.33
	CL WATER	414.57	41.46	456.03
		<u>717.74</u>	<u>71.78</u>	<u>789.52</u>
92-4-122-324-0200 MENDINO, JOSEPH				
91001.00	PFP FIRE	16.54	1.65	18.19
122ND ST [12]	CL WATER	258.77	25.88	284.65
		<u>275.31</u>	<u>27.53</u>	<u>302.84</u>
92-4-122-324-0351 STIRLING, JOHN P				
91003.00	PFP FIRE	33.09	3.31	36.40
88TH AVE [42]	CL WATER	478.42	47.84	526.26
		<u>511.51</u>	<u>51.15</u>	<u>562.66</u>
92-4-122-324-0360 NORTHERN PINE				
91004.00	PFP FIRE	117.47	11.75	129.22
12720 88TH AVE	CL WATER	2,992.03	299.20	3,291.23
		<u>3,109.50</u>	<u>310.95</u>	<u>3,420.45</u>
92-4-122-324-0400 STIRLING, JOHN P				
91005.00	PFP FIRE	15.10	1.51	16.61
88TH AVE [43]	CL WATER	129.45	12.94	142.39
		<u>144.55</u>	<u>14.45</u>	<u>159.00</u>
92-4-122-333-0225 SIMONOVICH, MEL & SUE				
39833.00	SEWER	674.65	67.46	742.11
12322 87TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	86.87	8.69	95.56
	CL WATER	117.78	11.78	129.56

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		<u>1,111.26</u>	<u>111.13</u>	<u>1,222.39</u>
92-4-122-333-0250 SPARKS, RUSSELL				
39834.01	SEWER	674.65	67.46	742.11
12325 87TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	71.79	7.18	78.97
	CL WATER	124.50	12.45	136.95
		<u>1,102.90</u>	<u>110.29</u>	<u>1,213.19</u>
92-4-122-341-0010 REEVES, RICHARD				
38526.03	GARBAGE	228.97	22.90	251.87
6018 SPRINGBROOK RD	PFP FIRE	51.78	5.18	56.96
	CL WATER	120.16	12.02	132.18
		<u>400.91</u>	<u>40.10</u>	<u>441.01</u>
92-4-122-341-0035 MCDONOUGH, RONALD				
38544.00	GARBAGE	212.39	21.24	233.63
6311 116TH ST	PFP FIRE	52.57	5.26	57.83
	CL WATER	207.80	20.78	228.58
		<u>472.76</u>	<u>47.28</u>	<u>520.04</u>
92-4-122-342-0015 KAZUMURA, JEFFREY & DANIEL				
38580.00	GARBAGE	231.96	23.20	255.16
6423 116TH ST	PFP FIRE	57.69	5.77	63.46
	CL WATER	158.87	15.89	174.76
		<u>448.52</u>	<u>44.86</u>	<u>493.38</u>
92-4-122-343-0146 JENSEN, RICHARD E & JENNA A				
91047.00	PFP FIRE	25.48	2.55	28.03
12522 GREEN BAY RD	CL WATER	120.66	12.07	132.73
		<u>146.14</u>	<u>14.62</u>	<u>160.76</u>
92-4-122-343-0170 SMITH, HENRY				
38618.00	GARBAGE	101.51	10.15	111.66
12700 GREEN BAY RD	PFP FIRE	11.70	1.17	12.87
	CL WATER	76.60	7.66	84.26
		<u>189.81</u>	<u>18.98</u>	<u>208.79</u>
92-4-122-343-0202 RINELLA, RICHARD				
91048.03	PFP FIRE	14.00	1.40	15.40
128TH ST [4]	CL WATER	87.74	8.77	96.51
		<u>101.74</u>	<u>10.17</u>	<u>111.91</u>
92-4-122-343-0205 SMITH, HENRY G				
91049.00	PFP FIRE	33.98	3.40	37.38
GREEN BAY RD [20]	CL WATER	614.03	61.40	675.43
		<u>648.01</u>	<u>64.80</u>	<u>712.81</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-343-0350 BROWN, WILLIAM				
30618.01	WATER	597.58	59.76	657.34
6650 124TH ST	SEWER	694.66	69.47	764.13
	GARBAGE	210.55	21.06	231.61
	PFP FIRE	31.97	3.20	35.17
	CL WATER	33.30	3.33	36.63
		<u>1,568.06</u>	<u>156.82</u>	<u>1,724.88</u>
92-4-122-343-0360 ROSENBERG, BRIAN				
30620.01	WATER	677.28	67.73	745.01
6653 124TH ST	SEWER	875.65	87.56	963.21
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	37.23	3.72	40.95
	CL WATER	44.05	4.40	48.45
		<u>1,866.17</u>	<u>186.61</u>	<u>2,052.78</u>
92-4-122-343-0610 HARRISON, RANDALL & PAMELA				
30660.00	WATER	586.13	58.61	644.74
12531 TIMBER RIDGE DR	SEWER	743.21	74.32	817.53
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	31.81	3.18	34.99
	CL WATER	34.06	3.41	37.47
	BULK	107.76	10.78	118.54
		<u>1,734.93</u>	<u>173.50</u>	<u>1,908.43</u>
92-4-122-343-0660 BLOWERS, LYNNDÉE				
30670.04	WATER	146.75	14.68	161.43
6640 125TH PL	SEWER	174.11	17.41	191.52
	GARBAGE	124.63	12.46	137.09
	PFP FIRE	17.78	1.78	19.56
	CL WATER	17.00	1.70	18.70
		<u>480.27</u>	<u>48.03</u>	<u>528.30</u>
92-4-122-343-0670 FREEMAN, KEVIN				
30672.01	WATER	472.34	47.23	519.57
6632 125TH PL	SEWER	614.90	61.49	676.39
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	35.44	3.54	38.98
	CL WATER	31.31	3.13	34.44
	BULK	26.02	2.60	28.62
		<u>1,411.97</u>	<u>141.19</u>	<u>1,553.16</u>
92-4-122-343-0720 WARE, BARBARA A				
30682.00	WATER	83.23	8.32	91.55
12585 TIMBER RIDGE DR	SEWER	108.93	10.89	119.82
	GARBAGE	48.81	4.88	53.69
	PFP FIRE	6.04	0.60	6.64
	CL WATER	7.49	0.75	8.24
		<u>254.50</u>	<u>25.44</u>	<u>279.94</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-343-0880 TEODORO, REYNALDO				
30708.01	WATER	59.94	5.99	65.93
6522 126TH ST	SEWER	78.48	7.85	86.33
	GARBAGE	35.67	3.57	39.24
	PFP FIRE	4.85	0.48	5.33
	CL WATER	5.49	0.55	6.04
		<u>184.43</u>	<u>18.44</u>	<u>202.87</u>
92-4-122-343-0910 HERNANDEZ, IRENE				
30714.05	WATER	99.47	9.95	109.42
6502 126TH ST	SEWER	124.50	12.45	136.95
	GARBAGE	46.64	4.66	51.30
	PFP FIRE	7.07	0.71	7.78
	CL WATER	7.38	0.74	8.12
		<u>285.06</u>	<u>28.51</u>	<u>313.57</u>
92-4-122-343-0940 ROSENBERG, KEVIN				
30720.00	WATER	52.40	5.24	57.64
6511 126TH ST	SEWER	68.17	6.82	74.99
	GARBAGE	31.00	3.10	34.10
	PFP FIRE	4.56	0.46	5.02
	CL WATER	4.24	0.42	4.66
		<u>160.37</u>	<u>16.04</u>	<u>176.41</u>
92-4-122-343-1050 SANFORD BLOOM TRUST				
30738.04	WATER	64.70	6.47	71.17
6536 126TH PL	SEWER	61.66	6.17	67.83
	GARBAGE	33.72	3.37	37.09
	PFP FIRE	5.11	0.51	5.62
	CL WATER	5.42	0.54	5.96
		<u>170.61</u>	<u>17.06</u>	<u>187.67</u>
92-4-122-343-1100 MCCAFFERTY, SEAN				
30748.00	WATER	424.89	42.49	467.38
6533 126TH PL	SEWER	529.36	52.94	582.30
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	28.96	2.90	31.86
	CL WATER	36.85	3.68	40.53
		<u>1,252.02</u>	<u>125.21</u>	<u>1,377.23</u>
92-4-122-343-1150 DAVIS, TINA & TOM				
30756.03	WATER	207.58	20.76	228.34
6448 127TH ST	SEWER	270.77	27.08	297.85
	GARBAGE	135.88	13.59	149.47
	PFP FIRE	19.00	1.90	20.90
	CL WATER	22.83	2.28	25.11
		<u>656.06</u>	<u>65.61</u>	<u>721.67</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-343-1150 LEEDOM				
30756.04	WATER	50.16	5.02	55.18
6448 127TH ST	SEWER	54.47	5.45	59.92
	GARBAGE	18.80	1.88	20.68
	PFP FIRE	2.60	0.26	2.86
	CL WATER	3.22	0.32	3.54
		<u>129.25</u>	<u>12.93</u>	<u>142.18</u>
92-4-122-343-1200 STOUT, JAMES				
30766.00	WATER	543.14	54.31	597.45
6443 127TH ST	SEWER	636.00	63.60	699.60
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	33.23	3.32	36.55
	CL WATER	33.54	3.35	36.89
	BULK	26.02	2.60	28.62
		<u>1,503.89</u>	<u>150.38</u>	<u>1,654.27</u>
92-4-122-343-1240 TDJEDA, OSZALDO				
30774.02	WATER	50.58	5.06	55.64
12728 64TH AVE	SEWER	66.25	6.62	72.87
	GARBAGE	27.40	2.74	30.14
	PFP FIRE	3.99	0.40	4.39
	CL WATER	3.54	0.35	3.89
		<u>151.76</u>	<u>15.17</u>	<u>166.93</u>
92-4-122-351-0125 FEDERAL HOME LOAN MORTGAGE				
38674.01	SEWER	662.27	66.23	728.50
11725 45TH AVE	GARBAGE	227.76	22.78	250.54
	PFP FIRE	70.12	7.01	77.13
	CL WATER	111.37	11.14	122.51
		<u>1,071.52</u>	<u>107.16</u>	<u>1,178.68</u>
92-4-122-351-0190 SOBOCINKI, LEE & DAWN				
38698.02	GARBAGE	80.23	8.02	88.25
4500 121ST ST	PFP FIRE	25.65	2.56	28.21
	CL WATER	60.45	6.04	66.49
	BULK	20.20	2.02	22.22
		<u>186.53</u>	<u>18.64</u>	<u>205.17</u>
92-4-122-351-0405 BENEFIEL, JAMI & PAULA				
32625.00	WATER	124.67	12.47	137.14
12169 43RD AVE	SEWER	160.89	16.09	176.98
	GARBAGE	57.92	5.79	63.71
	PFP FIRE	12.20	1.22	13.42
	CL WATER	16.62	1.66	18.28
		<u>372.30</u>	<u>37.23</u>	<u>409.53</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-351-0455 VAVRA				
32700.02	WATER	112.04	11.20	123.24
12049 43RD AVE	SEWER	134.89	13.49	148.38
	GARBAGE	73.23	7.32	80.55
	PFP FIRE	12.62	1.26	13.88
	CL WATER	20.12	2.01	22.13
		<u>352.90</u>	<u>35.28</u>	<u>388.18</u>
92-4-122-351-0535 AIELLO, PAUL				
32834.01	WATER	225.52	22.55	248.07
12124 43RD AVE	SEWER	275.74	27.57	303.31
	GARBAGE	244.43	24.44	268.87
	PFP FIRE	49.13	4.91	54.04
	CL WATER	69.17	6.92	76.09
		<u>863.99</u>	<u>86.39</u>	<u>950.38</u>
92-4-122-351-0635 JENSEN, CLAUDE				
33020.05	WATER	254.03	25.40	279.43
12000 44TH AVE	SEWER	325.28	32.53	357.81
	GARBAGE	207.08	20.71	227.79
	PFP FIRE	37.17	3.72	40.89
	CL WATER	60.75	6.08	66.83
		<u>884.31</u>	<u>88.44</u>	<u>972.75</u>
92-4-122-351-0685 GIRAGOSIAN, DAVID & DEBRA				
33110.00	WATER	388.91	38.89	427.80
12130 44TH AVE	SEWER	438.07	43.81	481.88
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	41.95	4.20	46.15
	CL WATER	66.75	6.68	73.43
		<u>1,167.64</u>	<u>116.78</u>	<u>1,284.42</u>
92-4-122-351-0715 SARBACKER, JASON				
33170.01	WATER	260.82	26.08	286.90
4502 122ND ST	SEWER	329.34	32.93	362.27
	GARBAGE	127.27	12.73	140.00
	PFP FIRE	21.13	2.11	23.24
	CL WATER	34.61	3.46	38.07
		<u>773.17</u>	<u>77.31</u>	<u>850.48</u>
92-4-122-354-0080 HYATT, DIRK				
33290.01	WATER	66.70	6.67	73.37
4537 122ND ST	SEWER	81.22	8.12	89.34
	GARBAGE	45.93	4.59	50.52
	PFP FIRE	5.13	0.51	5.64
	CL WATER	11.73	1.17	12.90
		<u>210.71</u>	<u>21.06</u>	<u>231.77</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-354-0155 BOWMAN, DANIEL				
34260.03	WATER	0.00	1.82	1.82
12450 39TH AVE	SEWER	0.00	1.81	1.81
	GARBAGE	0.00	0.81	0.81
	PFP FIRE	0.00	0.12	0.12
	CL WATER	0.00	0.19	0.19
		<u>0.00</u>	<u>4.75</u>	<u>4.75</u>
92-4-122-354-0180 CANTRELL, STEVE				
34200.02	WATER	239.78	23.98	263.76
12404 39TH AVE	SEWER	312.43	31.24	343.67
	GARBAGE	230.32	23.03	253.35
	PFP FIRE	25.55	2.56	28.11
	CL WATER	42.64	4.26	46.90
		<u>850.72</u>	<u>85.07</u>	<u>935.79</u>
92-4-122-354-0235 HANLON, STEPHEN				
33630.00	WATER	402.40	40.24	442.64
12415 41ST AVE	SEWER	519.32	51.93	571.25
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	33.67	3.37	37.04
	CL WATER	40.19	4.02	44.21
		<u>1,227.54</u>	<u>122.76</u>	<u>1,350.30</u>
92-4-122-354-0250 ARENA, MARY				
33660.00	WATER	362.93	36.29	399.22
12437 41ST AVE	SEWER	473.84	47.38	521.22
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	36.18	3.62	39.80
	CL WATER	40.68	4.07	44.75
		<u>1,145.59</u>	<u>114.56</u>	<u>1,260.15</u>
92-4-122-354-0570 FITCH, WAYNE				
34100.00	WATER	590.13	59.01	649.14
4208 124TH ST	SEWER	650.33	65.03	715.36
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	33.10	3.31	36.41
	CL WATER	40.94	4.09	45.03
		<u>1,546.46</u>	<u>154.64</u>	<u>1,701.10</u>
92-4-122-354-0575 PIERANGELI, DEAN & DIANNE				
34110.02	WATER	311.15	31.12	342.27
4202 124TH ST	SEWER	365.81	36.58	402.39
	GARBAGE	132.54	13.25	145.79
	PFP FIRE	21.05	2.10	23.15
	CL WATER	23.86	2.39	26.25
		<u>854.41</u>	<u>85.44</u>	<u>939.85</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-354-0580 SMITH, DAVID & JULIA				
34120.01	WATER	223.06	22.31	245.37
4130 124TH ST	SEWER	250.98	25.10	276.08
	GARBAGE	106.09	10.61	116.70
	PFP FIRE	15.88	1.59	17.47
	CL WATER	20.90	2.09	22.99
		<u>616.91</u>	<u>61.70</u>	<u>678.61</u>
92-4-122-354-0700 QUINN, LAURA				
33375.01	WATER	237.84	23.78	261.62
4420 123RD ST	SEWER	195.82	19.58	215.40
	GARBAGE	84.23	8.42	92.65
	PFP FIRE	19.09	1.91	21.00
	CL WATER	27.22	2.72	29.94
		<u>564.20</u>	<u>56.41</u>	<u>620.61</u>
92-4-122-354-0720 WANN, WILLIAM & PAMELA				
32885.02	WATER	109.66	10.97	120.63
4315 122ND ST	SEWER	137.80	13.78	151.58
	GARBAGE	40.66	4.07	44.73
	PFP FIRE	7.59	0.76	8.35
	CL WATER	10.39	1.04	11.43
		<u>306.10</u>	<u>30.62</u>	<u>336.72</u>
92-4-122-361-0040 FEDERAL HOME LOAN MGT CORP				
38782.06	SEWER	345.71	34.57	380.28
11823 26TH AVE	GARBAGE	120.22	12.02	132.24
	PFP FIRE	20.86	2.09	22.95
	CL WATER	64.48	6.45	70.93
		<u>551.27</u>	<u>55.13</u>	<u>606.40</u>
92-4-122-361-0092 DOHERTY, WILLIAM				
38798.00	SEWER	340.35	34.04	374.39
12015 26TH AVE	GARBAGE	118.36	11.84	130.20
	PFP FIRE	24.68	2.47	27.15
	CL WATER	58.32	5.83	64.15
		<u>541.71</u>	<u>54.18</u>	<u>595.89</u>
92-4-122-361-0210 VANDENBRANDEN, JAMES				
35110.07	WATER	456.40	45.64	502.04
2705 116TH ST	SEWER	489.95	49.00	538.95
	GARBAGE	231.99	23.20	255.19
	PFP FIRE	31.99	3.20	35.19
	CL WATER	77.93	7.79	85.72
		<u>1,288.26</u>	<u>128.83</u>	<u>1,417.09</u>
92-4-122-361-0220 BESHIRI, JAKUP				
38844.02	SEWER	85.21	8.52	93.73
2727 116TH ST	GARBAGE	29.40	2.94	32.34

VILLAGE OF PLEASANT PRAIRIE
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Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	PFP FIRE	3.65	0.36	4.01
	CL WATER	8.29	0.83	9.12
		<u>126.55</u>	<u>12.65</u>	<u>139.20</u>
92-4-122-361-0307 MELE BELLA TRUST				
96087.00	PFP FIRE	44.82	4.48	49.30
28TH AVE [5]	CL WATER	383.57	38.36	421.93
		<u>428.39</u>	<u>42.84</u>	<u>471.23</u>
92-4-122-361-0330 REICHEL, JORDAN				
38886.00	SEWER	96.08	9.61	105.69
11632 28TH AVE	GARBAGE	33.18	3.32	36.50
	PFP FIRE	5.32	0.53	5.85
	CL WATER	10.09	1.01	11.10
		<u>144.67</u>	<u>14.47</u>	<u>159.14</u>
92-4-122-361-0502 STEIN DEVELOPMENT LCC				
91139.00	PFP FIRE	32.43	3.24	35.67
25TH CT [1]	CL WATER	92.97	9.30	102.27
		<u>125.40</u>	<u>12.54</u>	<u>137.94</u>
92-4-122-361-0509 STEIN DEVELOPMENT LCC				
91146.00	PFP FIRE	14.41	1.44	15.85
119TH ST [2]	CL WATER	166.57	16.66	183.23
		<u>180.98</u>	<u>18.10</u>	<u>199.08</u>
92-4-122-362-0030 MARTENS, CARL				
35050.00	WATER	525.21	52.52	577.73
3209 116TH ST	SEWER	650.35	65.04	715.39
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	30.99	3.10	34.09
	CL WATER	112.27	11.23	123.50
		<u>1,550.78</u>	<u>155.09</u>	<u>1,705.87</u>
92-4-122-362-0045 MIKUS, GLEE				
35040.00	WATER	127.05	12.70	139.75
3475 116TH ST	SEWER	165.84	16.58	182.42
	GARBAGE	115.59	11.56	127.15
	PFP FIRE	11.77	1.18	12.95
	CL WATER	53.90	5.39	59.29
		<u>474.15</u>	<u>47.41</u>	<u>521.56</u>
92-4-122-362-0185 MAERZKE BROTHERS				
38942.01	GARBAGE	136.72	13.67	150.39
3604 120TH PL	PFP FIRE	27.84	2.78	30.62
	CL WATER	85.60	8.56	94.16
		<u>250.16</u>	<u>25.01</u>	<u>275.17</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
92-4-122-362-0187 POWELL, GARY				
38944.01	GARBAGE	229.51	22.95	252.46
3518 120TH PL	PFP FIRE	51.40	5.14	56.54
	CL WATER	131.43	13.14	144.57
		<u>412.34</u>	<u>41.23</u>	<u>453.57</u>
92-4-122-362-0190 POWELL, GARY				
91159.01	PFP FIRE	20.28	2.03	22.31
120TH PL	CL WATER	113.59	11.36	124.95
		<u>133.87</u>	<u>13.39</u>	<u>147.26</u>
92-4-122-362-1062 WILLIAMS, BRIAN & CARRIE ANN				
39448.03	WATER	93.95	9.40	103.35
12137 35TH AVE	SEWER	123.01	12.30	135.31
	GARBAGE	50.69	5.07	55.76
	PFP FIRE	16.96	1.70	18.66
	CL WATER	13.67	1.37	15.04
		<u>298.28</u>	<u>29.84</u>	<u>328.12</u>
92-4-122-362-1081 HAGOPIAN, LEE				
39472.03	WATER	177.22	17.72	194.94
3605 121ST PL	SEWER	219.85	21.98	241.83
	GARBAGE	64.56	6.46	71.02
	PFP FIRE	17.39	1.74	19.13
	CL WATER	14.45	1.44	15.89
		<u>493.47</u>	<u>49.34</u>	<u>542.81</u>
92-4-122-363-0036 IDRIZI, FATIME & FADIL				
34465.03	WATER	431.15	43.12	474.27
12300 36TH AVE	SEWER	533.05	53.30	586.35
	GARBAGE	166.02	16.60	182.62
	PFP FIRE	43.63	4.36	47.99
	CL WATER	41.77	4.18	45.95
	BULK	26.28	2.63	28.91
		<u>1,241.90</u>	<u>124.19</u>	<u>1,366.09</u>
92-4-122-363-0080 SCHMALING, MICHAEL				
34760.05	WATER	419.35	41.94	461.29
3760 124TH ST	SEWER	518.63	51.86	570.49
	GARBAGE	231.38	23.14	254.52
	PFP FIRE	43.40	4.34	47.74
	CL WATER	43.95	4.40	48.35
	BULK	0.30	0.03	0.33
		<u>1,257.01</u>	<u>125.71</u>	<u>1,382.72</u>
92-4-122-363-0145 MARTINEZ, AWILDA				
34500.00	WATER	99.82	9.98	109.80
3760 125TH ST	SEWER	100.39	10.04	110.43
	GARBAGE	30.99	3.10	34.09

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	PFP FIRE	5.92	0.59	6.51
	CL WATER	4.82	0.48	5.30
		<u>241.94</u>	<u>24.19</u>	<u>266.13</u>
92-4-122-363-0595 BLUMA, TRAVIS & SALLY				
34675.05	WATER	53.64	5.36	59.00
3280 124TH ST	SEWER	70.26	7.03	77.29
	GARBAGE	37.34	3.73	41.07
	PFP FIRE	7.37	0.74	8.11
	CL WATER	7.09	0.71	7.80
		<u>175.70</u>	<u>17.57</u>	<u>193.27</u>
92-4-122-363-0618 LANG, DALE				
34660.00	WATER	722.29	72.23	794.52
3180 124TH ST	SEWER	831.67	83.17	914.84
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	55.64	5.56	61.20
	CL WATER	52.94	5.29	58.23
		<u>1,894.50</u>	<u>189.45</u>	<u>2,083.95</u>
92-4-122-363-1015 LITZ, BROOKS & REBECCA				
34821.02	WATER	36.27	3.63	39.90
3320 122ND ST	SEWER	41.85	4.18	46.03
	GARBAGE	16.42	1.64	18.06
	PFP FIRE	4.55	0.46	5.01
	CL WATER	3.56	0.36	3.92
		<u>102.65</u>	<u>10.27</u>	<u>112.92</u>
93-4-123-172-0005 JPMORGAN CHASE				
91182.02	PFP FIRE	135.33	13.53	148.86
LAKESHORE DR	CL WATER	18.54	1.85	20.39
		<u>153.87</u>	<u>15.38</u>	<u>169.25</u>
93-4-123-172-0051 GARZA, ANTHONY				
30023.00	WATER	360.02	36.00	396.02
8604 2ND AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	47.20	4.72	51.92
	CL WATER	21.88	2.19	24.07
		<u>661.06</u>	<u>66.11</u>	<u>727.17</u>
93-4-123-172-0143 SALITURO, ROBERT				
30045.02	WATER	913.88	91.39	1,005.27
8703 LAKESHORE DR	GARBAGE	231.92	23.19	255.11
	PFP FIRE	225.76	22.58	248.34
	CL WATER	38.46	3.85	42.31
		<u>1,410.02</u>	<u>141.01</u>	<u>1,551.03</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-172-0265 SCHMIDTKE, FRITZ				
30456.00	WATER	102.33	10.23	112.56
8701 2ND AVE	GARBAGE	118.85	11.88	130.73
	PFP FIRE	28.52	2.85	31.37
	CL WATER	13.33	1.33	14.66
		<u>263.03</u>	<u>26.29</u>	<u>289.32</u>
93-4-123-172-0450 COTTO, GABRIEL				
30176.00	WATER	653.87	65.39	719.26
8721 3RD AVE	GARBAGE	233.84	23.38	257.22
	PFP FIRE	44.18	4.42	48.60
	CL WATER	19.65	1.96	21.61
	BULK	25.76	2.58	28.34
		<u>977.30</u>	<u>97.73</u>	<u>1,075.03</u>
93-4-123-172-0460 ADE, THOMAS				
30180.01	WATER	92.69	9.27	101.96
8735 3RD AVE	GARBAGE	50.00	5.00	55.00
	PFP FIRE	9.66	0.97	10.63
	CL WATER	5.24	0.52	5.76
		<u>157.59</u>	<u>15.76</u>	<u>173.35</u>
93-4-123-172-0490 BYRD, SHAVYEA				
30194.04	WATER	359.47	35.95	395.42
8759 3RD AVE	GARBAGE	174.85	17.48	192.33
	PFP FIRE	45.11	4.51	49.62
	CL WATER	18.66	1.87	20.53
	BULK	27.07	2.71	29.78
		<u>625.16</u>	<u>62.52</u>	<u>687.68</u>
93-4-123-172-0520 KROKOSZ FAMILY TRUST				
30208.05	WATER	253.98	25.40	279.38
8785 3RD AVE	GARBAGE	129.30	12.93	142.23
	PFP FIRE	28.61	2.86	31.47
	CL WATER	11.69	1.17	12.86
	BULK	112.14	11.21	123.35
		<u>535.72</u>	<u>53.57</u>	<u>589.29</u>
93-4-123-172-0610 SHODIS, GREGORY				
30402.00	WATER	199.05	19.90	218.95
8716 2ND AVE	GARBAGE	243.35	24.34	267.69
	PFP FIRE	45.68	4.57	50.25
	CL WATER	26.38	2.64	29.02
	BULK	11.16	1.12	12.28
		<u>525.62</u>	<u>52.57</u>	<u>578.19</u>
93-4-123-183-0025 STEINSEIFER, CARL				
41040.00	SEWER	674.65	67.46	742.11
8902 20TH AVE	GARBAGE	231.96	23.20	255.16

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	CL WATER	50.14	5.01	55.15
		<u>956.75</u>	<u>95.67</u>	<u>1,052.42</u>
93-4-123-183-0120 OCCUPANT				
46375.05	SEWER	548.23	54.82	603.05
1915 89TH ST	GARBAGE	189.20	18.92	208.12
	CL WATER	37.43	3.74	41.17
		<u>774.86</u>	<u>77.48</u>	<u>852.34</u>
93-4-123-183-0125 JEWELL, MARY				
46370.00	SEWER	337.83	33.78	371.61
1905 89TH ST	GARBAGE	117.47	11.75	129.22
	CL WATER	23.98	2.40	26.38
		<u>479.28</u>	<u>47.93</u>	<u>527.21</u>
93-4-123-183-0185 SAVIC, MILAN				
46300.03	SEWER	535.08	53.51	588.59
1912 89TH PL	GARBAGE	184.77	18.48	203.25
	CL WATER	38.82	3.88	42.70
		<u>758.67</u>	<u>75.87</u>	<u>834.54</u>
93-4-123-183-0235 NAVARRO, MARIE				
46255.01	SEWER	240.65	24.06	264.71
1819 89TH PL	GARBAGE	83.52	8.35	91.87
	CL WATER	15.85	1.58	17.43
		<u>340.02</u>	<u>33.99</u>	<u>374.01</u>
93-4-123-183-0440 JABS, JOSHUA				
17760.01	WATER	220.92	22.09	243.01
2019 91ST ST	SEWER	253.80	25.38	279.18
	GARBAGE	119.03	11.90	130.93
	PFP FIRE	11.40	1.14	12.54
	CL WATER	86.63	8.66	95.29
		<u>691.78</u>	<u>69.17</u>	<u>760.95</u>
93-4-123-183-0440 JABS, JOSHUA				
17770.01	WATER	75.86	7.59	83.45
2015 91ST ST	SEWER	98.91	9.89	108.80
	GARBAGE	101.51	10.15	111.66
	PFP FIRE	9.72	0.97	10.69
		<u>286.00</u>	<u>28.60</u>	<u>314.60</u>
93-4-123-183-0515 LANDQUEST				
16332.12	WATER	91.16	9.12	100.28
2009 91ST ST A	SEWER	119.01	11.90	130.91
	GARBAGE	95.98	9.60	105.58
	PFP FIRE	6.77	0.68	7.45
		<u>312.92</u>	<u>31.30</u>	<u>344.22</u>

VILLAGE OF PLEASANT PRAIRIE
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Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-184-0005 SUNDAY, GENE				
30107.00	WATER	423.06	42.31	465.37
8853 LAKESHORE DR	GARBAGE	229.07	22.91	251.98
	PFP FIRE	194.68	19.47	214.15
	CL WATER	25.42	2.54	27.96
		<u>872.23</u>	<u>87.23</u>	<u>959.46</u>
93-4-123-184-0135 THOMPSON, HAROLD				
51725.00	GARBAGE	231.96	23.20	255.16
9211 LAKESHORE DR	PFP FIRE	192.26	19.23	211.49
	CL WATER	35.19	3.52	38.71
		<u>459.41</u>	<u>45.95</u>	<u>505.36</u>
93-4-123-184-0140 THOMPSON, HAROLD & JUNITH				
91226.00	PFP FIRE	89.71	8.97	98.68
LAKESHORE DR [19]	CL WATER	17.12	1.71	18.83
		<u>106.83</u>	<u>10.68</u>	<u>117.51</u>
93-4-123-184-0150 TRABA, MICHAEL & CHRISTINE				
51740.01	PFP FIRE	126.08	12.61	138.69
9245 LAKESHORE DR	CL WATER	20.80	2.08	22.88
		<u>146.88</u>	<u>14.69</u>	<u>161.57</u>
93-4-123-184-0170 MATUS, RONALD				
51660.00	WATER	308.71	30.87	339.58
8870 LAKESHORE DR	GARBAGE	229.51	22.95	252.46
	PFP FIRE	49.40	4.94	54.34
	CL WATER	28.23	2.82	31.05
		<u>615.85</u>	<u>61.58</u>	<u>677.43</u>
93-4-123-184-0770 TURNER, BENJAMIN				
39016.05	WATER	0.00	2.92	2.92
9207 8TH AVE	SEWER	0.00	2.65	2.65
	GARBAGE	0.00	1.13	1.13
	PFP FIRE	0.00	0.19	0.19
	CL WATER	0.00	0.23	0.23
		<u>0.00</u>	<u>7.12</u>	<u>7.12</u>
93-4-123-184-0955 SLADEK, JOSEPH				
30459.01	WATER	289.06	28.91	317.97
999 91ST PL	SEWER	360.00	36.00	396.00
	GARBAGE	169.27	16.93	186.20
	PFP FIRE	32.69	3.27	35.96
	CL WATER	32.37	3.24	35.61
	BULK	52.82	5.28	58.10
		<u>936.21</u>	<u>93.63</u>	<u>1,029.84</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-184-0995 HUGHES, DEREK & KATIE				
30488.02	WATER	667.54	66.75	734.29
912 92ND ST	SEWER	682.96	68.30	751.26
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	39.22	3.92	43.14
	CL WATER	40.68	4.07	44.75
		<u>1,662.36</u>	<u>166.24</u>	<u>1,828.60</u>
93-4-123-184-1025 GIAMPIETRO				
39045.02	WATER	475.49	47.55	523.04
885 92ND ST	SEWER	615.48	61.55	677.03
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	37.82	3.78	41.60
	CL WATER	39.09	3.91	43.00
		<u>1,399.84</u>	<u>139.99</u>	<u>1,539.83</u>
93-4-123-184-1185 FLOREANI				
39074.00	WATER	301.12	30.11	331.23
1085 92ND PL	SEWER	349.41	34.94	384.35
	GARBAGE	232.05	23.20	255.25
	PFP FIRE	36.99	3.70	40.69
	CL WATER	40.71	4.07	44.78
		<u>960.28</u>	<u>96.02</u>	<u>1,056.30</u>
93-4-123-184-1225 ALTISOURCE				
39083.03	WATER	161.83	16.18	178.01
1060 93RD ST	SEWER	210.07	21.01	231.08
	GARBAGE	259.92	25.99	285.91
	PFP FIRE	52.68	5.27	57.95
	CL WATER	42.48	4.25	46.73
		<u>726.98</u>	<u>72.70</u>	<u>799.68</u>
93-4-123-184-1270 KREHBEL, KERRY				
39122.00	WATER	803.24	80.32	883.56
818 93RD ST	SEWER	931.81	93.18	1,024.99
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	35.40	3.54	38.94
	CL WATER	39.09	3.91	43.00
		<u>2,041.50</u>	<u>204.15</u>	<u>2,245.65</u>
93-4-123-184-1343 GIOVANNONI, PHYLLIS				
39095.00	WATER	44.30	4.43	48.73
9210 11TH AVE	SEWER	57.85	5.78	63.63
	GARBAGE	26.43	2.64	29.07
	PFP FIRE	4.39	0.44	4.83
	CL WATER	4.83	0.48	5.31
		<u>137.80</u>	<u>13.77</u>	<u>151.57</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-184-1370 COUNTY OF KENOSHA				
91301.01	PFP FIRE	4.07	0.41	4.48
SHERIDAN RD [4]	CL WATER	102.65	10.26	112.91
		<u>106.72</u>	<u>10.67</u>	<u>117.39</u>
93-4-123-191-0081 ZOERNER, CHRIS & BRENDA				
39120.00	WATER	101.74	10.17	111.91
9300 8TH AVE	SEWER	91.95	9.20	101.15
	GARBAGE	60.46	6.05	66.51
	PFP FIRE	11.57	1.16	12.73
	CL WATER	18.06	1.81	19.87
	BULK	0.33	0.03	0.36
		<u>284.11</u>	<u>28.42</u>	<u>312.53</u>
93-4-123-191-0325 PAIELLI, GREGG				
39142.00	WATER	33.40	3.34	36.74
1016 95TH ST	SEWER	43.74	4.37	48.11
	GARBAGE	32.95	3.30	36.25
	PFP FIRE	6.10	0.61	6.71
	CL WATER	6.26	0.63	6.89
		<u>122.45</u>	<u>12.25</u>	<u>134.70</u>
93-4-123-191-0375 MCBRIDE, AARON & PAMELA				
39157.01	WATER	148.90	14.89	163.79
898 95TH ST	SEWER	188.45	18.84	207.29
	GARBAGE	102.35	10.24	112.59
	PFP FIRE	25.84	2.58	28.42
	CL WATER	23.86	2.39	26.25
		<u>489.40</u>	<u>48.94</u>	<u>538.34</u>
93-4-123-191-0385 COUNTY OF KENOSHA				
91335.01	PFP FIRE	74.89	7.49	82.38
95TH ST [14]	CL WATER	55.23	5.52	60.75
		<u>130.12</u>	<u>13.01</u>	<u>143.13</u>
93-4-123-191-0705 LABACZ, ROY & RENNETTA				
39202.01	SEWER	310.49	31.05	341.54
905 97TH ST	GARBAGE	104.58	10.46	115.04
	PFP FIRE	23.42	2.34	25.76
	CL WATER	60.16	6.02	66.18
		<u>498.65</u>	<u>49.87</u>	<u>548.52</u>
93-4-123-191-0765 HAUSER, FREDERICK				
39206.00	SEWER	674.65	67.46	742.11
9719 SHERIDAN RD	GARBAGE	231.96	23.20	255.16
	PFP FIRE	40.77	4.08	44.85
	CL WATER	124.50	12.45	136.95
		<u>1,071.88</u>	<u>107.19</u>	<u>1,179.07</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-191-1125 ROBINSON, JESSE				
51550.00	GARBAGE	231.96	23.20	255.16
9320 4TH AVE	PFP FIRE	30.84	3.08	33.92
	CL WATER	24.10	2.41	26.51
		<u>286.90</u>	<u>28.69</u>	<u>315.59</u>
93-4-123-192-0021 STOCKDALE-SPARKS, LAUREN				
39244.00	WATER	208.52	20.85	229.37
9424 SHERIDAN RD	SEWER	185.09	18.51	203.60
	GARBAGE	87.09	8.71	95.80
	PFP FIRE	26.82	2.68	29.50
	CL WATER	60.39	6.04	66.43
		<u>567.91</u>	<u>56.79</u>	<u>624.70</u>
93-4-123-194-0150 ZORC, BARBARA				
51570.00	GARBAGE	214.10	21.41	235.51
9823 4TH AVE	PFP FIRE	5.37	0.54	5.91
	CL WATER	7.23	0.72	7.95
		<u>226.70</u>	<u>22.67</u>	<u>249.37</u>
93-4-123-194-0402 COPPI, CAROL				
51390.02	GARBAGE	228.38	22.84	251.22
10016 3RD AVE	PFP FIRE	30.69	3.07	33.76
	CL WATER	17.68	1.77	19.45
		<u>276.75</u>	<u>27.68</u>	<u>304.43</u>
93-4-123-194-0445 SCHROEDER, ADAM				
39277.00	SEWER	674.45	67.44	741.89
9975 8TH AVE	GARBAGE	231.89	23.19	255.08
	PFP FIRE	72.47	7.25	79.72
	CL WATER	215.35	21.54	236.89
		<u>1,194.16</u>	<u>119.42</u>	<u>1,313.58</u>
93-4-123-194-0680 KIRCHNER				
39297.02	SEWER	674.65	67.46	742.11
1042 101ST ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	51.46	5.15	56.61
	CL WATER	47.37	4.74	52.11
		<u>1,005.44</u>	<u>100.55</u>	<u>1,105.99</u>
93-4-123-194-0695 ELLIS, STEPHEN & JUDY				
39325.03	SEWER	76.35	7.64	83.99
950 101ST ST	GARBAGE	24.77	2.48	27.25
	PFP FIRE	5.10	0.51	5.61
	CL WATER	5.85	0.58	6.43
		<u>112.07</u>	<u>11.21</u>	<u>123.28</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-194-0740 MATHEE III, WILLIAM				
39314.00	SEWER	674.65	67.46	742.11
1071 101ST ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	46.43	4.64	51.07
	CL WATER	43.50	4.35	47.85
		<u>996.54</u>	<u>99.65</u>	<u>1,096.19</u>
93-4-123-194-0765 BLASI, CRAIG				
39323.02	SEWER	164.12	16.41	180.53
999 101ST ST	GARBAGE	56.90	5.69	62.59
	PFP FIRE	9.84	0.98	10.82
	CL WATER	12.33	1.23	13.56
		<u>243.19</u>	<u>24.31</u>	<u>267.50</u>
93-4-123-194-0791 PERALTA, MARIO				
39318.00	SEWER	136.21	13.62	149.83
811 101ST ST	GARBAGE	47.96	4.80	52.76
	PFP FIRE	9.42	0.94	10.36
	CL WATER	12.13	1.21	13.34
		<u>205.72</u>	<u>20.57</u>	<u>226.29</u>
93-4-123-194-0804 SKLEPOVYY, VAFIL				
39353.02	SEWER	661.82	66.18	728.00
10152 8TH AVE	GARBAGE	227.61	22.76	250.37
	PFP FIRE	47.71	4.77	52.48
	CL WATER	51.96	5.20	57.16
		<u>989.10</u>	<u>98.91</u>	<u>1,088.01</u>
93-4-123-194-0851 PELOQUIN, ROGER & DEANNA				
39322.00	SEWER	674.65	67.46	742.11
1044 102ND ST	GARBAGE	231.96	23.20	255.16
	PFP FIRE	52.06	5.21	57.27
	CL WATER	72.91	7.29	80.20
		<u>1,031.58</u>	<u>103.16</u>	<u>1,134.74</u>
93-4-123-194-0870 CONNOR, J.				
39341.02	SEWER	186.26	18.63	204.89
1110 102ND ST	GARBAGE	64.61	6.46	71.07
	PFP FIRE	12.58	1.26	13.84
	CL WATER	12.12	1.21	13.33
		<u>275.57</u>	<u>27.56</u>	<u>303.13</u>
93-4-123-194-0911 HOPKINS				
39328.01	SEWER	193.09	19.31	212.40
965 102ND ST	GARBAGE	67.01	6.70	73.71
	PFP FIRE	15.41	1.54	16.95
	CL WATER	22.14	2.21	24.35
		<u>297.65</u>	<u>29.76</u>	<u>327.41</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-194-0931 JACOBS, BRUCE				
39332.06	SEWER	243.34	24.33	267.67
815 102ND ST	GARBAGE	84.51	8.45	92.96
	PFP FIRE	14.56	1.46	16.02
	CL WATER	28.53	2.85	31.38
		<u>370.94</u>	<u>37.09</u>	<u>408.03</u>
93-4-123-194-0955 MOJICA, SANTOS & AMBROCIA				
39329.01	SEWER	72.29	7.23	79.52
10128 11TH AVE	GARBAGE	24.96	2.50	27.46
	PFP FIRE	3.83	0.38	4.21
	CL WATER	4.93	0.49	5.42
		<u>106.01</u>	<u>10.60</u>	<u>116.61</u>
93-4-123-194-0960 WHITE, MELVIN				
36645.00	SEWER	96.12	9.61	105.73
10144 11TH AVE	GARBAGE	33.17	3.32	36.49
	PFP FIRE	5.51	0.55	6.06
	CL WATER	6.69	0.67	7.36
		<u>141.49</u>	<u>14.15</u>	<u>155.64</u>
93-4-123-194-0995 SAVAGLIO, JOHN				
39336.05	SEWER	674.65	67.46	742.11
10200 11TH AVE	GARBAGE	231.96	23.20	255.16
	PFP FIRE	35.11	3.51	38.62
	CL WATER	49.01	4.90	53.91
		<u>990.73</u>	<u>99.07</u>	<u>1,089.80</u>
93-4-123-194-1030 DIGIROLAMO				
39741.01	WATER	461.18	46.12	507.30
10325 SHERIDAN RD	SEWER	589.08	58.91	647.99
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	47.07	4.71	51.78
	CL WATER	45.73	4.57	50.30
	BULK	5.38	0.54	5.92
		<u>1,380.40</u>	<u>138.05</u>	<u>1,518.45</u>
93-4-123-194-1431 GEORGE, LARRY & PAULETTE				
39345.00	SEWER	105.27	0.00	105.27
797 102ND ST	GARBAGE	36.41	0.00	36.41
	PFP FIRE	12.07	0.00	12.07
	CL WATER	20.91	0.00	20.91
	BULK	0.75	0.00	0.75
		<u>175.41</u>	<u>0.00</u>	<u>175.41</u>
93-4-123-202-0145 ARMSTRONG, JANA				
51855.00	GARBAGE	211.63	21.16	232.79
9851 LAKESHORE DR	PFP FIRE	85.08	8.51	93.59
	CL WATER	21.51	2.15	23.66

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		<u>318.22</u>	<u>31.82</u>	<u>350.04</u>
93-4-123-292-0060 CHLEWICKI, MARIA				
51270.06	GARBAGE	231.96	23.20	255.16
10522 2ND AVE	PFP FIRE	62.73	6.27	69.00
	CL WATER	20.74	2.07	22.81
		<u>315.43</u>	<u>31.54</u>	<u>346.97</u>
93-4-123-292-0295 TESINE, ALAN				
51940.00	GARBAGE	231.89	23.19	255.08
10419 LAKESHORE DR	PFP FIRE	91.42	9.14	100.56
	CL WATER	16.30	1.63	17.93
		<u>339.61</u>	<u>33.96</u>	<u>373.57</u>
93-4-123-293-0065 SCHAEFER, EDITH				
55510.01	GARBAGE	227.82	22.78	250.60
128 116TH ST	PFP FIRE	36.18	3.62	39.80
	CL WATER	21.50	2.15	23.65
		<u>285.50</u>	<u>28.55</u>	<u>314.05</u>
93-4-123-293-0125 LADD, BECKY				
55450.00	GARBAGE	215.60	21.56	237.16
133 115TH ST	PFP FIRE	27.24	2.72	29.96
	CL WATER	16.72	1.67	18.39
		<u>259.56</u>	<u>25.95</u>	<u>285.51</u>
93-4-123-293-0465 HASSAN, RAFAEL				
51170.01	GARBAGE	231.96	23.20	255.16
11341 1ST CT	PFP FIRE	41.52	4.15	45.67
	CL WATER	17.45	1.74	19.19
		<u>290.93</u>	<u>29.09</u>	<u>320.02</u>
93-4-123-293-0515 GEORGES, RICHARD				
55420.00	GARBAGE	231.96	23.20	255.16
135 114TH ST	PFP FIRE	37.55	3.76	41.31
	CL WATER	24.10	2.41	26.51
		<u>293.61</u>	<u>29.37</u>	<u>322.98</u>
93-4-123-293-0625 MOORE, THOMAS				
51160.02	GARBAGE	231.96	23.20	255.16
11326 1ST CT	PFP FIRE	48.64	4.86	53.50
	CL WATER	20.24	2.02	22.26
		<u>300.84</u>	<u>30.08</u>	<u>330.92</u>
93-4-123-293-0811 MORELAND, ROBERT				
55350.03	GARBAGE	234.33	23.43	257.76
144 113TH ST	PFP FIRE	36.79	3.68	40.47
	CL WATER	29.40	2.94	32.34

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		<u>300.52</u>	<u>30.05</u>	<u>330.57</u>
93-4-123-293-0875 ARTAC				
52018.00	GARBAGE	231.96	23.20	255.16
11024 LAKESHORE DR	PFP FIRE	94.70	9.47	104.17
	CL WATER	26.32	2.63	28.95
		<u>352.98</u>	<u>35.30</u>	<u>388.28</u>
93-4-123-293-0905 IWEN, ERICH				
51457.01	GARBAGE	227.89	22.79	250.68
11031 3RD AVE	PFP FIRE	63.47	6.35	69.82
	CL WATER	26.37	2.64	29.01
		<u>317.73</u>	<u>31.78</u>	<u>349.51</u>
93-4-123-293-0950 SWANEY, LENNY				
51483.01	GARBAGE	189.18	18.92	208.10
11233 3RD AVE	PFP FIRE	43.96	4.40	48.36
	CL WATER	15.63	1.56	17.19
		<u>248.77</u>	<u>24.88</u>	<u>273.65</u>
93-4-123-293-0960 BABCOCK JR, ROBERT				
51490.02	GARBAGE	299.03	29.90	328.93
11253 3RD AVE	PFP FIRE	52.25	5.22	57.47
	CL WATER	27.38	2.74	30.12
		<u>378.66</u>	<u>37.86</u>	<u>416.52</u>
93-4-123-293-1035 DANIELS, DAVID				
51594.01	GARBAGE	231.95	23.20	255.15
11001 4TH AVE	PFP FIRE	41.94	4.19	46.13
	CL WATER	20.74	2.07	22.81
		<u>294.63</u>	<u>29.46</u>	<u>324.09</u>
93-4-123-301-0321 SANTIAGO, GILDA				
51440.01	GARBAGE	231.29	23.13	254.42
10544 3RD AVE	PFP FIRE	61.70	6.17	67.87
	CL WATER	20.18	2.02	22.20
	BULK	0.86	0.09	0.95
		<u>314.03</u>	<u>31.41</u>	<u>345.44</u>
93-4-123-301-0980 C/O LINDA HARRIS				
39354.00	SEWER	626.09	62.61	688.70
10927 SHERIDAN RD	PFP FIRE	31.73	3.17	34.90
	CL WATER	79.41	7.94	87.35
		<u>737.23</u>	<u>73.72</u>	<u>810.95</u>
93-4-123-302-0006 CAPT MIKE KENOSHA REAL ESTATE				
39356.01	WATER	133.65	13.36	147.01
10936 SHERIDAN RD	SEWER	164.23	16.42	180.65
	PFP FIRE	10.47	1.05	11.52

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
	CL WATER	25.11	2.51	27.62
		<u>333.46</u>	<u>33.34</u>	<u>366.80</u>
93-4-123-302-0500 OCCUPANT				
39691.00	SEWER	151.15	15.12	166.27
2027 104TH ST	GARBAGE	52.37	5.24	57.61
	PFP FIRE	14.00	1.40	15.40
	CL WATER	117.08	11.71	128.79
		<u>334.60</u>	<u>33.47</u>	<u>368.07</u>
93-4-123-303-0113 KINGS COVE HOA				
95872.00	CL WATER	162.74	16.27	179.01
18TH AVE [12]		<u>162.74</u>	<u>16.27</u>	<u>179.01</u>
93-4-123-303-0114 KINGS COVE HOA				
95873.00	CL WATER	139.11	13.91	153.02
18TH AVE [13]		<u>139.11</u>	<u>13.91</u>	<u>153.02</u>
93-4-123-303-0120 GALLAGHER, STEVEN & CRISTI				
39716.01	SEWER	432.85	43.28	476.13
11309 22ND AVE	GARBAGE	150.19	15.02	165.21
	PFP FIRE	31.98	3.20	35.18
	CL WATER	149.67	14.97	164.64
		<u>764.69</u>	<u>76.47</u>	<u>841.16</u>
93-4-123-303-0125 GALLAGHER, STEVEN				
39718.02	SEWER	404.23	40.42	444.65
11239 22ND AVE	GARBAGE	140.48	14.05	154.53
	PFP FIRE	17.90	1.79	19.69
	CL WATER	71.86	7.19	79.05
		<u>634.47</u>	<u>63.45</u>	<u>697.92</u>
93-4-123-303-0249 JANIS, LORI				
36409.02	WATER	325.80	32.58	358.38
1306 112TH ST	SEWER	433.17	43.32	476.49
	GARBAGE	101.51	10.15	111.66
	PFP FIRE	34.94	3.49	38.43
	CL WATER	26.88	2.69	29.57
		<u>922.30</u>	<u>92.23</u>	<u>1,014.53</u>
93-4-123-303-0266 ROSCIOLI, JOHN & JESSICA				
36428.01	WATER	470.41	47.04	517.45
11545 14TH AVE	SEWER	589.76	58.98	648.74
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	81.14	8.11	89.25
	CL WATER	54.58	5.46	60.04
		<u>1,427.85</u>	<u>142.79</u>	<u>1,570.64</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-304-0155 CIANGI, THOMAS				
51545.03	GARBAGE	231.96	23.20	255.16
11408 3RD AVE	PFP FIRE	40.68	4.07	44.75
	CL WATER	23.53	2.35	25.88
		<u>296.17</u>	<u>29.62</u>	<u>325.79</u>
93-4-123-304-0170 ANGUINO, JOB				
51530.01	GARBAGE	189.20	18.92	208.12
11372 3RD AVE	PFP FIRE	24.96	2.50	27.46
	CL WATER	17.00	1.70	18.70
		<u>231.16</u>	<u>23.12</u>	<u>254.28</u>
93-4-123-304-0360 ANDERSON, ROGER				
51645.00	GARBAGE	231.96	23.20	255.16
11367 4TH AVE	PFP FIRE	26.33	2.63	28.96
	CL WATER	20.24	2.02	22.26
		<u>278.53</u>	<u>27.85</u>	<u>306.38</u>
93-4-123-304-0460 CONLEY, MICHAEL				
51635.05	GARBAGE	229.31	22.93	252.24
11336 4TH AVE	PFP FIRE	36.72	3.67	40.39
	CL WATER	17.24	1.72	18.96
		<u>283.27</u>	<u>28.32</u>	<u>311.59</u>
93-4-123-304-0660 OWENS, DAVID				
36670.02	WATER	228.32	22.83	251.15
1018 116TH ST	SEWER	297.25	29.72	326.97
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	25.15	2.52	27.67
	CL WATER	43.50	4.35	47.85
	BULK	40.00	4.00	44.00
		<u>866.18</u>	<u>86.62</u>	<u>952.80</u>
93-4-123-304-0750 EDWARDS, JOSEPH				
36210.02	WATER	362.75	36.28	399.03
937 115TH ST	SEWER	461.14	46.11	507.25
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	48.87	4.89	53.76
	CL WATER	46.28	4.63	50.91
	BULK	2.48	0.25	2.73
		<u>1,153.48</u>	<u>115.36</u>	<u>1,268.84</u>
93-4-123-304-1055 NELSON & MALSACK				
36000.01	WATER	601.07	60.11	661.18
11130 11TH AVE	SEWER	777.03	77.70	854.73
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	25.99	2.60	28.59
	CL WATER	45.14	4.51	49.65
	BULK	43.60	4.36	47.96

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		<u>1,724.79</u>	<u>172.48</u>	<u>1,897.27</u>
93-4-123-304-1110 MOROVIC, MATTHEW				
36570.02	WATER	424.17	42.42	466.59
11221 11TH AVE	SEWER	498.60	49.86	548.46
	GARBAGE	231.89	23.19	255.08
	PFP FIRE	28.12	2.81	30.93
	CL WATER	<u>42.92</u>	<u>4.29</u>	<u>47.21</u>
		<u>1,225.70</u>	<u>122.57</u>	<u>1,348.27</u>
93-4-123-304-1125 ANDERSON, JOHN				
36600.00	WATER	744.66	74.47	819.13
11201 11TH AVE	SEWER	588.41	58.84	647.25
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	28.98	2.90	31.88
	CL WATER	<u>46.28</u>	<u>4.63</u>	<u>50.91</u>
		<u>1,640.29</u>	<u>164.04</u>	<u>1,804.33</u>
93-4-123-304-1220 PAYSON, DENNIS				
35880.01	WATER	214.21	21.42	235.63
11324 10TH AVE	SEWER	272.74	27.27	300.01
	GARBAGE	230.69	23.07	253.76
	PFP FIRE	28.00	2.80	30.80
	CL WATER	<u>42.70</u>	<u>4.27</u>	<u>46.97</u>
		<u>788.34</u>	<u>78.83</u>	<u>867.17</u>
93-4-123-304-1270 NORVELL, JOSHUA R				
35830.01	WATER	438.74	43.87	482.61
11223 10TH AVE	SEWER	573.15	57.32	630.47
	GARBAGE	228.25	22.82	251.07
	PFP FIRE	38.18	3.82	42.00
	CL WATER	<u>43.94</u>	<u>4.39</u>	<u>48.33</u>
		<u>1,322.26</u>	<u>132.22</u>	<u>1,454.48</u>
93-4-123-304-1340 HURLEY, WILLIAM				
35730.00	WATER	118.74	11.87	130.61
11236 9TH AVE	SEWER	155.07	15.51	170.58
	GARBAGE	97.16	9.72	106.88
	PFP FIRE	16.82	1.68	18.50
	CL WATER	<u>30.47</u>	<u>3.05</u>	<u>33.52</u>
		<u>418.26</u>	<u>41.83</u>	<u>460.09</u>
93-4-123-304-1355 ANTONI, AMY				
35709.11	WATER	169.96	17.00	186.96
11314 9TH AVE	SEWER	222.12	22.21	244.33
	GARBAGE	101.68	10.17	111.85
	PFP FIRE	21.25	2.12	23.37
	CL WATER	<u>21.51</u>	<u>2.15</u>	<u>23.66</u>
		<u>536.52</u>	<u>53.65</u>	<u>590.17</u>

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
93-4-123-304-1475 CORONA, WENDE				
35180.03	WATER	55.74	5.57	61.31
917 111TH ST	SEWER	61.39	6.14	67.53
	GARBAGE	33.17	3.32	36.49
	PFP FIRE	5.39	0.54	5.93
	CL WATER	6.77	0.68	7.45
		<u>162.46</u>	<u>16.25</u>	<u>178.71</u>
93-4-123-304-1497 EVERMAN				
35471.01	WATER	84.72	0.00	84.72
845 111TH ST	SEWER	110.17	0.00	110.17
	GARBAGE	138.09	0.00	138.09
	PFP FIRE	29.80	0.00	29.80
	CL WATER	12.47	0.00	12.47
		<u>375.25</u>	<u>0.00</u>	<u>375.25</u>
93-4-123-304-1596 KERN, BILL & DIANE				
35282.00	WATER	291.87	29.19	321.06
11501 8TH AVE	SEWER	380.54	38.05	418.59
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	44.79	4.48	49.27
	CL WATER	22.96	2.30	25.26
		<u>972.12</u>	<u>97.22</u>	<u>1,069.34</u>
93-4-123-311-0210 THE WOODEN NICKEL				
39740.00	WATER	143.25	14.32	157.57
11606 SHERIDAN RD	SEWER	187.54	18.75	206.29
	PFP FIRE	11.04	1.10	12.14
	CL WATER	56.62	5.66	62.28
		<u>398.45</u>	<u>39.83</u>	<u>438.28</u>
93-4-123-311-0240 DRAUDT, LAWRENCE				
39744.00	WATER	216.04	21.60	237.64
11624 SHERIDAN RD	SEWER	274.93	27.49	302.42
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	24.58	2.46	27.04
	CL WATER	66.75	6.68	73.43
		<u>814.26</u>	<u>81.43</u>	<u>895.69</u>
93-4-123-311-0275 RADIGANS, RAY				
39748.00	WATER	1,518.31	151.83	1,670.14
11712 SHERIDAN RD	SEWER	1,731.43	173.14	1,904.57
	PFP FIRE	78.05	7.80	85.85
	CL WATER	416.85	41.68	458.53
		<u>3,744.64</u>	<u>374.45</u>	<u>4,119.09</u>
93-4-123-312-0200 RLSR ENTERPRISES LLP				
92301.00	PFP FIRE	13.54	1.35	14.89
116TH ST [44]	CL WATER	174.30	17.43	191.73

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		187.84	18.78	206.62
93-4-123-313-0200 WHITE, DAVID				
92893.00	PFP FIRE	96.22	9.62	105.84
1808 128TH ST #2	CL WATER	864.95	86.50	951.45
		961.17	96.12	1,057.29
93-4-123-314-0005 DORAU, ROBERT				
39770.02	WATER	1,248.82	124.88	1,373.70
12208 SHERIDAN RD	SEWER	1,338.61	133.86	1,472.47
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	44.68	4.47	49.15
	CL WATER	84.58	8.46	93.04
		2,948.65	294.87	3,243.52
93-4-123-314-0020 LARAR, JOSE				
39780.02	WATER	158.16	15.82	173.98
12312 SHERIDAN RD	SEWER	205.92	20.59	226.51
	GARBAGE	189.20	18.92	208.12
	PFP FIRE	21.78	2.18	23.96
	CL WATER	58.37	5.84	64.21
		633.43	63.35	696.78
93-4-123-314-0030 BEHRENDT & SAKOWICZ				
39784.01	WATER	374.48	37.45	411.93
12330 SHERIDAN RD	SEWER	473.68	47.37	521.05
	GARBAGE	231.96	23.20	255.16
	PFP FIRE	41.64	4.16	45.80
	CL WATER	142.77	14.28	157.05
		1,264.53	126.46	1,390.99
93-4-123-314-0085 COUNTY OF KENOSHA				
92312.01	PFP FIRE	121.58	12.16	133.74
SHERIDAN RD [65]	CL WATER	363.41	36.34	399.75
		484.99	48.50	533.49
93-4-123-314-0225 LYONS, GEORGE				
39795.01	WATER	144.13	14.41	158.54
12627 SHERIDAN RD	SEWER	187.12	18.71	205.83
	PFP FIRE	49.58	4.96	54.54
	CL WATER	169.40	16.94	186.34
		550.23	55.02	605.25
93-4-123-314-0300 LENNON, DEBBIE				
39902.05	WATER	40.38	4.04	44.42
12715 SHERIDAN RD	SEWER	48.08	4.81	52.89
	GARBAGE	32.39	3.24	35.63
	PFP FIRE	3.11	0.31	3.42
	CL WATER	5.45	0.54	5.99

Tax Parcel ID / Name Account No Service Address	Service Type	Service Balance	Certification Penalty	Total Balance
		129.41	12.94	142.35
93-4-123-314-0312 COUNTY OF KENOSHA				
92408.00	PFP FIRE	64.45	6.44	70.89
SHERIDAN RD [153]	CL WATER	106.76	10.68	117.44
		171.21	17.12	188.33
93-4-123-314-0350 ZAID INVESTMENT GROUP INC				
39787.03	PFP FIRE	8.76	0.88	9.64
12439 SHERIDAN RD	CL WATER	94.52	9.45	103.97
		103.28	10.33	113.61
93-4-123-322-0540 CHRISTOL, BILL				
51285.01	GARBAGE	299.03	29.90	328.93
111 121ST ST	PFP FIRE	41.37	4.14	45.51
	CL WATER	28.12	2.81	30.93
		368.52	36.85	405.37
93-4-123-322-0545 SHARON, MICHELLE				
51190.04	GARBAGE	204.76	20.48	225.24
12100 1ST CT	PFP FIRE	19.24	1.92	21.16
	CL WATER	12.40	1.24	13.64
		236.40	23.64	260.04
93-4-123-322-0585 GALLAGER, ROBERT				
51210.00	GARBAGE	231.94	23.19	255.13
12146 1ST CT	PFP FIRE	35.88	3.59	39.47
	CL WATER	16.30	1.63	17.93
		284.12	28.41	312.53
93-4-123-323-0305 GONZALEZ, FILBERTO				
51115.01	GARBAGE	231.96	23.20	255.16
12449 1ST CT	PFP FIRE	115.85	11.58	127.43
	CL WATER	13.55	1.36	14.91
		361.36	36.14	397.50
<i>See attached</i>				
MULTIPLE KENOSHA CO COUNTY OF KENOSHA				
92308.00	PFP FIRE	20.11	2.01	22.12
MULTIPLE KENOSHA CO	CL WATER	137.32	13.73	151.05
		157.43	15.74	173.17
GRAND TOTALS				
WATER		66,216.92	6,527.57	72,744.49
SEWER		143,392.68	14,245.98	157,638.66
GARBAGE		64,473.77	6,404.52	70,878.29
PR FIRE		314.32	31.43	345.75

VILLAGE OF PLEASANT PRAIRIE
TRANSFER TO TAX ROLL LISTING

Tax Parcel ID / Name				
Account No		Service	Certification	Total
Service Address	Service Type	Balance	Penalty	Balance
	PFP FIRE	14,732.74	1,465.78	16,198.52
	ST LIGHT	980.86	98.08	1,078.94
	CL WATER	46,691.12	4,655.17	51,346.29
	BULK	1,026.25	102.54	1,128.79
		<u>337,828.66</u>	<u>33,531.07</u>	<u>371,359.73</u>

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VILLAGE OF PLEASANT PRAIRIE
CERTIFICATION PENALTY LISTING

Page 1

Customer / Service	Service Balance	Certification Penalty	Total Balance	Parcel ID
38493.02 FLAMENT, BRIAN				92-4-122-323-0220
CL WATER	334.69	33.47	368.16	
PFP FIRE	58.05	5.80	63.85	
GARBAGE	171.54	17.15	188.69	
	<u>564.28</u>	<u>56.42</u>	<u>620.70</u>	
 GRAND TOTALS				
WATER	0.00	0.00	0.00	
SEWER	0.00	0.00	0.00	
GARBAGE	171.54	17.15	188.69	
PR FIRE	0.00	0.00	0.00	
PFP FIRE	58.05	5.80	63.85	
ST LIGHT	0.00	0.00	0.00	
CL WATER	334.69	33.47	368.16	
BULK	0.00	0.00	0.00	
	<u>564.28</u>	<u>56.42</u>	<u>620.70</u>	

9230800	Tax Roll	Tax Roll	Final
County of Kenosha	Distribution	Penalty	Tax Roll
92-4-122-181-0260	\$26.35	\$2.64	\$28.99
92-4-122-271-0350	\$37.69	\$3.77	\$41.46
92-4-122-354-0510	\$69.84	\$6.98	\$76.82
93-4-123-293-0830	\$7.75	\$0.77	\$8.52
93-4-123-293-0970	\$15.80	\$1.58	\$17.38
	<u>\$157.43</u>	<u>\$15.74</u>	<u>\$173.17</u>

Clean Water	\$137.32
Clean Water Pen	\$13.73
PFP	\$20.11
PFP Pen	\$2.01
	<u>\$173.17</u>

90090	Tax Roll	Tax Roll	Final
Dennis Pinter	Distribution	Penalty	Tax Roll
91-4-122-071-0655	\$48.86	\$4.88	\$53.74
91-4-122-071-0705	\$65.20	\$6.52	\$71.72
91-4-122-071-0735	\$59.57	\$5.96	\$65.53
91-4-122-071-0810	\$57.77	\$5.78	\$63.55
91-4-122-071-0815	\$59.18	\$5.92	\$65.10
91-4-122-071-0820	\$94.10	\$9.41	\$103.51
91-4-122-071-0825	\$64.95	\$6.50	\$71.45
91-4-122-071-0830	\$40.43	\$4.04	\$44.48
	<u>\$490.06</u>	<u>\$49.00</u>	<u>\$539.06</u>

Clean Water	\$477.52
Clean Water Pen	\$47.75
PFP	\$12.54
PFP Pen	\$1.25
	<u>\$539.06</u>

WATER UTILITY TAXROLL REPORT
FOR COUNTY RESIDENTS
COUNTY TAXROLL AMOUNTS 11/09/15
PLEASANT PRAIRIE

DIST	ADDRESS	PARCEL#	BASE WTR	WTR +PEN	BASE SWR	SWR +PEN	BASE HHW	HHW +PEN	BASE ROLL	TOTAL ROLL
1	8036 07TH AV	9341230740465	201.73	221.90	0.00	0.00	0.00	0.00	201.73	221.90
1	8902 20TH AV	9341231830025	240.41	264.45	0.00	0.00	0.00	0.00	240.41	264.45
1	8917 22ND AV	9341231830020	155.20	170.72	0.00	0.00	0.00	0.00	155.20	170.72
1	9016 29TH AV	9141221340935	334.32	367.75	0.00	0.00	0.00	0.00	334.32	367.75
1	9019 29TH AV	9141221340805	235.64	259.20	0.00	0.00	0.00	0.00	235.64	259.20
1	1827 89TH ST	9341231830135	38.57	42.43	0.00	0.00	0.00	0.00	38.57	42.43
1	1905 89TH ST	9341231830125	197.21	216.93	0.00	0.00	0.00	0.00	197.21	216.93
1	1915 89TH ST	9341231830120	251.07	276.18	0.00	0.00	0.00	0.00	251.07	276.18
1	2619 89TH ST	9141221340551	371.40	408.54	0.00	0.00	0.00	0.00	371.40	408.54

DIST 1	WATER		SEWER		HHW		TOTAL		
	ACCTS	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN
10% PENALTY AMOUNTS	9	2,025.55	2,228.10	.00	.00	.00	.00	2,025.55	2,228.10
		202.55		.00		.00		202.55	

2	9053 32ND AV	9141221330470	194.53	213.98	0.00	0.00	0.00	0.00	194.53	213.98
2	8400 39TH AV	9141221140198	206.82	227.50	0.00	0.00	0.00	0.00	206.82	227.50
2	8542 43RD AV	9241221410157	64.92	71.41	0.00	0.00	0.00	0.00	64.92	71.41
2	7414 45TH AV	9141220240024	292.00	321.20	0.00	0.00	0.00	0.00	292.00	321.20
2	7646 48TH AV	9141221120104	38.87	42.76	0.00	0.00	0.00	0.00	38.87	42.76
2	7640 50TH AV	9141221120204	205.08	225.59	0.00	0.00	0.00	0.00	205.08	225.59
2	7708 50TH AV	9141221120198	373.54	410.89	0.00	0.00	0.00	0.00	373.54	410.89
2	7226 51ST AV	9141220230400	54.39	59.83	0.00	0.00	0.00	0.00	54.39	59.83
2	8119 54TH AV	9141221130284	183.86	202.25	0.00	0.00	0.00	0.00	183.86	202.25
2	7906 55TH AV	9141221120331	609.41	670.35	0.00	0.00	0.00	0.00	609.41	670.35
2	4609 73RD PL	9141220240044	240.15	264.17	0.00	0.00	0.00	0.00	240.15	264.17
2	5316 73RD ST	9141220230592	232.12	255.33	0.00	0.00	0.00	0.00	232.12	255.33
2	5406 73RD ST	9141220230584	234.14	257.55	0.00	0.00	0.00	0.00	234.14	257.55
2	5414 73RD ST	9141220230582	375.13	412.64	0.00	0.00	0.00	0.00	375.13	412.64
2	4416 75TH ST	9141220240104	168.53	185.38	0.00	0.00	0.00	0.00	168.53	185.38
2	5210 75TH ST	9141220230540	18.46	20.31	0.00	0.00	0.00	0.00	18.46	20.31
2	5214 75TH ST	9141220230540	22.50	24.75	0.00	0.00	0.00	0.00	22.50	24.75
2	4849 76TH ST	9141221120120	135.05	148.56	0.00	0.00	0.00	0.00	135.05	148.56
2	5021 76TH ST	9141221120216	93.65	103.02	0.00	0.00	0.00	0.00	93.65	103.02
2	5268 80TH ST	9141221120300	277.26	304.99	0.00	0.00	0.00	0.00	277.26	304.99
2	5404 81ST ST	9141221130236	184.56	203.02	0.00	0.00	0.00	0.00	184.56	203.02
2	5718 82ND ST	9141221040331	306.60	337.26	0.00	0.00	0.00	0.00	306.60	337.26
2	4509 83RD ST	9141221140026	195.84	215.42	0.00	0.00	0.00	0.00	195.84	215.42
2	5112 84TH ST	9141221130406	326.36	359.00	0.00	0.00	0.00	0.00	326.36	359.00
2	3909 86TH PL	9241221410188	85.18	93.70	0.00	0.00	0.00	0.00	85.18	93.70
2	4218 86TH PL	9241221410096	103.30	113.63	0.00	0.00	0.00	0.00	103.30	113.63
2	7641 COOP RD	9141221120227	219.07	240.98	0.00	0.00	0.00	0.00	219.07	240.98
2	7807 COOP RD	9141221120242	113.51	124.86	0.00	0.00	0.00	0.00	113.51	124.86

WATER UTILITY TAXROLL REPORT
FOR COUNTY RESIDENTS
COUNTY TAXROLL AMOUNTS 11/09/15
PLEASANT PRAIRIE

DIST	ADDRESS	PARCEL#	BASE WTR	WTR +PEN	BASE SWR	SWR +PEN	BASE HHW	HHW +PEN	BASE ROLL	TOTAL ROLL
2	7915 COOP RD	9141221120252	452.53	497.78	0.00	0.00	0.00	0.00	452.53	497.78
2	8056 COOP RD	9141221130260	32.54	35.79	0.00	0.00	0.00	0.00	32.54	35.79
2	8100 COOP RD	9141221130262	440.50	484.55	0.00	0.00	0.00	0.00	440.50	484.55
2	8107 COOP RD	9141221130037	379.55	417.51	0.00	0.00	0.00	0.00	379.55	417.51
2	8225 COOP RD	9141221130054	180.03	198.03	0.00	0.00	0.00	0.00	180.03	198.03
2	8239 COOP RD	9141221130061	254.03	279.43	0.00	0.00	0.00	0.00	254.03	279.43
2	8350 COOP RD	9141221130402	36.57	40.23	0.00	0.00	0.00	0.00	36.57	40.23
2	8435 COOP RD	9141221130165	108.11	118.92	0.00	0.00	0.00	0.00	108.11	118.92
2	5103 HARR RD	9141220230486	267.97	294.77	0.00	0.00	0.00	0.00	267.97	294.77

DIST	ACCTS	WATER		SEWER		HHW		TOTAL	
		BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN
2	37	7,706.66	8,477.34	.00	.00	.00	.00	7,706.66	8,477.34
		10% PENALTY AMOUNTS	770.68		.00		.00	770.68	

GRAND TOTALS FOR PLEASANT PRAIRIE									
REPORT TOTAL	ACCTS	WATER		SEWER		HHW		TOTAL	
		BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN	BASE	BASE+PEN
	46	9,732.21	10,705.44	.00	.00	.00	.00	9,732.21	10,705.44
		10% PENALTY AMOUNTS	973.23		.00		.00	973.23	

**Village of Pleasant Prairie
2015 Tax Roll Summary**

<u>Special Assessments</u>	<u>Principal</u>	<u>Interest</u>	<u>Total</u>
Paving, Road Construction & Storm Sewer	\$2,079.69	832.37	2,912.06
Clean Water	6,130.95	2,759.01	8,889.96
Sewer	3,026.11	2,010.10	5,036.21
TID	7,317.05	4,692.33	12,009.38
Water	4,861.86	2,427.81	7,289.67
Total Special Assessments	\$ 23,415.66	\$ 12,721.62	\$ 36,137.28

**Village of Pleasant Prairie
Paving, Road Construction & Storm Sewer
Special Assessments - 2015 Tax Roll**

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>District 9079 - First Court Paving</u>					
93-4-123-293-0610	Gurgol, Daniel P.	136.31	148.58	136.31	12.27
93-4-123-293-0625	Moore, Thomas S. & Dana L.	38.41	41.87	38.41	3.46
		<u>\$174.72</u>	<u>\$190.45</u>	<u>\$174.72</u>	<u>\$15.73</u>
<u>District 9104 - 9th Court Roadway</u>					
93-4-123-304-0955	Nelson, Chard E. & Jolena J.	300.70	177.41	150.35	27.06
		<u>\$300.70</u>	<u>\$177.41</u>	<u>\$150.35</u>	<u>\$27.06</u>
<u>District 9117 - 80th Street Roadway</u>					
91-4-122-112-0340	Lawler, Jamie J.	8,773.13	2,544.20	1,754.62	789.58
		<u>\$8,773.13</u>	<u>\$2,544.20</u>	<u>\$1,754.62</u>	<u>\$789.58</u>
Grand Totals - Paving Special Assessments		<u>\$9,248.55</u>	<u>\$2,912.06</u>	<u>\$2,079.69</u>	<u>\$832.37</u>

Village of Pleasant Prairie
Clean Water Utility
Special Assessments - 2015 Tax Roll

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment			
			Total	Principal	Interest	
<u>DISTRICT NO. 9120 - CAROL BEACH UNIT 2 STORM SEWER</u>						
93-4-123-293-0280	Ward, Robert Paul Jr. & Swanette T.	936.63	271.61	187.31	84.30	
93-4-123-293-0465	Hassan, Rafael R. & Kathleen	1,450.48	420.62	290.08	130.54	
93-4-123-293-0625	Moore, Thomas S. & Dana L.	2,587.19	750.27	517.42	232.85	
93-4-123-293-0640	Yordanoff, B Gordon	995.71	288.74	199.13	89.61	
93-4-123-293-0875	Artac, Todd J.	1,840.00	533.59	367.99	165.60	
93-4-123-293-0945	County of Kenosha	1,154.97	334.93	230.98	103.95	
93-4-123-293-0980	Holden, David A. & Christine L.	2,314.69	671.24	462.92	208.32	
93-4-123-293-0990	Domin, Steven G. & Stephanie M.	2,314.65	671.25	462.93	208.32	
93-4-123-293-1035	Daniels, David M.	826.11	239.57	165.22	74.35	
93-4-123-293-1045	Hernandez, Gomez & Gisela	2,314.76	671.27	462.94	208.33	
93-4-123-304-0240	Steffes, Laurel J. & Georgette G. Bates	1,295.01	375.54	258.99	116.55	
93-4-123-304-0245	Hoskins, Jolene M.	1,152.15	334.11	230.42	103.69	
93-4-123-304-0250	Harris, James Clay	2,314.76	671.27	462.94	208.33	
93-4-123-304-0255	Lamb, Barry A. Jr. & Sandra J.	2,102.19	609.62	420.42	189.20	
93-4-123-304-0270	Dubois, Dean M. & Theresa L.	2,314.76	671.27	462.94	208.33	
93-4-123-304-0620	Manchik, Merrill	2,137.26	619.80	427.45	192.35	
		<u>\$28,051.32</u>	<u>\$8,134.70</u>	<u>\$5,610.08</u>	<u>\$2,524.62</u>	
<u>DISTRICT NO. 9122 - 80TH STREET CONSTRUCTION STORM SEWER</u>						
91-4-122-112-0340	Lawler, Jamie J. & Lisa	2,604.35	755.26	520.87	234.39	
		<u>\$2,604.35</u>	<u>\$755.26</u>	<u>\$520.87</u>	<u>\$234.39</u>	
Grand Total - Clean Water Special Assessments			<u>\$30,655.67</u>	<u>\$8,889.96</u>	<u>\$6,130.95</u>	<u>\$2,759.01</u>

Village of Pleasant Prairie
Sewer Fund
Special Assessments - 2015 Tax Roll

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>District 9011-9014 - All Saints/Meadowdale Sanitary Sewer</u>					
92-4-122-143-0080	Bixler, Diane E.	2,523.00	647.57	420.50	227.07
		<u>\$2,523.00</u>	<u>\$647.57</u>	<u>\$420.50</u>	<u>\$227.07</u>
 <u>District 9119 - 80th St. Sanitary Sewer</u>					
91-4-122-112-0340	Lawler, Jamie J.	7,478.01	2,168.62	1,495.60	673.02
		<u>\$7,478.01</u>	<u>\$2,168.62</u>	<u>\$1,495.60</u>	<u>\$673.02</u>
 <u>District 9142-9144 - Springbrook Road Sanitary Sewer Extension Project</u>					
92-4-122-342-0091	Hammerbeck, Justin & Pauline Tingas	22,200.20	2,220.02	1,110.01	1,110.01
		<u>\$22,200.20</u>	<u>\$2,220.02</u>	<u>\$1,110.01</u>	<u>\$1,110.01</u>
 Grand Total - Sewer Assessments		 <u>\$32,201.21</u>	 <u>\$5,036.21</u>	 <u>\$3,026.11</u>	 <u>\$2,010.10</u>

Village of Pleasant Prairie
TID - Water
Special Assessments - 2015 Tax Roll

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>DISTRICT NO. 9056-57 - DEFERRED WATER STH 32 AND STH 165</u>					
92-4-122-243-0550	Wincek, Scott & Lorna	3,327.00	853.93	554.50	299.43
93-4-123-194-0625	Nealy, Gerald E. & Carolyn F.	2,776.00	805.05	555.20	249.85
		<u>\$6,103.00</u>	<u>\$1,658.98</u>	<u>\$1,109.70</u>	<u>\$549.28</u>
<u>DISTRICT NO. 9058-59 - STH 32 (STH 165 TO 111TH ST) WATER</u>					
93-4-123-302-0006	Captain Mike's Kenosha Real Estate LLC	2,594.85	1,098.49	864.95	233.54
		<u>\$2,594.85</u>	<u>\$1,098.49</u>	<u>\$864.95</u>	<u>\$233.54</u>
<u>DISTRICT NO. 9075 - CTH C WATER MAIN</u>					
92-4-122-182-0045	Warwick, Ruth A	9,985.00	1,897.15	998.50	898.65
92-4-122-182-0090	Simonsen, David L & Diane L.	9,985.00	1,897.15	998.50	898.65
92-4-122-183-0015	Androschko, Jody*	9,985.00	998.50	998.50	0.00
92-4-122-183-0155	Wilmot Road LLC	19,969.00	3,794.11	1,996.90	1,797.21
		<u>\$49,924.00</u>	<u>\$8,586.91</u>	<u>\$4,992.40</u>	<u>\$3,594.51</u>
<u>DISTRICT NO. 9077-78 - SPRINGBROOK RD WATER (26 - 29 AVE)</u>					
91-4-122-134-0860	Rintoul, Wayne & Sandra	3,500.00	665.00	350.00	315.00
		<u>\$3,500.00</u>	<u>\$665.00</u>	<u>\$350.00</u>	<u>\$315.00</u>
Grand Total - TID Water Special Assessments		<u>\$62,121.85</u>	<u>\$12,009.38</u>	<u>\$7,317.05</u>	<u>\$4,692.33</u>

*Paid interest installment with a check prior to tax roll.

**Village of Pleasant Prairie
Water Fund
Special Assessments - 2015 Tax Roll**

Tax Parcel Number	Name	Outstanding Assessment Balance	Tax Roll Installment		
			Total	Principal	Interest
<u>District 8797-98 - Miscellaneous Deferred Water Main & Lateral</u>					
91-4-122-081-0070	Jecvicus II, Charles T. & Jennifer	350.00	101.50	70.00	31.50
		<u>\$350.00</u>	<u>\$101.50</u>	<u>\$70.00</u>	<u>\$31.50</u>
<u>District 9015-16 - 93rd Street (Cooper Rd. to 48th Ave.) Water Main & Lateral</u>					
92-4-122-143-0080	Bixler, Diane E.	1,150.00	333.50	230.00	103.50
		<u>\$1,150.00</u>	<u>\$333.50</u>	<u>\$230.00</u>	<u>\$103.50</u>
<u>District 9096-97 - Municipal Water to 5222 Springbrook Rd.</u>					
92-4-122-263-0220	Guido, Linda J. & Ted M.	305.34	332.82	305.34	27.48
		<u>\$305.34</u>	<u>\$332.82</u>	<u>\$305.34</u>	<u>\$27.48</u>
<u>District 9108-09 - Municipal Water on 63rd Ave. (from 85th St. North to 84th St.) and 84th St. (West of 63rd Ave.)</u>					
91-4-122-104-0065	Byars, Danelle S.	2,997.60	1,768.58	1,498.80	269.78
		<u>\$2,997.60</u>	<u>\$1,768.58</u>	<u>\$1,498.80</u>	<u>\$269.78</u>
<u>District 9118 - 80th St. Water (Cooper Rd. to 57 Ave.)</u>					
91-4-122-112-0340	Lawler, Jamie J.	6,364.81	1,845.79	1,272.96	572.83
		<u>\$6,364.81</u>	<u>\$1,845.79</u>	<u>\$1,272.96</u>	<u>\$572.83</u>
<u>District 9121 - 80th St. Addition Municipal Water Services</u>					
91-4-122-113-0015	Madrigano, Barbara J.	760.44	321.92	253.48	68.44
		<u>\$760.44</u>	<u>\$321.92</u>	<u>\$253.48</u>	<u>\$68.44</u>
<u>District 9136 - 32nd Ave. Water Main Extension</u>					
91-4-122-133-0525	Klinkhammer, Alvin J. & Kathy J.	6,152.98	895.60	341.83	553.77
		<u>\$6,152.98</u>	<u>\$895.60</u>	<u>\$341.83</u>	<u>\$553.77</u>
<u>District 9146-9147 - 63rd Ave Water Main (Between 83-84 St)</u>					
91-4-122-104-0035	Rodriguez, Oscar A.	\$8,894.55	\$1,689.96	\$889.45	800.51
		<u>\$8,894.55</u>	<u>\$1,689.96</u>	<u>\$889.45</u>	<u>\$800.51</u>
Grand Total - Water Special Assessments		<u>\$26,975.72</u>	<u>\$7,289.67</u>	<u>\$4,861.86</u>	<u>\$2,427.81</u>

MEMORANDUM

TO: Village Board of Trustees

FROM: Jane M. Romanowski
Village Clerk

DATE: November 13, 2015

RE: Costco Wholesale, 7707 94th Avenue, Christmas Tree License Application

Costco Wholesale, 7707 94th Avenue has submitted an application to sell Christmas trees. Costco proposes to keep the trees in a semi-truck trailer parked adjacent to the west side of the building in designated parking spaces adjacent to the building. A few trees will be on display inside the entryway area at the front of the store and a few may be outside of the trailer during the selling of the trees.

The semi-trailer will be closed and locked when the store is closed or if the trailer is left unattended. A Christmas tree sale sign will be affixed to the side of the trailer. A Temporary Use Permit for product sales has been approved by the Community Development Department. The Plan Commission approved the temporary Christmas tree trailer parking as part of the Costco Conditional Use Permit at the defined location and for a 30 day time period.

The application is in order, and I would recommend this license be granted for the period November 25, 2015 to December 25, 2015 subject to the regulations set forth in Chapter 146 of the Municipal Code.

* * * * *



VILLAGE OF PLEASANT PRAIRIE
CHRISTMAS TREE LICENSE APPLICATION
LICENSE FEE \$50.00

Date Filed 11/13, 2015

Village Board Meeting _____, Zoning District B-2, Community Business District

Location for Christmas Tree License 7707 94th AVE

Tax Parcel Number 92-4-122-081-0225

PROPERTY OWNER

OWNER'S AGENT

Name Costco Wholesale (Please Print)

Name Joel Myran (Please Print)

Name (Signature)

Name (Signature)

Address 7707 94th AVE

Address 7707 94th AVE

Pleasant Prairie, WI 53158 (City, State & Zip Code)

Pleasant Prairie, WI 53158 (City, State & Zip Code)

Phone 262-597-1027

Phone 262-597-1027

Please complete and provide the following information:

1. List of items to be sold at said location:

CHRISTMAS TREES

2. Size of area to be used to sell Christmas trees 1000 sq. ft.

3. Proposed selling dates: 11/25/15 to 12/25/15

4. Off-street parking available: Yes yes no
If yes, number of spaces: 750

5. On-site signage: Proposed location SIDE OF SEMI TRAILER
Size of sign 4' X 12"
Distance from property lines 300'

6. Off-site signage: Proposed location NONE
Size of sign _____
Distance from property lines _____
(Attach written permission from property owner to place sign on property)

7. Exterior lighting proposed: _____ yes no
If yes, please specify the location and type of lighting:

EXISTING PARKING LOT LIGHTING

8. Attach a site plan drawn to a recognizable scale that illustrates at a minimum the following information: property lines, abutting street(s), existing structures, selling area, parking areas, all signage (on or off site), location of any lighting.

9. Attach a drawing of proposed signs drawn at a recognizable scale.

I, the undersigned, hereby swear and affirm that in making this application I have truthfully answered all questions contained herein to the best of my knowledge and belief; that I am aware of the provisions of the Village Ordinance and agree to abide by its conditions; and that I am aware that any false statement or answer on this application voids the license that may be issued on the basis of the facts herein contained.

[Signature]
Applicant's Signature

11/13/15
Date

FOR OFFICE USE ONLY

ACTION TAKEN BY THE VILLAGE BOARD OF TRUSTEES:

____ Approved Date _____, _____
____ Tabled Date _____, _____
____ Denied Date _____, _____

License #: _____ Fees Collected: _____

Trees must be removed from property by _____, _____

Special Conditions:



LAYOUT NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.
2. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.

GENERAL NOTES

1. UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THEREOF.
2. REFER TO SHEET C300 FOR BENCHMARKS, ELEVATION DATA, AND TOPOGRAPHIC ELEMENTS.
3. REFER TO THE FUEL FACILITY PLAN SET FOR WORK WITHIN THE FUEL FACILITY WORK LIMITS.
4. REFER TO SHEET C303 FOR DETAILED PAVEMENT MARKINGS AND SIGNAGE.

LEGEND

- POTENTIAL INCH STORAGE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED HIGH-STRENGTH CONCRETE CURB AND GUTTER
- PROPOSED PROPERTY LINE
- PROPOSED ADA RAMP WITH TRUNCATED DOMES

PROJECT TITLE
 COSTCO WHOLESALE CORPORATION
 WAREHOUSE
 PLEASANT PRAIRIE, WISCONSIN

NO. DATE REVISIONS BY
 100314 FINAL SITE AND OPERATION PLANS JAH



PROJECT INFORMATION

PROJECT NUMBER: 20140379.00
 DATE: 10/29/14
 DRAWN BY: SRK
 CHECKED BY: JAH
 APPROVED BY: TMF
 SCALE: AS NOTED
 FILE PATH: C:\JULIEN\20140379.00

SHEET TITLE
 OVERALL LAYOUT PLAN

SHEET NUMBER

C300

SIGN WILL BE ATTACHED TO THE SIDE OF THE TRAILER

TREE SALES AREA

PARKING EASEMENT AREA

COSTCO
WHOLESALE

F.F.E. = 724.35

BUILDING GRID REFERENCE PT. B-4
 N. 213,215.004
 E. 2,562,515.455

BUILDING GRID REFERENCE PT. B-3
 N. 213,215.004
 E. 2,562,515.455

BUILDING GRID REFERENCE PT. F-4.3
 N. 213,215.004
 E. 2,562,714.454

BUILDING GRID REFERENCE PT. F-3
 N. 213,215.004
 E. 2,562,714.454

NOTES:
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE.
 2. STANDARD CURB RADIUS IS 3' UNLESS INDICATED OTHERWISE.
 3. UNDERGROUND STRUCTURES AND UTILITIES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY BASED ON FIELD SURVEY. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO AVOID DAMAGE THEREOF.
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